



Committee of Adjustment

Panel 1

Wednesday, September 18, 2024

1:00 PM

Ben Franklin Place, The Chamber, Main Floor, 101 CentrepoinTE Drive, and by electronic participation

The hearing can be viewed on the Committee of Adjustment [YouTube](#) page. For more information, visit Ottawa.ca/CommitteeofAdjustment

Simultaneous interpretation in both official languages, accessible formats and communication supports are available for any specific agenda item by calling the Committee information number at least 72 hours in advance of the hearing.

Coordinator: [Geoff Huson](#)

Panel Members:

Chair: Ann M. Tremblay

Members: John Blatherwick, Simon Coakeley, Arto Keklikian, Sharon Lécuyer

CALL TO ORDER

OPENING REMARKS

DECLARATIONS OF INTEREST

CONFIRMATION OF MINUTES

ADJOURNMENT REQUESTS

HEARING OF APPLICATIONS

1. 342, 344, 346, 348 Queen Mary (Ward 13 - Rideau-Rockcliffe)

1.1 D08-01-24/B-00128, 00131

1.2 D08-02-24/A-00188 - 00191

Consent & Minor Variance Applications

Applicant(s): NCTL Investments Inc.

Agent: C. Jalkotzy

To construct eight townhouse dwellings with 3 units in each townhouse, with easements for access and reduced lot area and rear yard setbacks.

2. **100 Glebe (Ward 17 - Capital)**
D08-02-24/A-00218

Minor Variance Application

Applicant(s): JBPA Developments
Agent: S. Alain

To permit an increased height and accessory building size for the construction of a two-storey detached garage with storage and personal amenity space.

3. **531, 533 Broadhead (Ward 15 - Kitchissippi)**
D08-01-24/B-00146

Consent Application

Applicant(s): Nilestone Group Ltd.
Agent: H. Abdelnaiem

To subdivide the property into two separate parcels of land to create separate ownership for each half of the existing semi-detached dwelling.

4. **946 Colonel By (Ward 17 - Capital)**
D08-02-24/A-00167

Minor Variance Application

Applicant(s): Billy Triantafilos
Agent: R. Labelle

To permit increased building height and a rooftop patio/deck for the construction of an addition on top of the existing dwelling.

5. **173 Riverdale (Ward 17 - Capital)**
D08-01-24/B-00149

Consent Application

Applicant(s): Mike Robinson and Linda Uniac
Agent: T.-A. Boehme

To subdivide the property into two separate parcels of land to create separate ownership for each half of the existing semi-detached dwelling.

6. 97 MacLaren (Ward 14 - Somerset)

6.1 D08-01-23/B-00328 - 00329

6.2 D08-02-23/A-00301

Consent & Minor Variance Applications

Applicant(s): 1828487 Ontario Inc.

Agent: J. Simpson

To subdivide the property into two parcels of land. The existing low rise apartment building will remain with reduced lot width, side yard setback and 1 parking space.

7. 1 Second (Ward 17 - Capital)

D08-01-24/B-00150

Consent Application

Applicant(s): Roxane John and Goshusp Maneck John

Agent: A. Soor

To convey a portion of the property to the abutting property owner to the east, known as 314 Queen Elizabeth Driveway.

8. 314 Queen Elizabeth (Ward 17 - Capital)

D08-01-24/B-00151

Consent Application

Applicant(s): Michelle Sample

Agent: A. Soor

To convey a portion of the property to the abutting property owner to the west, known municipally as 1 Second Avenue.

9. 255 Marier (Ward 12 - Rideau-Vanier)

9.1 D08-01-24/B-00142

9.2 D08-02-24/A-00206

Consent & Minor Variance Applications

Applicant(s): 255 Marier Ltd.

Agent: T. Freeman

To subdivide the property into two parcels of land for the construction of a 6 unit stacked dwelling with reduced lot width and area. The existing dwelling will remain.

10. **249 Shakespeare (Ward 12 - Rideau-Vanier)**
D08-02-24/A-00212

Minor Variance Application

Applicant(s): Thusanth Thuraisingam
Agent: N. Luetge

To permit a reduced rear yard setback for the construction of a three storey, eight-unit low-rise apartment building.

11. **55 Gordon (Ward 17 - Capital)**
D08-02-24/A-00217

Minor Variance Application

Applicant(s): 2465269 ONTARIO INC
Agent: R. Cecchetto

To permit reduced lot width, lot area and interior side yard setback for the conversion of the existing duplex to a three-unit dwelling.

12. **461 Tweedsmuir (Ward 15 - Kitchissippi)**
D08-01-24/B-00162

Consent Application

Applicant(s): 14766067 Canada Inc
Agent: P. Robinson

To subdivide the property into two separate parcels of land for each half of a semi-detached dwelling, each with two additional units.

OTHER BUSINESS

ADJOURNMENT



Comité de dérogation

Groupe 1

le mercredi 18 septembre 2024

13 h 00

Place-Ben-Franklin, salle du Conseil, premier étage, 101, promenade CentrepoinTE, et participation par voie électronique

L'audience pourra être visionnée sur la chaîne [YouTube](#) du Comité de dérogation. Pour en savoir plus, allez au [Ottawa.ca/Comitedederogation](https://ottawa.ca/Comitedederogation)

Les participants pourront bénéficier d'une interprétation simultanée dans les deux langues officielles et de formats accessibles et d'aides à la communication pour toute question à l'ordre du jour s'ils en font la demande par téléphone auprès du service d'information du Comité au moins 72 heures à l'avance.

Coordonnateur : [Geoff Huson](#)

Membres du Groupe:

Présidente: Ann M. Tremblay

Membres: John Blatherwick, Simon Coakeley, Arto Keklikian, Sharon Lécuyer

APPEL NOMINAL

MOT D'OUVERTURE

DÉCLARATIONS D'INTÉRÊT

RATIFICATION DU PROCÈS-VERBAL

DEMANDES D'AJOURNEMENT

AUDIENCE DES DEMANDES

1. **342, 344, 346, 348 Queen Mary (Quartier 13 - Rideau-Rockcliffe)**
 - 1.1 D08-01-24/B-00128, 00131
 - 1.2 D08-02-24/A-00188 - 00191

Demandes d'autorisation et de dérogations mineures

Requérant(e)(s) : NCTL Investments Inc.

Agent : C. Jalkotzy

Pour permettre la construction de huit habitations en rangée comprenant chacune trois logements, la création de deux servitudes d'accès ainsi que la réduction des superficies de lot et des retraits de cour arrière.

2. **100 Glebe (Quartier 17 - Capitale)**
D08-02-24/A-00218

Demande de dérogation mineure

Requérant(e)(s) : JBPA Developments

Agent : S. Alain

Pour permettre l'augmentation de la hauteur et de la superficie d'un bâtiment accessoire en vue de construire un garage isolé abritant un espace de rangement et d'agrément personnel.

3. **531, 533 Broadhead (Quartier 15 - Kitchissippi)**
D08-01-24/B-00146

Demande d'autorisation

Requérant(e)(s) : Nilestone Group Ltd.

Agent : H. Abdelnaiem

Pour lotir le bien-fonds en deux parcelles afin d'établir un titre de propriété distinct pour chaque moitié d'une habitation jumelée existante.

4. **946 Colonel By (Quartier 17 - Capitale)**
D08-02-24/A-00167

Demande de dérogation mineure

Requérant(e)(s) : Billy Triantafilos

Agent : R. Labelle

Permettre l'augmentation de la hauteur de bâtiment et une terrasse sur toit non située sur le toit de l'étage le plus élevé pour la construction d'un rajout sur l'habitation existante.

5. **173 Riverdale (Quartier 17 - Capitale)**
D08-01-24/B-00149

Demande d'autorisation

Requérant(e)(s) : Mike Robinson et Linda Uniac
Agent : T.-A. Boehme

Pour lotir le bien-fonds en deux parcelles afin d'établir un titre de propriété distinct pour chaque moitié d'une habitation jumelée existante.

6. **97 MacLaren (Quartier 14 - Somerset)**
6.1 D08-01-23/B-00328 - 00329

6.2 D08-02-23/A-00301

Demandes d'autorisation et de dérogations mineures

Requérant(e)(s) : 1828487 Ontario Inc.
Agent : J. Simpson

Pour lotir le bien-fonds en deux parcelles. L'immeuble résidentiel de faible hauteur sera conservé sur un lot dont la largeur et le retrait de cour latérale seraient réduits et disposant d'une place de stationnement.

7. **1 Second (Quartier 17 - Capitale)**
D08-01-24/B-00150

Demande d'autorisation

Requérant(e)(s) : Roxane John et Goshusp Maneck John
Agent : A. Soor

Céder une partie du bien-fonds à la propriétaire du bien-fonds voisin à l'est, situé au 314, promenade de la Reine-Elizabeth.

8. **314 Queen Elizabeth (Quartier 17 - Capitale)**
D08-01-24/B-00151

Demande d'autorisation

Requérant(e)(s) : Michelle Sample
Agent : A. Soor

Céder une partie du bien-fonds aux propriétaires du bien-fonds voisin à l'ouest, situé au 1, avenue Second.

9. 255 Marier (Quartier 12 - Rideau-Vanier)

9.1 D08-01-24/B-00142

9.2 D08-02-24/A-00206

Demandes d'autorisation et de dérogations mineures

Requérant(e)(s) : 255 Marier Ltd.

Agent : T. Freeman

Lotir la propriété en deux parcelles pour la construction d'un bâtiment de six logements superposés sur un lot de largeur et de superficie réduites. La maison existante restera.

10. 249 Shakespeare (Quartier 12 - Rideau-Vanier)

D08-02-24/A-00212

Demande de dérogation mineure

Requérant(e)(s) : Thusanth Thuraingam

Agent : N. Luetge

Permettre la réduction de la marge de recul arrière pour la construction d'un immeuble d'habitation de trois étages abritant huit logements.

11. 55 Gordon (Quartier 17 - Capitale)

D08-02-24/A-00217

Demande de dérogation mineure

Requérant(e)(s) : 2465269 ONTARIO INC

Agent : R. Cecchetto

Permettre la réduction de la largeur et de la superficie du lot, et du retrait de la cour latérale intérieure pour la conversion du duplex en un bâtiment de trois logements.

12. 461 Tweedsmuir (Quartier 15 - Kitchissippi)

D08-01-24/B-00162

Demande d'autorisation

Requérant(e)(s) : 14766067 Canada Inc

Agent : P. Robinson

Lotir la propriété en deux parcelles distinctes pour chaque moitié d'une maison jumelée, chacune abritant deux logements supplémentaires.

AUTRES QUESTIONS

AJOURNEMENT

NOTICE OF HEARING

Pursuant to the Ontario *Planning Act*

Consent and Minor Variance Applications

Panel 1

Wednesday, September 18, 2024

1 p.m.

Ben Franklin Place, Main Floor Chamber, 101 Centrepointe Drive
and by videoconference

Owners of neighbouring properties within 60 metres of the property address below are receiving this notice in case they want to comment on the application(s) and/or participate at the hearing.

The hearing can also be viewed on the Committee of Adjustment [YouTube](#) page.

Simultaneous interpretation in both official languages, accessible formats and communication supports are available for any specific agenda item by contacting the Committee of Adjustment at least 72 hours before the hearing.

File Nos.:	D08-01-24/B-00128, D08-01-24/B-00131 and D08-02-24/A-00188 to D08-02-24/A-00191
Applications:	Consent under section 53 of the <i>Planning Act</i> Minor Variance under section 45 of the <i>Planning Act</i>
Applicant:	NCTL Investments Inc.
Property Address:	342, 344, 346, 348 Queen Mary Street
Ward:	13 – Rideau - Rockcliffe
Legal Description:	Part of Lots 678 and 684, Lots 679, 680, 681, 682 and 683, Registered Plan 342
Zoning:	R4UC & R4UC [2480]
Zoning By-law:	2008-250

APPLICANT'S PROPOSAL / PURPOSE OF THE APPLICATIONS:

The Applicant wants to construct eight townhouse dwellings, each with two additional dwelling units (24 units in total). It is proposed to create two easements for pedestrian access. The existing four semi-detached dwelling units will be demolished.

CONSENT IS REQUIRED FOR THE FOLLOWING:

The Applicant requires the Committee's consent to grant easements/rights of way.

It is proposed to establish easements/rights of way as follows:

- Over Part 1 on the draft 4R-plan, (342A & 342B Queen Mary), in favour of Part of Lots 681 and 682, Registered Plan 342 (344A & 344B Queen Mary) for pedestrian access.
- Over Part 2 on the draft 4Rplan, (348A & 348B Queen Mary), in favour of Part of Lots 679 and 681 and Lot 680, Registered Plan 342 (346A & 346B Queen Mary) for pedestrian access.

Approval of these applications will have the effect of creating eight separate parcels of land that will not be in conformity with the requirements of the Zoning By-law and therefore, minor variance applications (File Nos. D08-02-24/A-00188 to - A--00191) have been filed and will be heard concurrently with these applications.

REQUESTED VARIANCES:

The Applicant requires the Committee's authorization for minor variances from the Zoning By-law as follows:

A-00188: 342A & B Queen Mary Street, proposed townhouse dwellings:

- a) To permit a reduced lot area of 122.9 square metres (342A Queen Mary, easterly townhouse dwelling), whereas the By-law requires a minimum lot area of 135 square metres.
- b) To permit a reduced rear yard setback of 26% of the lot depth or 6.78 metres (342A Queen Mary easterly townhouse dwelling), whereas the By-law requires that the minimum rear yard setback is 30% of the lot depth and need not exceed 7.80 metres.
- c) To permit a reduced rear yard setback of 26% of the lot depth or 6.78 metres (342B Queen Marywesterly townhouse dwelling), whereas the By-law requires that the minimum rear yard setback is 30% of the lot depth and need not exceed 7.80 metres.

A-00189: 344A & B Queen Mary Street, proposed townhouse dwellings:

- d) To permit a reduced rear yard setback of 26% of the lot depth or 6.78 metres (344A Queen Mary, easterly townhouse dwelling), whereas the By-law requires that the minimum required rear yard setback is 30% of the lot depth and need not exceed 7.80 metres.
- e) To permit a reduced rear yard setback of 26% of the lot depth or 6.78 metres (344B Queen Mary, westerly townhouse dwelling), whereas the By-law requires

that the minimum rear yard setback is 30% of the lot depth and need not exceed 7.80 metres.

A-00190: 346A & B Queen Mary Street, proposed townhouse dwellings:

- f) To permit a reduced rear yard setback of 26% of the lot depth or 6.79 metres (346A Queen Mary, easterly townhouse dwelling), whereas the By-law requires that the minimum required rear yard setback is 30% of the lot depth and need not exceed 7.80 metres.
- g) To permit a reduced rear yard setback of 26% of the lot depth or 6.79 metres (346B Queen Mary, westerly townhouse dwelling), whereas the By-law requires that the minimum rear yard setback is 30% of the lot depth and need not exceed 7.80 metres.

A00191: 348A & B Queen Mary Street, proposed townhouse dwellings:

- h) To permit a reduced lot area of 122.72 square metres (348B Queen Mary, westerly townhouse), whereas the By-law requires a minimum lot area of 135 square metres.
- i) To permit a reduced rear yard setback of 26% of the lot depth or 6.79 metres (348A Queen Mary, easterly townhouse dwelling), whereas the By-law requires that the minimum rear yard setback is 30% of the lot depth and need not exceed 7.80 metres.
- j) To permit a reduced rear yard setback of 26% of the lot depth or 6.79 metres (348B Queen Mary, westerly townhouse dwelling), whereas the By-law requires that the minimum rear yard setback is 30% of the lot depth and need not exceed 7.80 metres.

FIND OUT MORE ABOUT THE APPLICATION(S)

For more information about this matter, contact the Committee of Adjustment at the address, email address, website or QR code below.

Visit **Ottawa.ca/CommitteeofAdjustment** and follow the link to **Next hearings** to view panel agendas and application documents, including **proposal cover letters, plans, tree information, hearing notices, circulation maps, and City planning reports**. Written decisions are also published once issued and translated.

If you don't participate in the hearing, you won't receive any further notification of the proceedings.

If you want to be notified of the decision following the hearing, and of any subsequent appeal to the Ontario Land Tribunal, send a written request to the Committee.

HOW TO PARTICIPATE

Submit written or oral comments before the hearing: Email your comments to cofa@ottawa.ca at least 24 hours before the hearing to ensure they are received by the

panel adjudicators. You may also call the Coordinator at 613-580-2436 to have your comments transcribed.

Register to Speak at the hearing at least 24 hours before by contacting the Committee Coordinator at 613-580-2436 or at cofa@ottawa.ca. You will receive details on how to participate by videoconference. If you want to share a visual presentation, the Coordinator can provide details on how to do so. Presentations are limited to five minutes, and any exceptions are at the discretion of the Chair.

Hearings are governed by the Committee of Adjustment's *Rules of Practice and Procedure* accessible online.

ALL SUBMITTED INFORMATION BECOMES PUBLIC

Be aware that, in accordance with the *Planning Act*, the *Municipal Act* and the *Municipal Freedom of Information and Privacy Act*, all information presented to the Committee of Adjustment is considered public information and can be shared with any interested individual. Information you choose to disclose in your correspondence and during the hearing, including your personal information, will become part of the public record, and shared with Committee Members, the Applicant(s) or their agent and any other interested individual, and potentially posted online and become searchable on the Internet.

COMMITTEE OF ADJUSTMENT

The Committee of Adjustment is the City of Ottawa's quasi-judicial tribunal created under the Ontario *Planning Act*. Each year, it holds hearings on hundreds of applications under the *Planning Act* in accordance with the Ontario *Statutory Powers Procedure Act*, including consent to sever land and minor variances from the zoning requirements.

DATED: August 30, 2024



Ce document est également offert en français.

Committee of Adjustment

City of Ottawa

101 Centrepointe Drive

Ottawa ON K2G 5K7

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613-580-2436



Comité de dérogation

Ville d'Ottawa

101, promenade Centrepointe

Ottawa ON K2G 5K7

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613-580-2436

AVIS D'AUDIENCE

Conformément à la *Loi sur l'aménagement du territoire de l'Ontario*

Demandes d'autorisation et de dérogations mineures

Groupe 1

Mercredi 4 septembre 2024

13 h

Place-Ben-Franklin, salle Chamber, 101, promenade Centrepointe, et par vidéoconférence

Les propriétaires des biens-fonds situés dans un rayon de 60 mètres de l'adresse indiquée ci-dessous reçoivent le présent avis afin d'avoir la possibilité de formuler des observations sur la ou les demandes et de participer à l'audience s'ils le souhaitent.

L'audience pourra être visionnée sur la chaîne [YouTube](#) du Comité de dérogation.

Les participants pourront bénéficier d'une interprétation simultanée dans les deux langues officielles et de formats accessibles et d'aides à la communication pour toute question à l'ordre du jour s'ils en font la demande auprès du Comité au moins 72 heures à l'avance.

Dossiers : D08-01-24/B-00128, D08-01-24/B-00131
et D08-02-24/A-00188 à D08-02-24/A-00191

Demande : Autorisation en vertu de l'article 53 de la *Loi sur l'aménagement du territoire*
Dérogations mineures en vertu de l'article 45 de la *Loi sur l'aménagement du territoire*

Propriétaire/requérant : NCTL Investments Inc.

Adresse de la propriété : 342, 344, 346 et 348, rue Queen Mary

Quartier : 13 – Rideau - Rockcliffe

Description officielle : Partie des lots 678 et 684, lots 679, 680, 681, 682 et 683, plan enregistré 342

Zonage : R4UC et R4UC [2480]

Règlement de zonage : 2008-250

PROPOSITION DU REQUÉRANT ET OBJET DE LA DEMANDE :

Le requérant souhaite construire huit habitations en rangée comprenant chacune deux logements supplémentaires (24 logements au total). Il propose de créer deux servitudes d'accès piétonnier. Les quatre habitations jumelées existantes seront démolies.

AUTORISATION REQUISE :

Le requérant sollicite l'autorisation du Comité en vue de concéder des servitudes/emprises.

Il est proposé d'établir des servitudes/emprises comme suit :

- sur la partie 1 du plan 4R préliminaire (342A et 342B, rue Queen Mary), au bénéfice d'une partie des lots 681 et 682, plan enregistré 342 (344A et 344B, rue Queen Mary), à des fins d'accès piétonnier.
- sur la partie 2 du plan 4R préliminaire (348A et 348B, rue Queen Mary), au bénéfice d'une partie des lots 679 et 681 et du lot 680, plan enregistré 342 (346A et 346B, rue Queen Mary), à des fins d'accès piétonnier.

L'approbation de ces demandes aura pour effet de créer huit parcelles distinctes, qui ne seront pas conformes aux exigences du Règlement de zonage. Par conséquent, des demandes de dérogations mineures (dossiers n^{os} D08-02-24/A-00188 à A-00191) ont été soumises et seront étudiées en même temps que les présentes.

DÉROGATIONS DEMANDÉES :

Le requérant demande au Comité d'accorder les dérogations mineures au Règlement de zonage décrites ci-après :

A-00188 : 342A et B, rue Queen Mary, habitations en rangée proposées :

- a) Permettre la réduction de la superficie de lot à 122,9 mètres carrés (342A, rue Queen Mary, habitation en rangée côté est), alors que le règlement exige une superficie de lot d'au moins 135 mètres carrés.
- b) Permettre la réduction du retrait de cour arrière à 26 pour cent de la profondeur du lot, ou 6,78 mètres (342A, rue Queen Mary, habitation en rangée côté est), alors que le règlement exige un retrait de cour arrière correspondant à au moins 30 pour cent de la profondeur du lot, jusqu'à concurrence de 7,80 mètres.
- c) Permettre la réduction du retrait de cour arrière à 26 pour cent de la profondeur du lot, ou 6,78 mètres (342B, rue Queen Mary, habitation côté ouest), alors que le règlement exige un retrait de cour arrière correspondant à au moins 30 pour cent de la profondeur du lot, jusqu'à concurrence de 7,80 mètres.

A-00189 : 344A et B, rue Queen Mary, habitations en rangée proposées :

- d) Permettre la réduction du retrait de cour arrière à 26 pour cent de la profondeur du lot, ou 6,78 mètres (344A, rue Queen Mary, habitation en rangée côté est), alors que le règlement exige un retrait de cour arrière correspondant à au moins 30 pour cent de la profondeur du lot, jusqu'à concurrence de 7,80 mètres.
- e) Permettre la réduction du retrait de cour arrière à 26 pour cent de la profondeur du lot, ou 6,78 mètres (344B, rue Queen Mary, habitation côté ouest), alors que le règlement exige un retrait de cour arrière correspondant à au moins 30 pour cent de la profondeur du lot, jusqu'à concurrence de 7,80 mètres.

A-00190 : 346A et B, rue Queen Mary, habitations en rangée proposées :

- f) Permettre la réduction du retrait de cour arrière à 26 pour cent de la profondeur du lot, ou 6,79 mètres (346A, rue Queen Mary, habitation en rangée côté est), alors que le règlement exige un retrait de cour arrière correspondant à au moins 30 pour cent de la profondeur du lot, jusqu'à concurrence de 7,80 mètres.
- g) Permettre la réduction du retrait de cour arrière à 26 pour cent de la profondeur du lot, ou 6,79 mètres (346B, rue Queen Mary, habitation côté ouest), alors que le règlement exige un retrait de cour arrière correspondant à au moins 30 pour cent de la profondeur du lot, jusqu'à concurrence de 7,80 mètres.

A00191 : 348A et B, rue Queen Mary, habitations en rangée proposées :

- h) Permettre la réduction de la superficie de lot à 122,72 mètres carrés (348B, rue Queen Mary, habitation côté ouest), alors que le règlement exige une superficie de lot d'au moins 135 mètres carrés.
- i) Permettre la réduction du retrait de cour arrière à 26 pour cent de la profondeur du lot, ou 6,79 mètres (348A, rue Queen Mary, habitation en rangée côté est), alors que le règlement exige un retrait de cour arrière correspondant à au moins 30 pour cent de la profondeur du lot, jusqu'à concurrence de 7,80 mètres.
- j) Permettre la réduction du retrait de cour arrière à 26 pour cent de la profondeur du lot, ou 6,79 mètres (348B, rue Queen Mary, habitation côté ouest), alors que le règlement exige un retrait de cour arrière correspondant à au moins 30 pour cent de la profondeur du lot, jusqu'à concurrence de 7,80 mètres.

POUR EN SAVOIR PLUS SUR LA DEMANDE

Pour obtenir plus de renseignements à ce sujet, communiquez avec le Comité de dérogation via l'adresse, le courriel, le site Web ou le code QR ci-dessous.

Visitez le site **Ottawa.ca/Comité de dérogation** et suivez le lien **Prochaines audiences** pour consulter l'ordre du jour du Comité et les documents relatifs aux demandes, y compris les **lettres d'accompagnement des propositions, les plans, l'information sur les arbres, les avis d'audience, les cartes de diffusion et les**

rapports d'urbanisme de la Ville. Les décisions écrites sont également publiées une fois rendues et traduites.

Si vous ne participez pas à l'audience, vous ne recevrez pas d'autre avis à ce sujet.

Si vous souhaitez recevoir un avis de la décision prise à l'issue de l'audience et de tout appel ultérieur interjeté devant le Tribunal ontarien de l'aménagement du territoire, faites-en la demande par écrit au Comité.

COMMENT PARTICIPER

Présentez vos observations écrites ou orales avant l'audience : Veuillez faire parvenir vos observations par courriel à cded@ottawa.ca au moins 24 heures avant l'audience afin de vous assurer que les membres des groupes chargés du rendu des décisions les ont bien reçues. Vous pouvez également téléphoner au coordonnateur ou à la coordonnatrice au numéro 613-580-2436 pour demander que vos observations soient transcrites.

Inscrivez-vous au moins 24 heures à l'avance en communiquant avec le coordonnateur ou la coordonnatrice du Comité au numéro 613-580-2436 ou à l'adresse à cded@ottawa.ca. Vous recevrez des détails sur la façon de participer par vidéoconférence. Si vous souhaitez faire une présentation visuelle, le coordonnateur ou la coordonnatrice sera en mesure de vous fournir des détails sur la façon de procéder. Les présentations sont limitées à cinq minutes et toute exception est laissée à la discrétion du président ou de la présidente.

Les audiences sont régies par les *Règles de pratique et de procédure* du Comité de dérogation et sont accessibles en ligne.

TOUS LES RENSEIGNEMENTS PRÉSENTÉS DEVIENNENT PUBLICS

Sachez que, conformément à la Loi sur l'aménagement du territoire, à la *Loi sur les municipalités* et à la *Loi sur l'accès à l'information municipale et la protection de la vie privée*, les observations écrites adressées au Comité de dérogation sont considérées comme des renseignements publics et peuvent être communiquées à toute personne intéressée. Les renseignements que vous choisissez de divulguer dans votre correspondance, notamment vos renseignements personnels, seront versés au dossier public et communiqués aux membres du Comité, au(x) requérant(s) ou à l'agente ou agent, ainsi qu'à toute autre personne intéressée et pourront éventuellement être affichés en ligne et faire l'objet d'une recherche sur Internet.

COMITÉ DE DÉROGATION

Le Comité de dérogation est le tribunal quasi judiciaire de la Ville d'Ottawa créé en vertu de la *Loi sur l'aménagement du territoire* de l'Ontario. Chaque année, il tient des audiences sur des centaines de demandes en vertu de la *Loi sur l'aménagement du territoire*, conformément à la *Loi sur l'exercice des compétences légales* de l'Ontario, y

compris des demandes d'autorisation de morcellement de terrain et de dérogation mineure aux exigences en matière de zonage.

FAIT le 16 août 2024



This document is also available in English.

Committee of Adjustment
City of Ottawa
101 Centrepointe Drive
Ottawa ON K2G 5K7
Ottawa.ca/CommitteeofAdjustment
cofa@ottawa.ca
613-580-2436



Comité de dérogation
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 **Committee of Adjustment**
Comité de dérogation

CIRCULATION MAP /
PLAN DE CIRCULATION

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SUBJECT LAND / TERRAIN EN QUESTION
342, 344, 348 and 350 rue Queen Mary Street



NOT TO SCALE
NON À L'ÉCHELLE

Planning and Design Rational
Thursday, August 1, 2024

Variance Application
342-344-346-348 Queen Mary Street

Chris Jalkotzy
613 869 4965

Variance Rational

Chris Jalkotzy

Modulink, Planning & Design

1 August 2024

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3.0 DEVELOPMENT PROPOSAL	Page 10
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Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2024-08-01
City of Ottawa | Ville d'Ottawa
Comité de dérogation

1.0 INTRODUCTION and PROJECT OVERVIEW:

This report has been prepared in support of the application for variances and consent to create easements to permit the construction of eight townhouse dwellings with 3 units in each townhouse on 4 existing lots by demolishing 4 existing semi-detached dwelling units. The unit mix includes:

342 Queen Mary: 4 1-bedroom handicap accessible; 2 3-bedroom

344 Queen Mary: 3 2-bedroom; 1 2-bedroom handicap accessible; 2 4-bedroom

346 Queen Mary: 4 2-bedroom; 2 4-bedroom

348 Queen Mary: 4 1-bedroom; 2 3-bedroom

Total 24 units. The properties are located at on Queen Mary Street between Naughton Street and Lola Street in Overbrook McArther. The variances requested are for lot area and for rear yard setback. The establishment of the easements is for the purpose of permitting access to the rear yards of the townhouse dwellings at 344 and 346 Queen Mary over the side yard and rear yard of 342 and 348 Queen Mary.

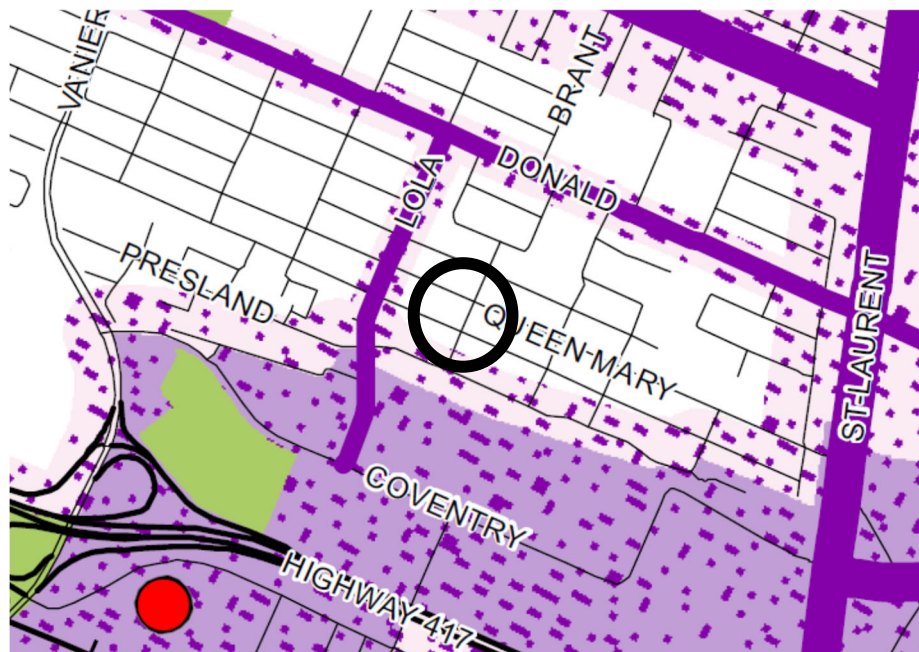
2.0 SITE OVERVIEW & COMMUNITY CONTEXT:

The property is currently occupied by 4 existing semi-detached dwellings constructed in the 60's. The properties are located in the City of Ottawa.

- 342 Queen Mary has a street frontage of 10.85m, depth of 25.99m and area of 281.96 m²
- 344 Queen Mary has a street frontage of 10.94m, depth of 25.99m and area of 284.37 m²
- 346 Queen Mary has a street frontage of 10.92m, depth of 26.00m and area of 283.98 m²
- 348 Queen Mary has a street frontage of 10.87m, depth of 26.00m and area of 282.45 m²

The zoning is R4UC for 342 and 344 Queen Mary. The zoning is R4UC[2480] for 346 and 348 Queen Mary. It is located in the Schedule B2 Inner Urban Transect on Queen Mary Street. The site is in a designated neighbourhood but is just west of the evolving neighbourhood designation.

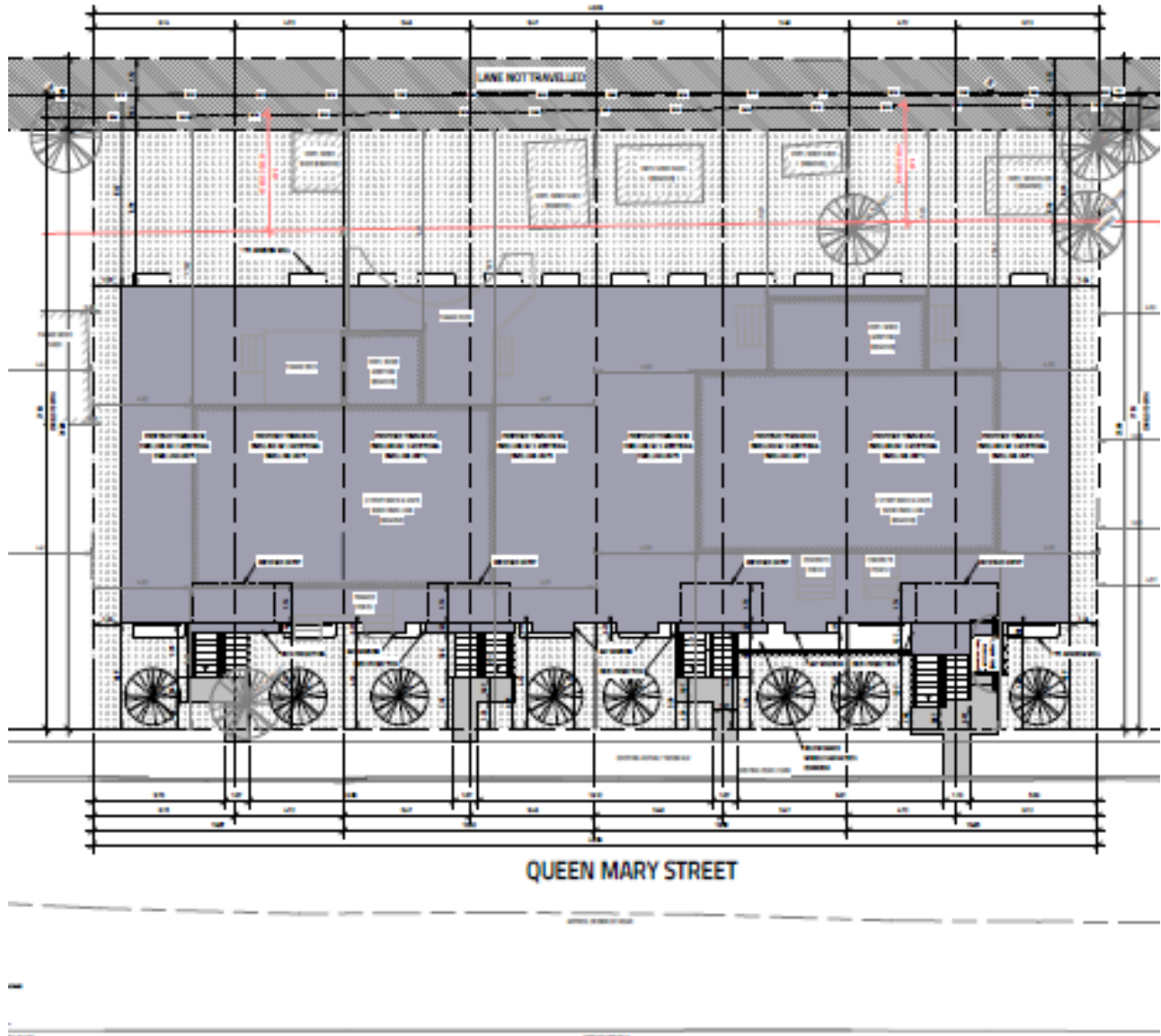
Surrounding Land Uses: The property is bounded by primarily by semidetached dwellings and on the South, North, East and West sides.



Neighbourhood



Subject Site



1) Subject Properties

348 and 346 Queen Mary



344 and 342 Queen Mary



2) The Streetscape looking to the West

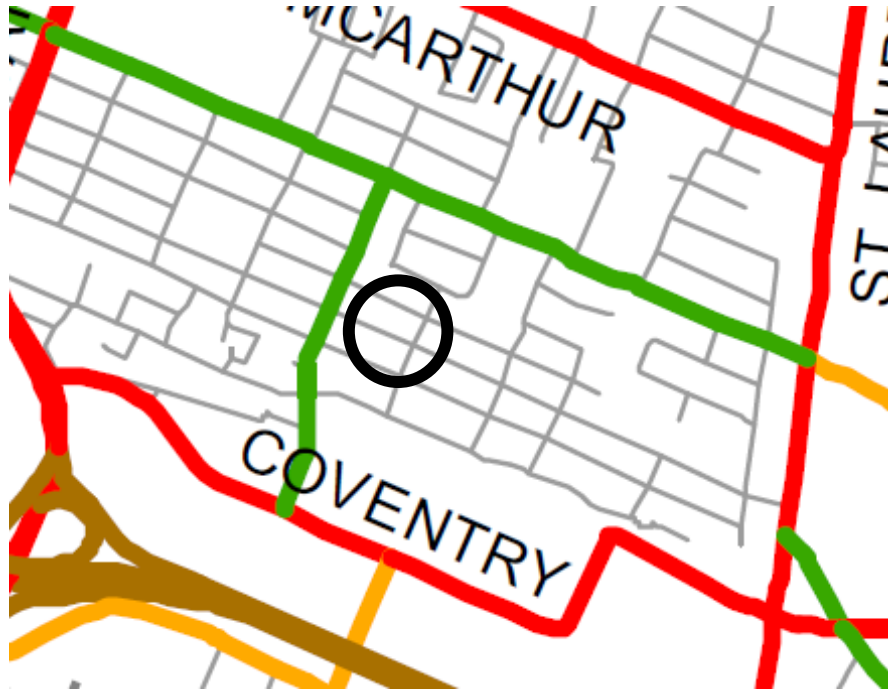


3) The Streetscape looking to the East



Road Network:

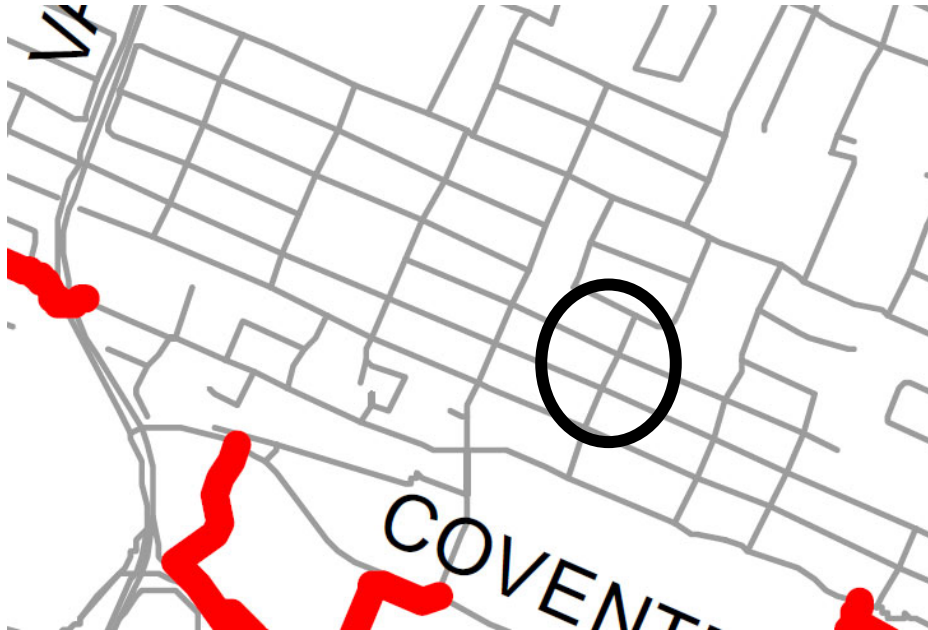
Queen Mary Street that is classified as a local road. The closest intersection is Lola Ave classified as a Collector – Minor on Schedule C4 - Urban Road Network



Bicycle Network:

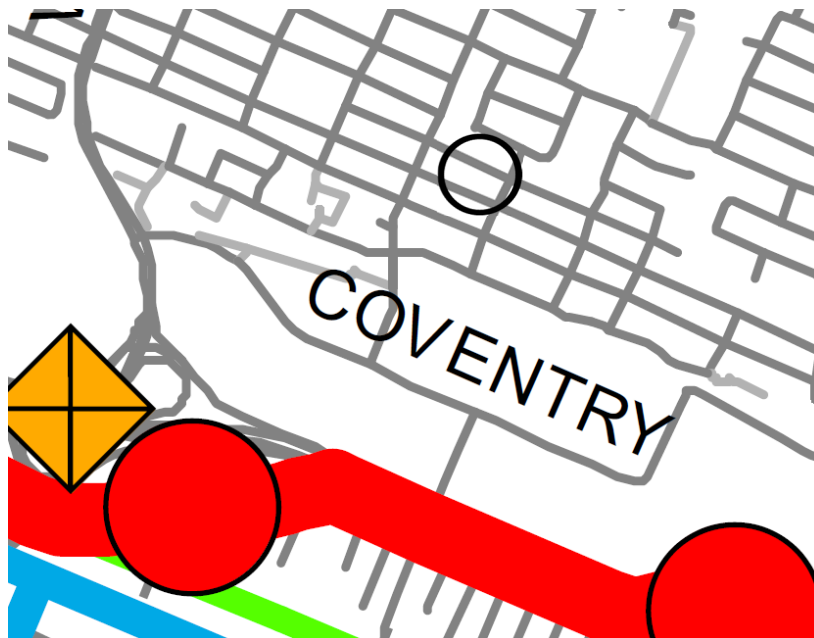
The new active transportation mapping Schedule C3 - Active Transportation Network, major pathways identify several major pathways that the site is close to.

New Active Transportation Plan



Transit Services:

The site is within walking distance (800m) of 1 transit stations



Community Services:

The site is located within easy walking distance to numerous schools, access by bicycle to Sandy Hill over the Adawe Crossing Bridge. There is a strip mall with shops on the other side of the street to the west from the subject properties. There are shops at the corner of Lola Ave and Donald. There are some big box stores to the south. While not a complete 15 min walking neighbourhood, it has many of the attributes of a 15 min neighbourhood.

3.0 DEVELOPMENT PROPOSAL AND VARIANCES

The zoning is R4UC for 342 and 344 Queen Mary. The zoning is R4UC[2480] for 346 and 348 Queen Mary. The exception 2480 permits "Despite 132(4), a rooming house may occupy a building with one principal dwelling unit."

The proposed variances and consent to create easements will permit the construction of 8 townhouse dwellings, each with a primary unit and 2 additional units (rental). The new buildings meet with the form-based planning approach being considered by the City of Ottawa for new zoning bylaw. The zoning bylaw heights and setbacks are maintained. There is an unopened lane at the rear of the property which adds to the perceived building setback and perceived lot area. All the properties exceed the min requirements in lot area and lot width which is 135 sqm and 4.5m respectively. The min lot width for a townhouse is proposed to be 4.72m whereas the bylaw requires 4.5m. The min average lot area per townhouse is 140.98 m², however due to maintaining the same with per townhouse dwelling with only one side yard being required the interior townhouse dwelling will have a lot area of 122.9 m², less than the required 135 m² required by the bylaw while the average for the 2 adjacent townhouse dwellings exceed the lot area requirement.

The current lot depth is 24.99m to 25.00m. The perceived lot depth is 27.52m when ½ of the 3.05m wide closed lane is included. The zoning bylaw requires a 30% rear yard (front yard 4.5m). Based on the perceived lot depth of 27.52m the rear yard setback the requirement would be 8.26m. The proposed setback is a min of 8.31m. The required rear yard setback calculated from the actual rear lot lines is 7.80m (lot depth of 25.99m). The proposed rear yard is 6.78m and 6.79m.

342 Queen Mary has a street frontage of 10.85m, depth of 25.99m and area of 281.96 m²

344 Queen Mary has a street frontage of 10.94m, depth of 25.99m and area of 284.37 m²

346 Queen Mary has a street frontage of 10.92m, depth of 26.00m and area of 283.98 m²

348 Queen Mary has a street frontage of 10.87m, depth of 26.00m and area of 282.45 m²

The requested variances for each property are as follows:

- 1) 342 Queen Mary
 - a. To permit a lot area of 122.9 m² whereas the bylaw requires 135 m² (TABLE 162A V) (easterly townhouse dwelling)
 - b. To permit a rear yard setback of 6.78m whereas the bylaw requires a rear yard setback of 7.80m 30% of lot depth 25.99m) (Table 144A(iii)) for the easterly townhouse dwelling

- c. To permit a rear yard setback of 6.78m whereas the bylaw requires a rear yard setback of 7.80m 30% of lot depth 25.99m) (Table 144A(iii)) for the westerly townhouse dwelling
- 2) 344 Queen Mary
 - a. To permit a rear yard setback of 6.78m whereas the bylaw requires a rear yard setback of 7.80m 30% of lot depth 25.99m) (Table 144A(iii)) for the easterly townhouse dwelling
 - b. To permit a rear yard setback of 6.78m whereas the bylaw requires a rear yard setback of 7.80m 30% of lot depth 25.99m) (Table 144A(iii)) for the westerly townhouse dwelling
- 3) 346 Queen Mary
 - a. To permit a rear yard setback of 6.79m whereas the bylaw requires a rear yard setback of 7.80m 30% of lot depth 26.00m) (Table 144A(iii)) for the easterly townhouse dwelling
 - b. To permit a rear yard setback of 6.79m whereas the bylaw requires a rear yard setback of 7.80m 30% of lot depth 26.00m) (Table 144A(iii)) for the westerly townhouse dwelling
- 4) 348 Queen Mary
 - a. To permit a lot area of 122.72 m² whereas the bylaw requires 135 m² (TABLE 162A V)
 - b. To permit a rear yard setback of 6.79m whereas the bylaw requires a rear yard setback of 7.80m 30% of lot depth 26.00m) (Table 144A(iii)) for the easterly townhouse dwelling
 - c. To permit a rear yard setback of 6.79m whereas the bylaw requires a rear yard setback of 7.80m 30% of lot depth 26.00m) (Table 144A(iii)) for the westerly townhouse dwelling

The establishment of the easements (Parts 1 and 2 on the draft Rplan) is for the purpose of permitting access to the rear yards of the townhouse dwellings at 344 and 346 Queen Mary over the side yard and rear yards of 342 and 348 Queen Mary. The easement Part 1 is to permit the townhouse dwellings proposed at 344 Queen Mary access over the property at 342 Queen Mary. The easement Part 2 is to permit the townhouse dwellings proposed at 346 Queen Mary access over the property at 348 Queen Mary.

4.0 POLICY AND REGULATORY FRAMEWORK:

Provincial Policy Statement (2020)

The Provincial Policy Statement is issued under the authority of section 3 of the Planning Act and came into effect on May 1, 2020. In respect of the exercise of any authority that affects a planning matter, section 3 of the Planning Act requires that decisions affecting planning matters “shall be consistent with” policy statements issued under the Act.

Under the PPS, settlement areas are intended to be the primary focus of growth in the province.

Policy 1.1.1. Healthy, liveable and safe communities are sustained by:

a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;

b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;

c) avoiding development and land use patterns which may cause environmental or public health and safety concerns;

d) avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;

e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;

f) improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society;

g) ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs;

h) promoting development and land use patterns that conserve biodiversity;

and

i) preparing for the regional and local impacts of a changing climate.

The subject lands are situated within the urban boundary of the City of Ottawa and constitute a settlement area. Accordingly, the lands are a logical and preferred location for new development. Within settlement areas, the PPS encourages land use patterns that make efficient use of land, effective use of infrastructure and public services, support active modes of transportation and are transit-supportive (Policy 1.1.1).

City of Ottawa Official Plan

The Ottawa Official Plan has been reviewed. The site is designated General Urban Area on Schedule B of the City of Ottawa Official Plan. Lands within this designation are meant to provide a full range and choice of housing options in combination with conveniently located employment, retail, service, entertainment and institutional uses. The project site does not fall within any of Schedule C7-A - Design Priority Areas – Urban. It is classified as “Neighbourhood” under Schedule B2 Inner Urban Transect.

The Proposal supports 15 min neighbourhood through the following:

- a) No parking will be little traffic impact.
- b) Amenity space is provided in the rear yard.
- c) Lighting will be for safety purposes and will respect the dark skies initiative.
- d) The building will not generate additional noise.
- e) The building height complies with the zoning bylaw

- f) The additional people living in the neighbourhood will increase the number of commercial services that might chose to locate in the area as well as better utilize transit services.

OP Section 3. Growth Management Framework

OP 3.2 Support Intensification

Table 3b

“Housing density

Inner Urban Transect, 60 to 80,”

This project helps move the inner urban transact closer to 60 to 80 units per hectare with a net density of 190 units per hectare.

OP Section 4. City-Wide Policies

OP 4.2 Housing

“4.2.1 Enable greater flexibility and an adequate supply and diversity of housing options throughout the city

2) The City shall support the production of a missing middle housing range of mid-density, low-rise multi-unit housing, in order to support the evolution of healthy walkable 15-minute neighbourhoods by:

- a) Allowing housing forms which are denser, small-scale, of generally three or more units per lot in appropriate locations, with lot configurations that depart from the traditional lot division and put the emphasis on the built form and the public realm, as-of-right within the Zoning By-law;
- b) Allowing housing forms of eight or more units in appropriate locations as-of-right within the Zoning By-law;”.

OP Section 5. Transects

OP 5.1.5 Provide direction to the Neighbourhoods located within the Inner City Transect

“5.2.4 Provide direction to the Neighbourhoods located within the Inner Urban Transect

1) Neighbourhoods located in the Downtown Core shall accommodate residential growth to meet the Growth Management Framework as outlined in Subsection 3.2, Table 3b. The Zoning By-law shall implement the density thresholds in a manner which adheres to the following:

- a) Allows and supports a wide variety of housing types with a focus on missing-middle housing, which may include new housing types that are currently not contemplated in this Plan;
- c) Provides for a Low-rise built form, by requiring in Zoning a minimum built height of 2 storeys, generally permitting 3 storeys, and where appropriate, will allow a built height of up to 4 storeys to permit higher-density Low-rise residential development;
- d) Building on Table 6, provides an emphasis on regulating the maximum built form envelope that frames the public right of way; and

e) In appropriate locations, to support the production of missing middle housing, prohibit lower-density typologies.

OP Section 6. Urban Designations:

The site is designated a Neighbourhood under 6.3 of the OP

“6.3.1 Define neighbourhoods and set the stage for their function and change over the life of this Plan.

2) Permitted building heights in Neighbourhoods shall be Low-rise...”

And

“4) The Zoning By-law and approvals under the Planning Act shall allow a range of residential and non-residential built forms within the Neighbourhood designation, including:

a) Generally, a full range of Low-rise housing options sufficient to meet or exceed the goals of Table 2 and Table 3b;

b) Housing options with the predominant new building form being missing middle housing, which meet the intent of Subsection 6.3.2, Policy 1);”

The proposed building responds to these requirements by proposing a three storey townhouse dwellings.

Urban Design Guidelines for Low-rise Residential Buildings

The proposal maintains the current lot pattern and keeps the exiting building fronting on the street, some characteristics of the buildings in the neighbourhood with a modern architectural style.

City of Ottawa Comprehensive Zoning By-law 2008-250:

Purpose of the Zone

The property is currently R4UC and R4UC[2480]

Purpose of the Zone

The purpose of the R4 - Residential Fourth Density Zone is to:

1. allow a wide mix of residential building forms ranging from detached to low rise apartment dwellings, in some cases limited to four units, and in no case more than four storeys, in areas designated as General Urban Area in the Official Plan;
2. allow a number of other residential uses to provide additional housing choices within the fourth density residential areas;
3. permit ancillary uses to the principal residential use to allow residents to work at home;
4. regulate development in a manner that is compatible with existing land use patterns so that the mixed building form, residential character of a neighbourhood is maintained or enhanced: and
5. permit different development standards, identified in the Z subzone, primarily for areas designated as Developing Communities, which promote efficient land use and compact form while showcasing newer design approaches.

5.0 CONCLUSION:

The proposed development has been designed to meet the current planning framework. It is consistent with the Provincial Policy Statement and conforms to the City of Ottawa Official Plan.

The proposed variance should be considered minor for the following reasons:

1. They are minor and desirable.
 - a. The lot area and lot widths are minor as they are a result of the equal width of townhouses proposed and fully comply if averaged out including $\frac{1}{2}$ of the untravelled lane.
 - b. The additional units assist the City in complying with Bill 23 Province of Ontario
2. The general intent and purpose of the Zoning By-law is maintained
 - a. the intent of the bylaw is to permit townhouses dwellings.
 - b. The intent of the bylaw that the new infill properties respect the existing character of the neighbourhood. While the current character is 2 storey buildings attention has been paid to placing only secondary windows (bedrooms/bathrooms) on sides of the townhouses and decks with porches and sloped roofs have been incorporated into the design.
3. The general intent and purpose of the Official Plan is maintained;
 - a. The official plan supports this kind of gentle intensification of land uses compatible with the current urban fabric.
 - b. The approved Official Plan promotes additional units
4. The Ontario Planning Act supports intensification in residential urban areas

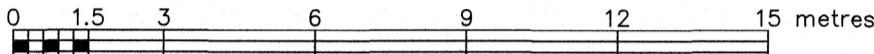
Committee of Adjustment
Received | Reçu le
2024-07-16
City of Ottawa | Ville d'Ottawa
Comité de dérogation

TOPOGRAPHIC PLAN OF SURVEY OF

LOTS 679, 680, 681, 682, 683 AND
PART OF LOTS 678 AND 684
REGISTERED PLAN 342
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2024

Scale 1: 150



Metric Note

Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Bearing Note

Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°01'40" clockwise was applied to bearings on P2.

Elevation Notes

- 1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 :1978. (Monument No. 198434761)
- 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Utility Notes

- 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- 2. Only visible surface utilities were located.
- 3. Underground utility data derived from City of Ottawa utility sheet reference: 60138&P1, A9D-2, A9D-3, E-17-05, E-18-25 & E-18-26.
- 4. Sanitary and storm sewer grades and inverts were derived from: Field measurement.
- 5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Notes & Legend

- Denotes Survey Monument Planted
- Survey Monument Found
- SIB Standard Iron Bar
- IB Iron Bar
- CP Concrete Pin
- Measured
- (P1) Registered Plan 342
- (P2) Plan by (725) dated May 13, 1986 (Ref. No. 356-85-2)
- (P3) Plan by (1DB) dated June 18, 1976 (Ref. No. 76-51-1-721)
- MH-ST Maintenance Hole (Storm)
- MH-S Maintenance Hole (Sanitary)
- ST Undergroud Storm Sewer
- S Undergroud Sanitary Sewer
- W Undergroud Water
- G Undergroud Gas
- OHW Overhead Wires
- Utility Pole
- Light Standard
- CB Catch Basin
- FH Fire Hydrant
- GM Gas Meter
- AC Air Conditioner
- Diameter
- CLF Chain Link Fence
- BF Board Fence
- PVC Plastic/Vinyl Fence
- U/Eave Underside of Eave
- Tp/Fdn Top of Foundation
- C/L Centreline
- WW Window Well
- +65.00 Location of Elevations
- +65.00 Top of Concrete Curb/Retaining Wall Elevation
- Property Line
- Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

TOPOGRAPHIC DATA WAS COLLECTED UNDER WINTER CONDITIONS. SNOW COVER AND ICE PRECLUDE DETERMINING LOCATION AND ELEVATION OF SOME TOPOGRAPHICAL DATA THAT IS OTHERWISE VISIBLE.

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Surveyor's Certificate

- I certify that:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
2. The survey was completed on the 14th day of February, 2024.

Feb 22/2024
Date

Emad Alrefaai
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-73385

FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS

Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
TEL: (613) 727-8226 E-mail: fdsurveys@bellnet.ca

Overhead Wire Information				
Overhead Wire Elevations at SAG 'A'	Overhead Wire Elevations at Utility Pole A	Overhead Wire Elevations at SAG 'B'	Overhead Wire Elevations at Utility Pole B	Transformer Box near Location A
Top Wire = 72.2	Top Wire = 72.5	Top Wire = 71.8	Top Wire = 72.7	Top = ±69.6
Bottom Wire = 66.2	Bottom Wire = 66.3	Bottom Wire = 66.4	Bottom Wire = 66.9	Bottom = ±68.7

Site Area=1132.8 sq.m.

FILE No.: 12-24



QUEEN

MARY

STREET

(REGISTERED PLAN 342)

P.I.N. 04252 -- 0434

Committee of Adjustment
Received | Reçu le
2024-07-16
City of Ottawa | Ville d'Ottawa
Comité de dérogation

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: _____

DANIEL ROBINSON
ONTARIO LAND SURVEYOR

PLAN 4R-
RECEIVED AND DEPOSITED

DATE: _____

REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
OTTAWA-CARLETON NO. 4.

SCHEDULE

PART	LOT	PLAN	PIN	AREA (Sq.m.)
1	Part of 678 & 679	342	PART OF 04252-0291	42.8
2	Part of 682, 683 & 684		PART OF 04252-0294	42.8

PLAN OF SURVEY OF

PART OF LOTS 678, 679, 682, 683 AND 684

REGISTERED PLAN 342
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2024

Scale 1: 150



Metric Note

Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99995.

Bearing Note

Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original). For bearing comparisons, a rotation of 0°01'40" clockwise was applied to bearings on P2.

CO-ORDINATES WERE DERIVED FROM CAN-NET REAL TIME NETWORK OBSERVATIONS, MTM ZONE 9, N.A.D. 1983 (ORIGINAL).

POINT ID	NORTHING	EASTING
(A)	5032050.13	371263.96
(B)	5032054.99	371307.28
01919680105	5024915.16	373971.65
019198434761	5036178.12	372436.11

CO-ORDINATES ARE MTM ZONE 9, N.A.D. 1983 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

Notes & Legend

- Denotes Survey Monument Planted
- Denotes Survey Monument Found
- SIB Iron Bar
- IB Standard Iron Bar
- CP Concrete Pin
- Meas Measured
- (P1) Registered Plan 342
- (P2) Plan by (725) dated May 13, 1986 (Ref. No. 356-85-2)
- (P3) Plan by (JDB) dated June 18, 1976 (Ref. No. 76-51-1-1-721)
- (P4) Plan by (1692) dated February 22, 2024 (File No. 12-24)
- ohw Overhead Wires
- oUP Utility Pole
- Ø Diameter
- CLF Chain Link Fence
- BF Board Fence
- PVC Plastic Vinyl Fence
- C/L Centreline

Surveyor's Certificate

I certify that:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the Regulations made under them.
2. The survey was completed on the ___ day of _____, 2024.

Date _____ Daniel Robinson
Ontario Land Surveyor

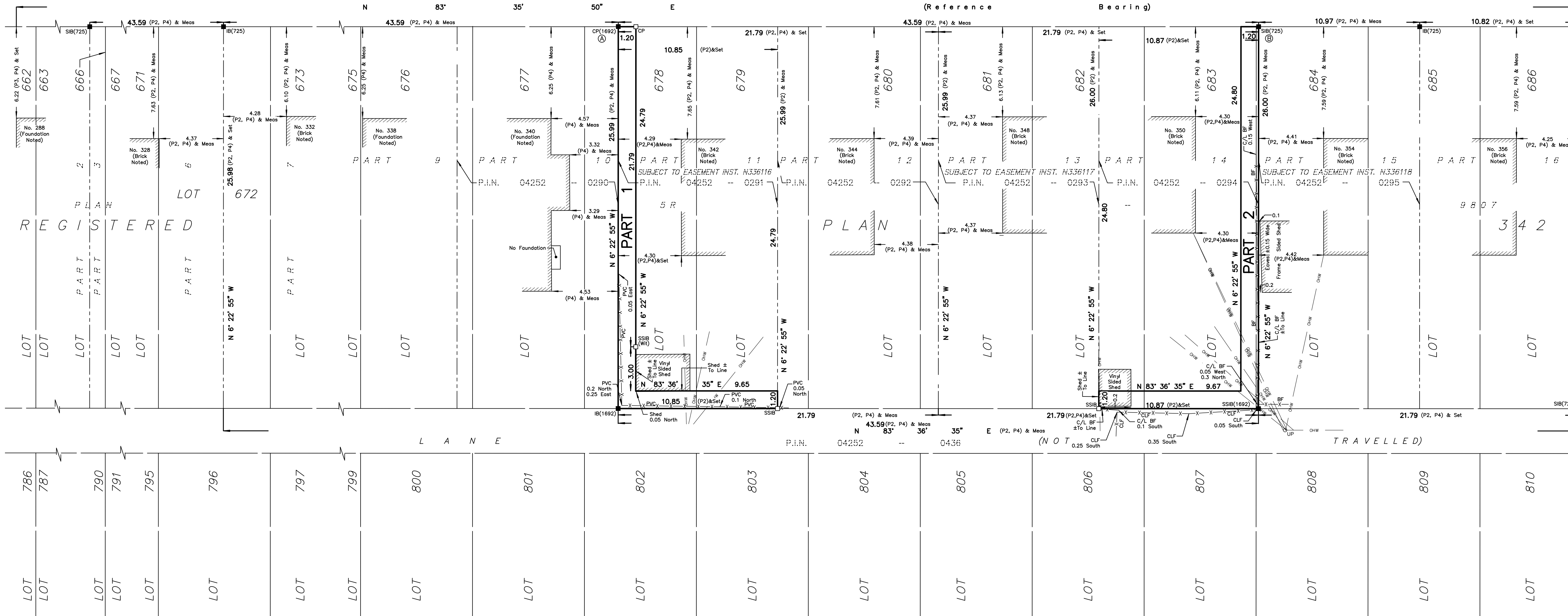
This plan of survey relates to AOLS Plan Submission Form Number V-XXXXX

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TEL. (613) 727-8226 E-mail: fdsurveys@bellnet.ca

FILE No.: 196-24



STREET

NAUGHTON



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51 Rothwell Drive
Ottawa, On
K1J 7G7

CLIENT

Scale 1:150

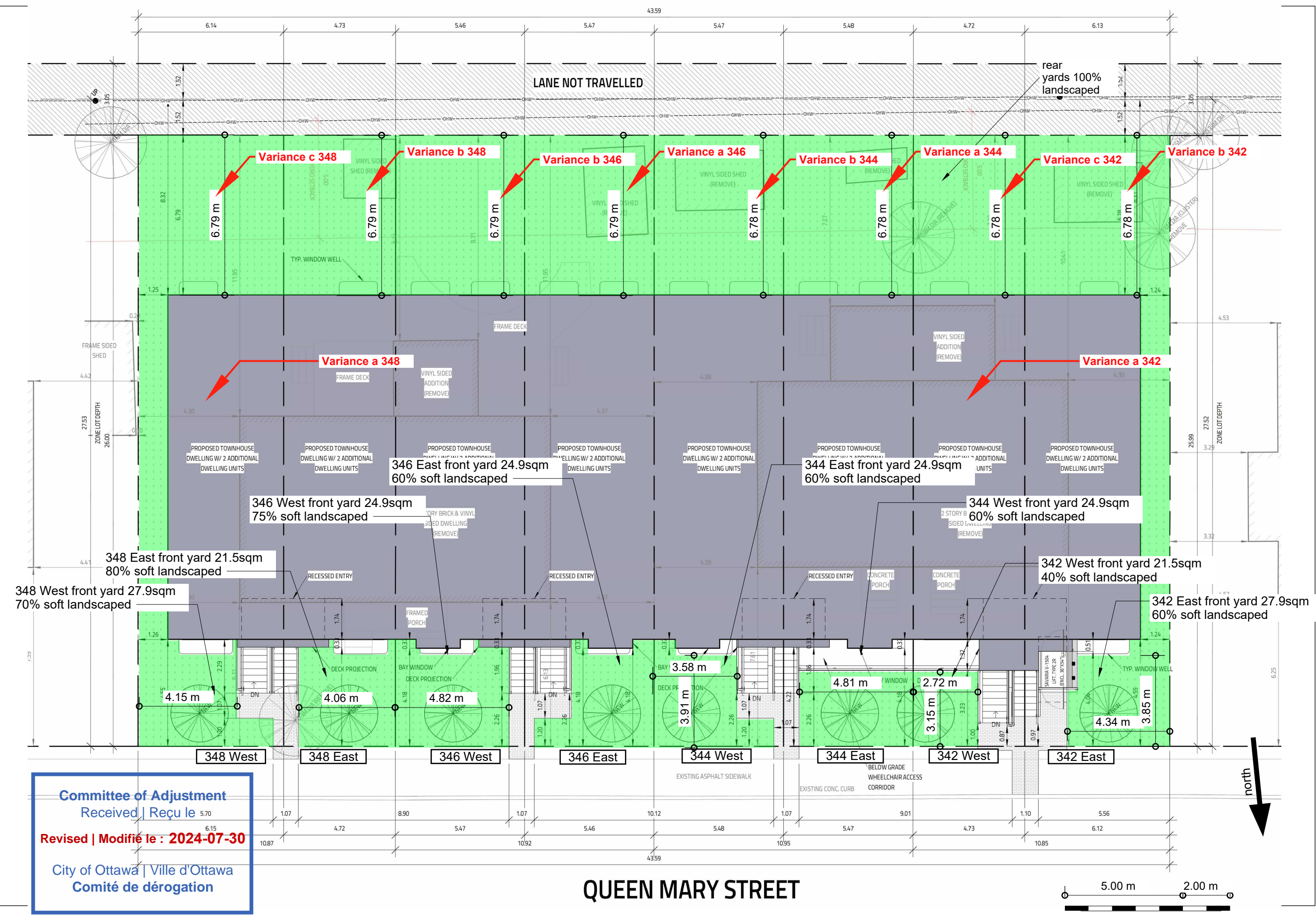
PROJECT 342-344-348-350
Queen Mary

ISSUE
DRAWN BY
CJ

PROJECT NO.
2023

July 29, 2024
Site

A.10



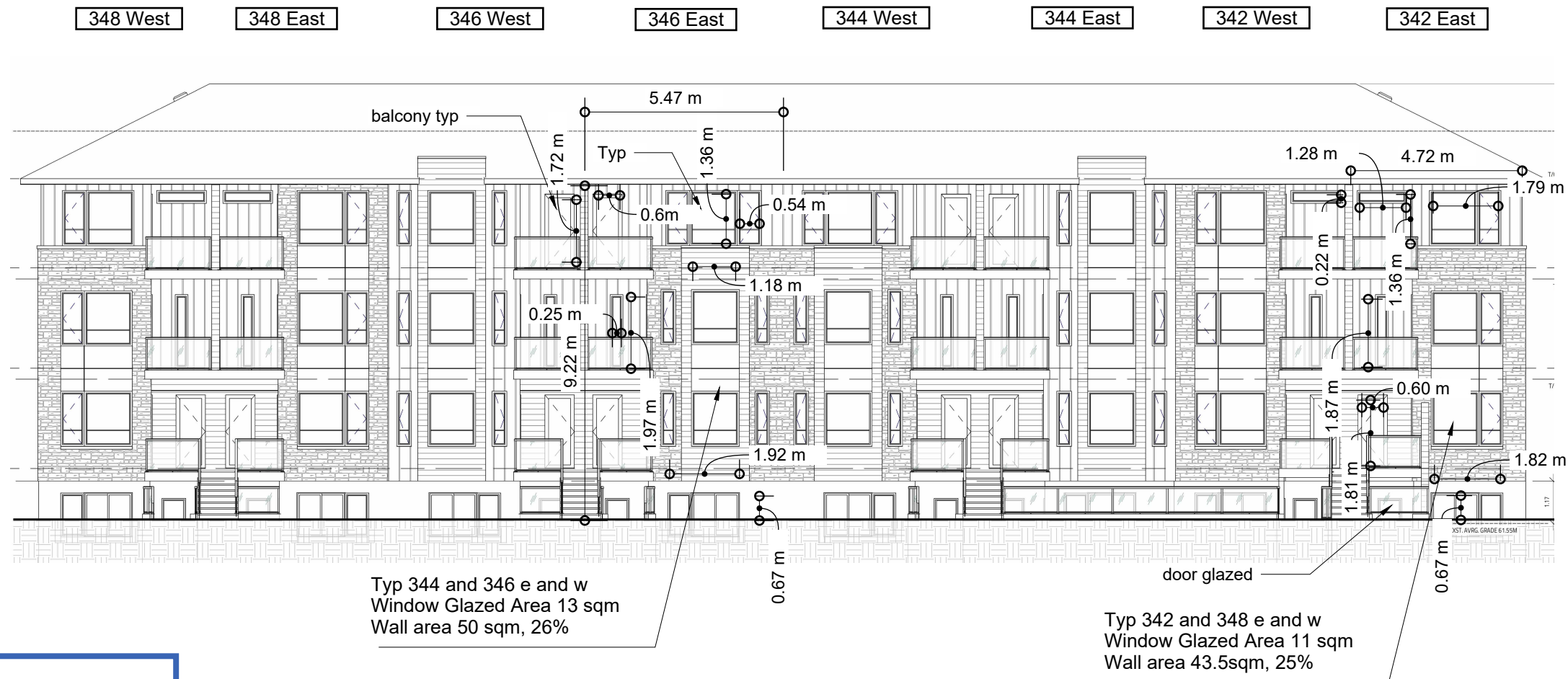
Committee of Adjustment
Received | Reçu le 5.70
Revised | Modifié le : 2024-07-30 6.15
City of Ottawa | Ville d'Ottawa
Comité de dérogation

QUEEN MARY STREET



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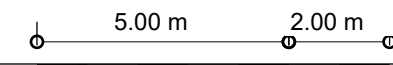
PROJECT 342-344-348-350
Queen Mary

ISSUE
DRAWN BY CJ

PROJECT NO. 2023

July 29, 2024
North Elev

A.11



Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2024-07-30
City of Ottawa | Ville d'Ottawa
Comité de dérogation

Committee of Adjustment
Received | Reçu le
2024-07-16
City of Ottawa | Ville d'Ottawa
Comité de dérogation



1 PERSPECTIVE FRONT FROM LEFT
SCALE:



2 PERSPECTIVE FRONT FROM RIGHT
SCALE:



3 PERSPECTIVE REAR FROM LEFT
SCALE:

I REVIEW & TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF THE OBC 2012. I AM QUALIFIED & THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

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FIRM BCIN: 45801
INDIVIDUAL BCIN: 41176

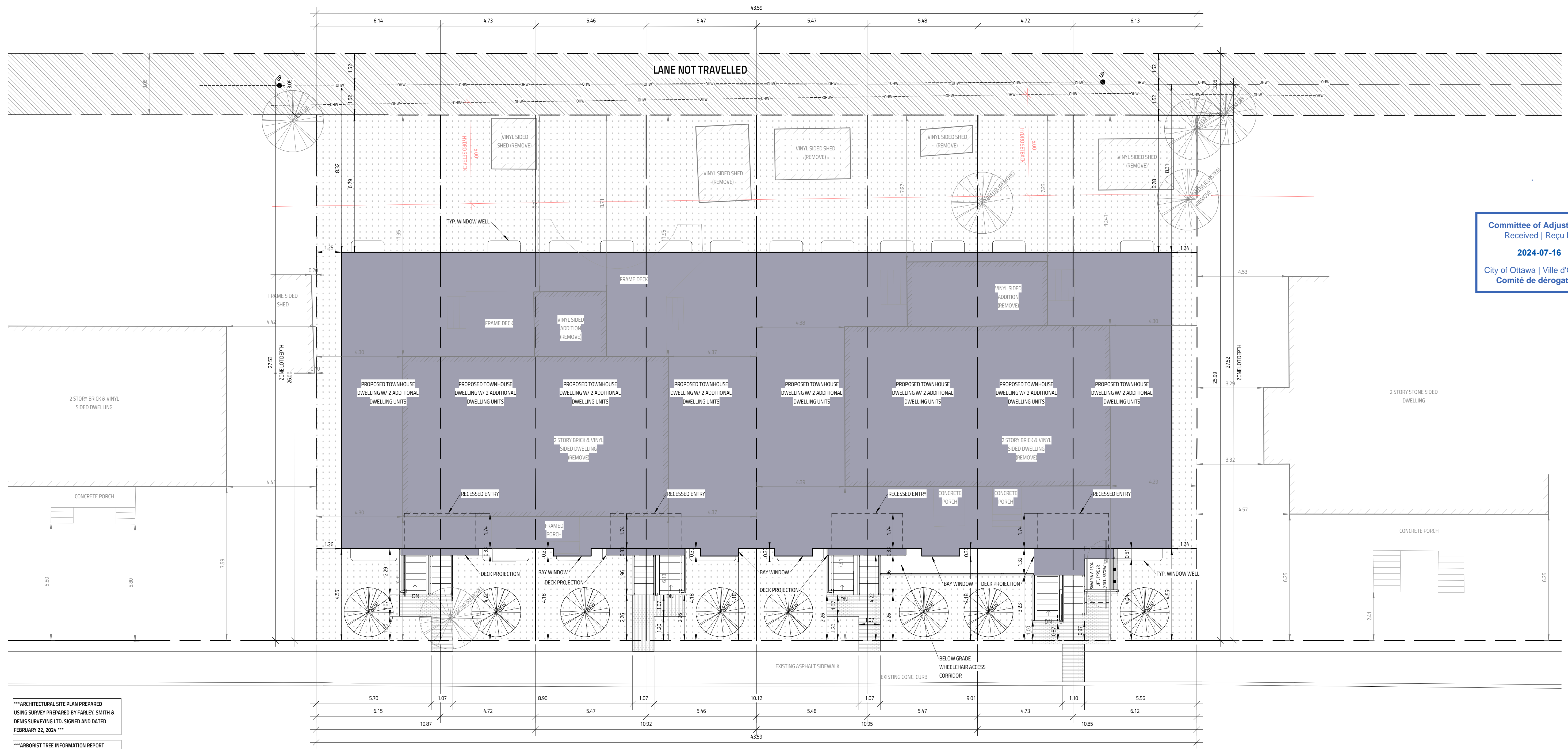
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NO.	REVISION	DATE

PROJECT:
342,344,348,350 QUEEN MARY STREET
8 ROW TOWNHOUSE BLOCK
3 UNITS/ROW
OTTAWA, ON



DRAWING TITLE	
COVER	
DATE DRAWN: MARCH 2024	SCALE:
DRAWN BY: BM	FILE NAME: 24-00006
CHECKED BY: SG	DRAWING NO.:
	A0.0



Committee of Adjustment
Received | Reçu le
2024-07-16
City of Ottawa | Ville d'Ottawa
Comité de dérogation

ARCHITECTURAL SITE PLAN PREPARED USING SURVEY PREPARED BY FARLEY, SMITH & DENIS SURVEYING LTD. SIGNED AND DATED FEBRUARY 22, 2024.

ARBORIST TREE INFORMATION REPORT SUPERCEDES ALL TREE PRESERVATION INFORMATION SHOWN ON THIS SITE PLAN

QUEEN MARY STREET

ZONING ASSESSMENT			
TOWNHOUSE DWELLING			
SCHEDULE 342 & 343			
BY-LAW SECTION	ZONING MECHANISM	REQUIRED	NOTES
	MIN LOT WIDTH:	4.5M	
	MIN LOT AREA:	135 SQ.M.	
S-144(1) (B)	MIN FRONT YARD:	4.5M	6.18M NEIGHBOURS AVERAGE
	MIN CORNER YARD:	-	
S-144 (TABLE 144A)	MIN REAR YARD:	8.20M	30% LOT DEPTH
	MIN SIDE YARD:	1.2M	
	MAX BUILDING HEIGHT:	11M	ROOF SLOPE <= 4/12
S-139(1)	MIN FRONT YARD LANDSCAPING:	20%	
S-143(1)(B)	GARAGE STRG. AREA:	YES	BLDG. >200 SQ.M. TOTAL FLR AREA
S-143(2)	GARAGE STRG. LOCATION:	EXTERIOR	
	MIN SET BACK IN REAR YARD IF EXT.		
S-143(3)	GARAGE STORAGE SIZE:	MIN 3.5 x 3 VOLUME, MIN 2.0 SQ.M.	
S-134 (TABLE 134B)	PERMITTED DRIVEWAY TYPE:	N/A	
	PERMITTED DRIVEWAY WIDTH:	N/A	
S-139(3)	MIN GARAGE WALL SETBACK:	N/A	
S-139(4)(1)	MAX WALKWAY WIDTH:	1.2M	AT FRONT
S-139(4)(2)	MAX WALKWAY WIDTH (GRASS/STRG.):	2.2M	
S-101	PARKING AREA:	AREA 'X'	
	MIN PARKING:	N/A	
S-107	MIN DRIVE WALK WIDTH:	N/A	
	PARKING SPACE PROVISIONS:	N/A	
S-102(4)	MIN VISITOR PARKING:	N/A	
S-111	MIN BICYCLE PARKING:	N/A	WITHIN AREA 'X' (SCHEDULE 1)
S-111 (TABLE 111B)	BICYCLE PARKING PROVISIONS:	0.6M X 1.8M	

APPROX. CROWN OF ROAD

EDGE OF ASPHALT

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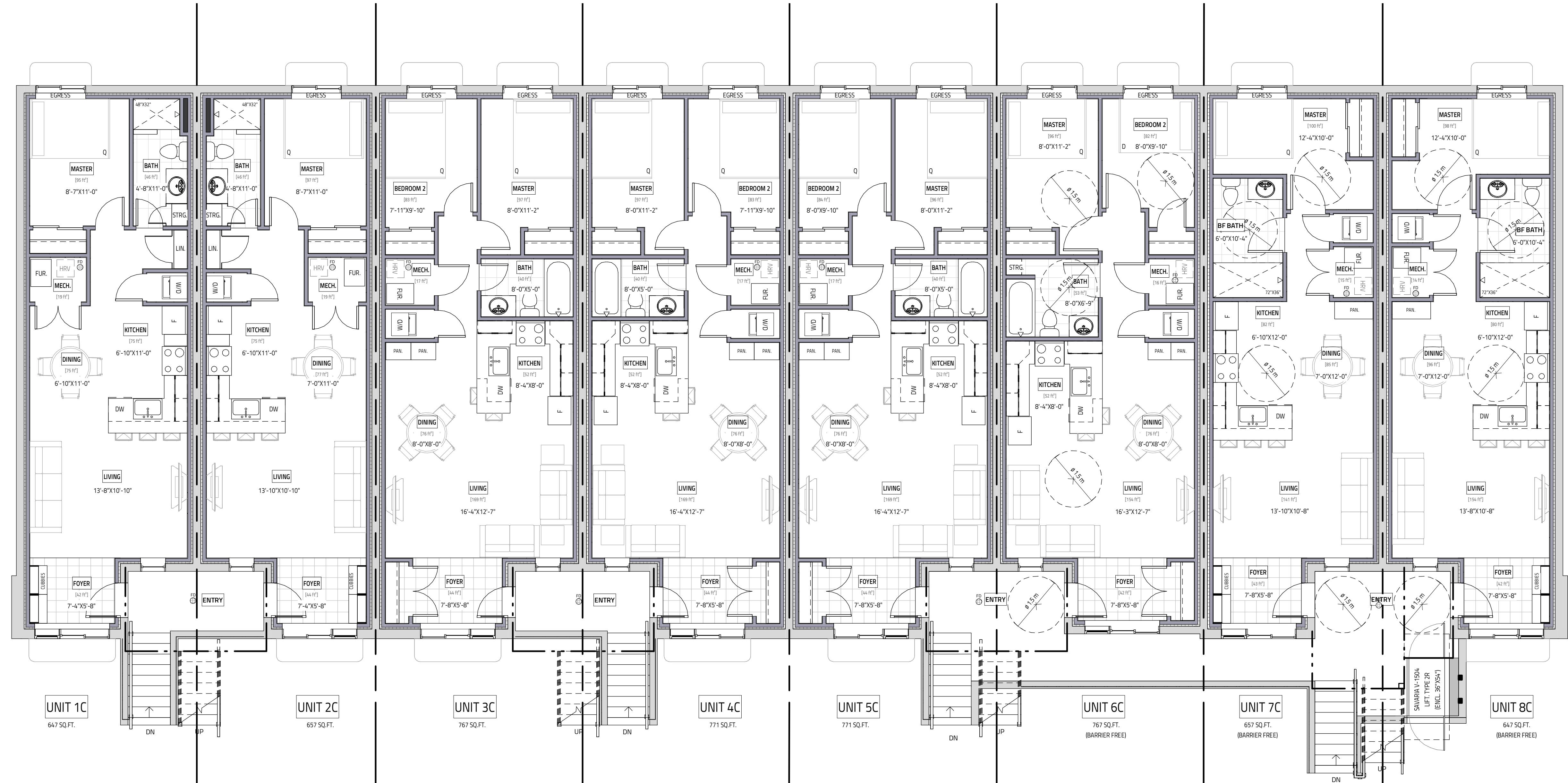
NO.	REVISION	DATE
1	ISSUED	APRIL 26, 2024
2	ISSUED	APRIL 12, 2024

PROJECT:
342,344,348,350 QUEEN MARY STREET
8 ROW TOWNHOUSE BLOCK
3 UNITS/ROW
OTTAWA, ON



DATE DRAWN		SCALE	
MARCH 2024	1:100	FILE NAME:	423-00206
DRAWN BY:	ML	DRAWN NO.:	
CHECKED BY:	SG		

SITE PLAN
A0.1



NOTE: CHECK W/ MANUFACTURER FOR EXACT ROUGH-OPENING REQUIREMENTS FOR ALL DOORS & WINDOWS

MATERIALS USED & CONSTRUCTION PROCEDURE MUST CONFORM TO:
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2. NOTES & DETAILS SHOWN ON STRUCTURAL DRAWINGS
3. PROVISIONS IN PART 9 OF O.B.C. 2012

NOTE:
REFER TO TRUSS LAYOUT FOR EXACT GIRDER LOCATION & PROVIDE TRUSS LAYOUT ON SITE AT TIME OF INSPECTION

MASONRY SUPPORT TABLE

OPENING (UP TO)	BRICK VENEER (OBC 5.03.3.2.1)	STONE VENEER (OBC 5.03.3.2.2)
3'-11"	L3 1/2" x 3 1/2" x 1/4"	L5" x 3 1/2" x 5/16"
4'-11"	L3 1/2" x 3 1/2" x 5/16"	L5" x 3 1/2" x 5/16"
5'-11"	L4" x 3 1/2" x 5/16"	L5" x 5" x 5/16"
6'-11"	L4" x 3 1/2" x 3/8"	L5" x 5" x 5/16"
7'-10"	L5" x 3 1/2" x 5/16"	L5" x 5" x 5/16"
8'-10"	L5" x 3 1/2" x 3/8"	L5" x 5" x 3/8"
9'-10"	L6" x 4" x 3/8"	L5" x 5" x 1/2"

LEGEND

F	EXHAUST FAN	⬇	SHOWER HEAD	P2	2-2X4 or 2X6 POST SPF #182
DW	DISHWASHER	⬆	HOSEBIB	P3	3-2X4 or 2X6 POST SPF #182
RF	REFRIGERATOR	⬆	GAS LINE	P4	4-2X4 or 2X6 POST SPF #182
T/A	TOILET ABOVE	⬆	FLOOR JOIST PLAN	P5	5-2X4 or 2X6 POST SPF #182
SA	SMOKE ALARM W/STROBES	⬆	STORM SERVICE	HSS	4" X 4" X 1/4" HSS
SCA	SMOKE/CARBON ALARM W/STROBES	⬆	WATER SERVICE	TP	3" DIA. ADJ. TELEPOST
		⬆	SEWAGE SERVICE	DR	DROP BEAM
		⬆			

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INDIVIDUAL BCIN: 41176

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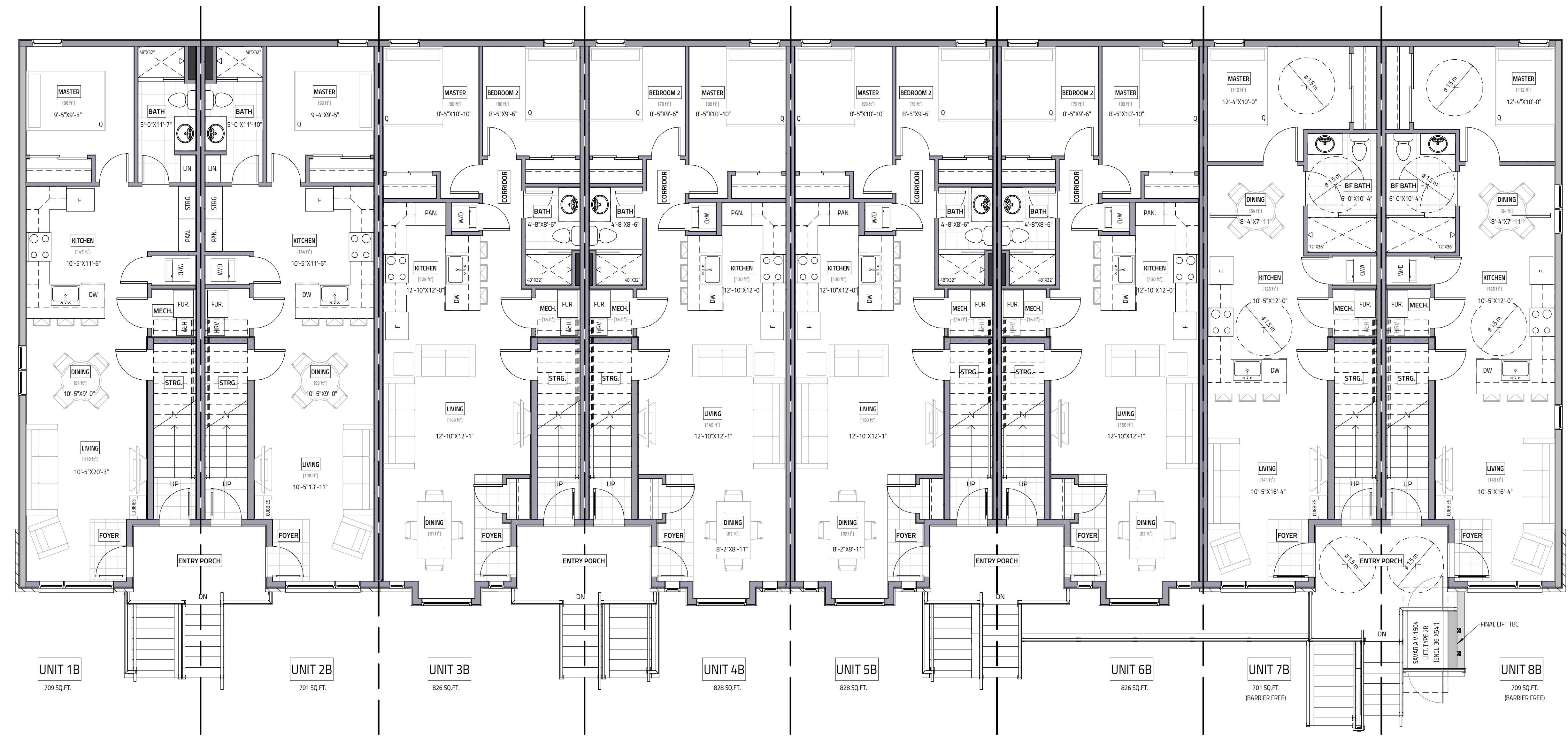
NO.	REVISION	DATE
1	ISSUED	APRIL 26, 2024
2	ISSUED	APRIL 12, 2024

PROJECT: 342,344,348,350 QUEEN MARY STREET
8 ROW TOWNHOUSE BLOCK
3 UNITS/ROW
OTTAWA, ON



FOUNDATION PLAN

DATE DRAWN	SCALE	FILE NAME
MARCH 2024	3/16" = 1'-0"	423-00286
DRAWN BY: BR	CHECKED BY: SC	DWG. NO. A1.0



UNIT 1B 709 SQ.FT. UNIT 2B 701 SQ.FT. UNIT 3B 826 SQ.FT. UNIT 4B 828 SQ.FT. UNIT 5B 828 SQ.FT. UNIT 6B 826 SQ.FT. UNIT 7B 701 SQ.FT. (BARRIER FREE) UNIT 8B 709 SQ.FT. (BARRIER FREE)

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3. PROVISIONS IN PART 9 OF O.B.C. 2012

NOTE: REFER TO TRUSS LAYOUT FOR EXACT GIRDER LOCATION & PROVIDE TRUSS LAYOUT ON SITE AT TIME OF INSPECTION

OPENING UP TO	BRICK VENEER (OBC 9.20.5.2.4)	STONE VENEER (OBC 9.20.5.2.4)
3'-11"	L3 1/2" x 3 1/2" x 1/4"	L5" x 3 1/2" x 5/16"
4'-11"	L3 1/2" x 3 1/2" x 5/16"	L5" x 3 1/2" x 5/16"
5'-11"	L4" x 3 1/2" x 5/16"	L5" x 5" x 5/16"
6'-11"	L4" x 3 1/2" x 3/8"	L5" x 5" x 5/16"
7'-10"	L5" x 3 1/2" x 5/16"	L5" x 5" x 5/16"
8'-10"	L5" x 3 1/2" x 3/8"	L5" x 5" x 3/8"
9'-10"	L6" x 4" x 3/8"	L5" x 5" x 1/2"

LEGEND	
F	EXHAUST FAN
DW	DISHWASHER
RF	REFRIGERATOR
T/A	TOILET ABOVE
SA	SMOKE ALARM W/STROBES
SCA	SMOKE/CARBON ALARM W/STROBES
E/P	ELECT. PANEL
NET	NETWORK PANEL
H	HOSE/BIB
G	GAS LINE
ST	STORM SERVICE
W	WATER SERVICE
S	SEWAGE SERVICE
SH	SHOWER HEAD
HM	HYDRO METER
GM	GAS METER
FP	FLOOR JOIST PLAN
BP	BEAM POCKET
FL	FLUSH BEAM
TP	3" DIA. ADJ. TELEPOST
P2	2-2X4 or 2X6 POST SPF #182
P3	3-2X4 or 2X6 POST SPF #182
P4	4-2X4 or 2X6 POST SPF #182
P5	5-2X4 or 2X6 POST SPF #182
HSS	4" X 4" X 1/4" HSS
DR	DROP BEAM

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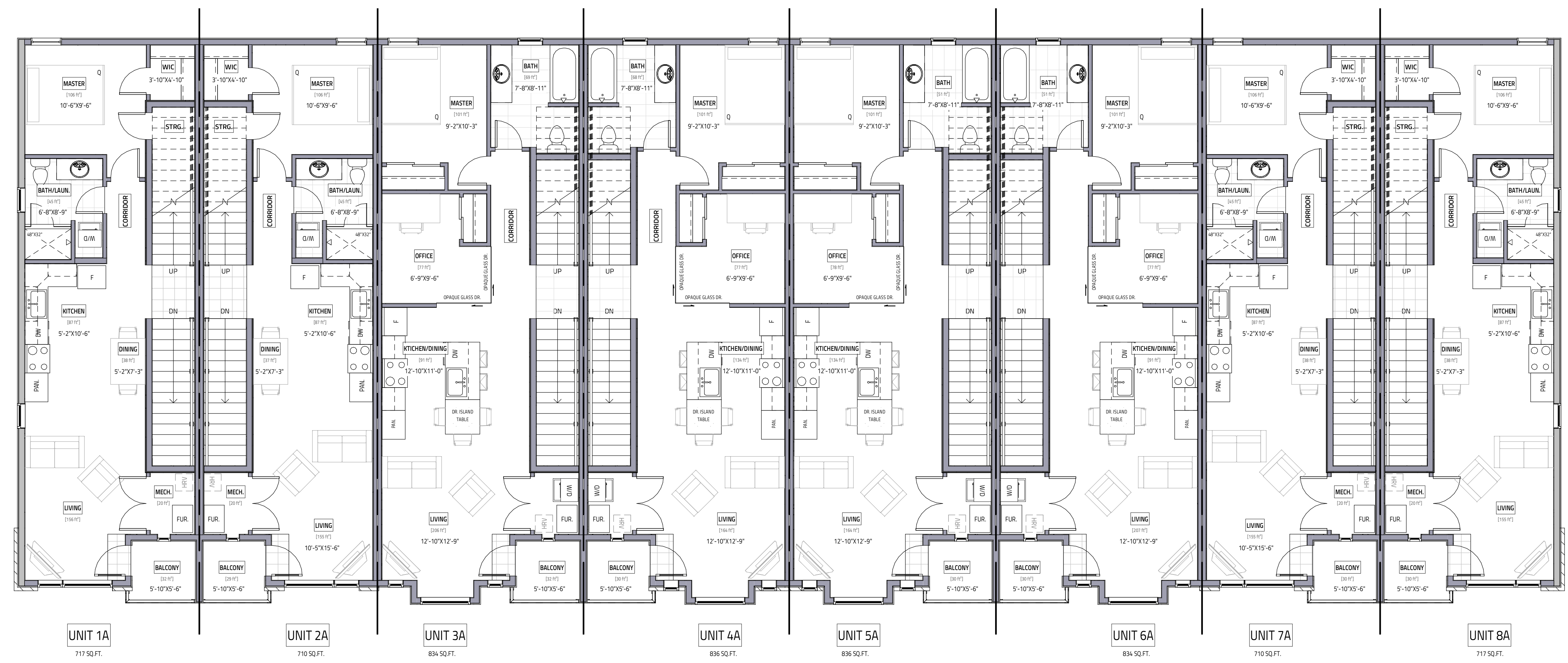
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NO.	REVISION	DATE
1	ISSUED	APRIL 26, 2024
2	ISSUED	APRIL 26, 2024
3	ISSUED	APRIL 26, 2024

342,344,348,350 QUEEN MARY STREET
8 ROW TOWNHOUSE BLOCK
3 UNITS/ROW
OTTAWA, ON



DRAWING TITLE	
GROUND FLOOR	
DATE DRAWN: MARCH 2024	SCALE: 3/8" = 1'-0"
DRAWN BY: BR	FILE NAME: 423-00286
CHECKED BY: SG	DWG. NO.
	A1.1



UNIT 1A 717 SQ. FT. UNIT 2A 710 SQ. FT. UNIT 3A 834 SQ. FT. UNIT 4A 836 SQ. FT. UNIT 5A 836 SQ. FT. UNIT 6A 834 SQ. FT. UNIT 7A 710 SQ. FT. UNIT 8A 717 SQ. FT.

NOTE
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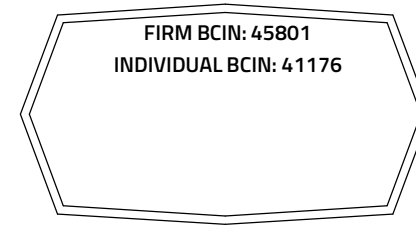
NOTE:
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OPENING UP TO	BRICK VENEER (DRC 9.20.5.2.4)	STONE VENEER (DRC 9.20.5.2.4)
3'-11"	L3 1/2" x 3 1/2" x 1/4"	L5" x 3 1/2" x 5/16"
4'-11"	L3 1/2" x 3 1/2" x 5/16"	L5" x 3 1/2" x 5/16"
5'-11"	L4" x 3 1/2" x 5/16"	L5" x 5" x 5/16"
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9'-10"	L6" x 4" x 3/8"	L5" x 5" x 1/2"

LEGEND	
F	EXHAUST FAN
DW	DISHWASHER
RF	REFRIGERATOR
T/A	TOILET ABOVE
SA	SMOKE ALARM
W/STROBES	W/STROBES
SC	SMOKE/CARBON ALARM
W/STROBES	W/STROBES
E/P	ELECT. PANEL
NET	NETWORK PANEL
H/B	HOSE BIB
GAS	GAS LINE
ST	STORM SERVICE
W	WATER SERVICE
S	SEWAGE SERVICE
SH	SHOWER HEAD
HM	HYDRO METER
GM	GAS METER
FIP	FLOOR JOIST PLAN
BP	BEAM POCKET
FL	FLUSH BEAM
TP	3" DIA. ADJ. TELEPOST
P2	2-2X4 or 2X6 POST SPF #182
P3	3-2X4 or 2X6 POST SPF #182
P4	4-2X4 or 2X6 POST SPF #182
P5	5-2X4 or 2X6 POST SPF #182
HSS	4" X 4" X 1/4" HSS
DR	DROP BEAM

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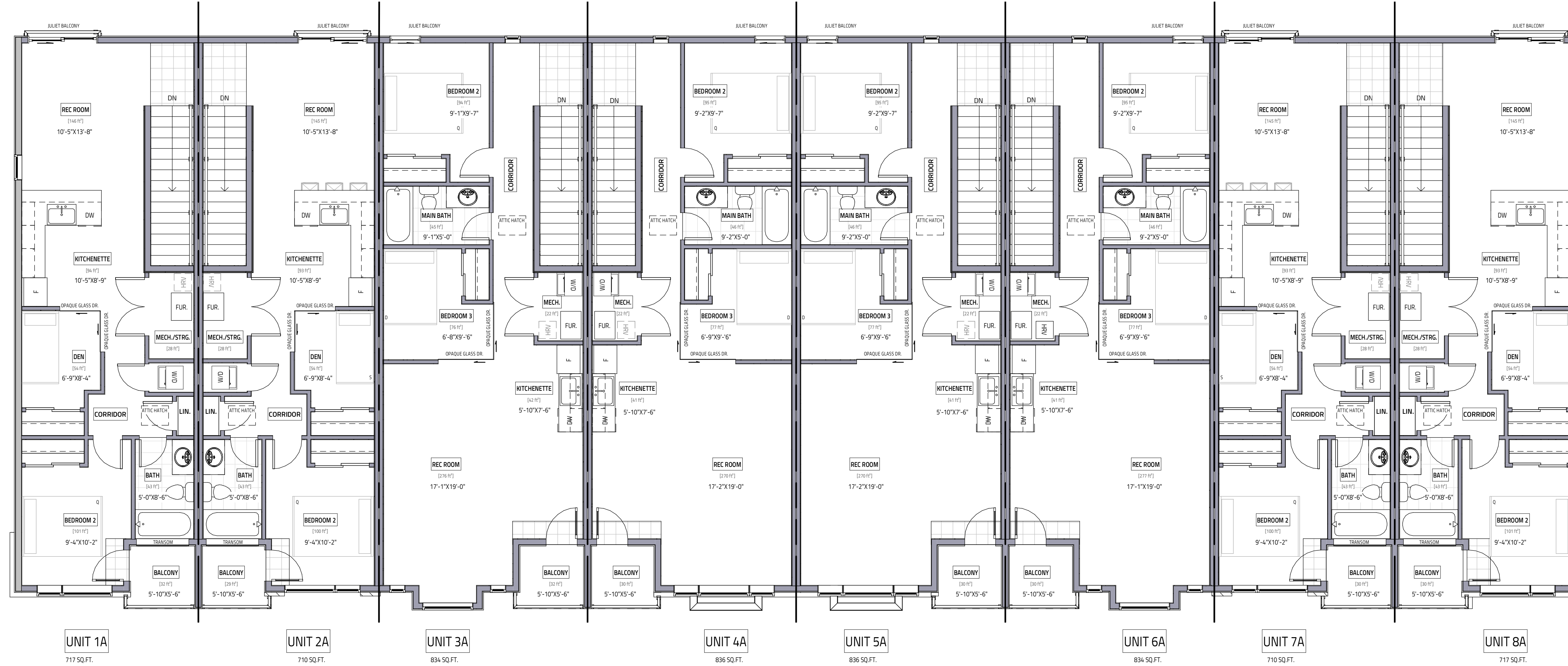
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NO.	REVISION	DATE
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2	ISSUED	APRIL 12, 2024

342,344,348,350 QUEEN MARY STREET
 8 ROW TOWNHOUSE BLOCK
 3 UNITS/ROW
 OTTAWA, ON



DRAWING TITLE	
SECOND FLOOR	
DATE DRAWN: MARCH 2024	SCALE: 3/16" = 1'-0"
DRAWN BY: BR	FILE NAME: 423-00286
CHECKED BY: SG	DWG. NO. A1.2



NOTE: CHECK W/ MANUFACTURER FOR EXACT ROUGH-OPENING REQUIREMENTS FOR ALL DOORS & WINDOWS.

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MASONRY SUPPORT TABLE		
2'-0"	BRICK VENEER (OBC 6.205.2.A)	STONE VENEER (OBC 6.205.2.A)
3'-0"	L 3 1/2" x 3 1/2" x 1/2"	L 5" x 3 1/2" x 5/16"
4'-0"	L 3 1/2" x 3 1/2" x 5/16"	L 5" x 3 1/2" x 5/16"
5'-0"	L 4" x 3 1/2" x 3/8"	L 5" x 5" x 5/16"
6'-0"	L 4" x 3 1/2" x 3/8"	L 5" x 5" x 5/16"
7'-0"	L 5" x 3 1/2" x 5/16"	L 5" x 5" x 5/16"
8'-0"	L 5" x 3 1/2" x 3/8"	L 5" x 5" x 3/8"
9'-0"	L 6" x 4" x 3/8"	L 5" x 5" x 1/2"

LEGEND			
F	EXHAUST FAN	E.P.	ELECT. PANEL
DW	DISHWASHER	NET	NETWORK PANEL
RF	REFRIGERATOR	HR	HOSEBIB
T/A	TOILET ABOVE	GA	GAS LINE
SA	SMOKE ALARM	ST	STORM SERVICE
WA	W/STROBES	WS	WATER SERVICE
SCA	SMOKE/CARBON ALARM	FL	FLUSH BEAM
W/STROBES	W/STROBES	DR	DROP BEAM
		P2	2-2X4 or 2X6 POST SPF #182
		P3	3-2X4 or 2X6 POST SPF #182
		P4	4-2X4 or 2X6 POST SPF #182
		P5	5-2X4 or 2X6 POST SPF #182
		HSS	4" X 4" X 1/4" HSS
		TP	3" DIA. ADJ. TELEPOST
			SHOWER HEAD
			HYDRO METER
			FLOOR JOIST PLAN
			BEAM POCKET

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NO.	REVISION	DATE
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2	ISSUED	APRIL 12, 2024

342,344,348,350 QUEEN MARY STREET
8 ROW TOWNHOUSE BLOCK
3 UNITS/ROW
OTTAWA, ON



DRAWING TITLE	
THIRD FLOOR	
DATE DRAWN: MARCH 2024	SCALE: 3/16" = 1'-0"
DRAWN BY: BR	FILE NAME: 243-00286
CHECKED BY: SC	DRAWING NO. A1.3

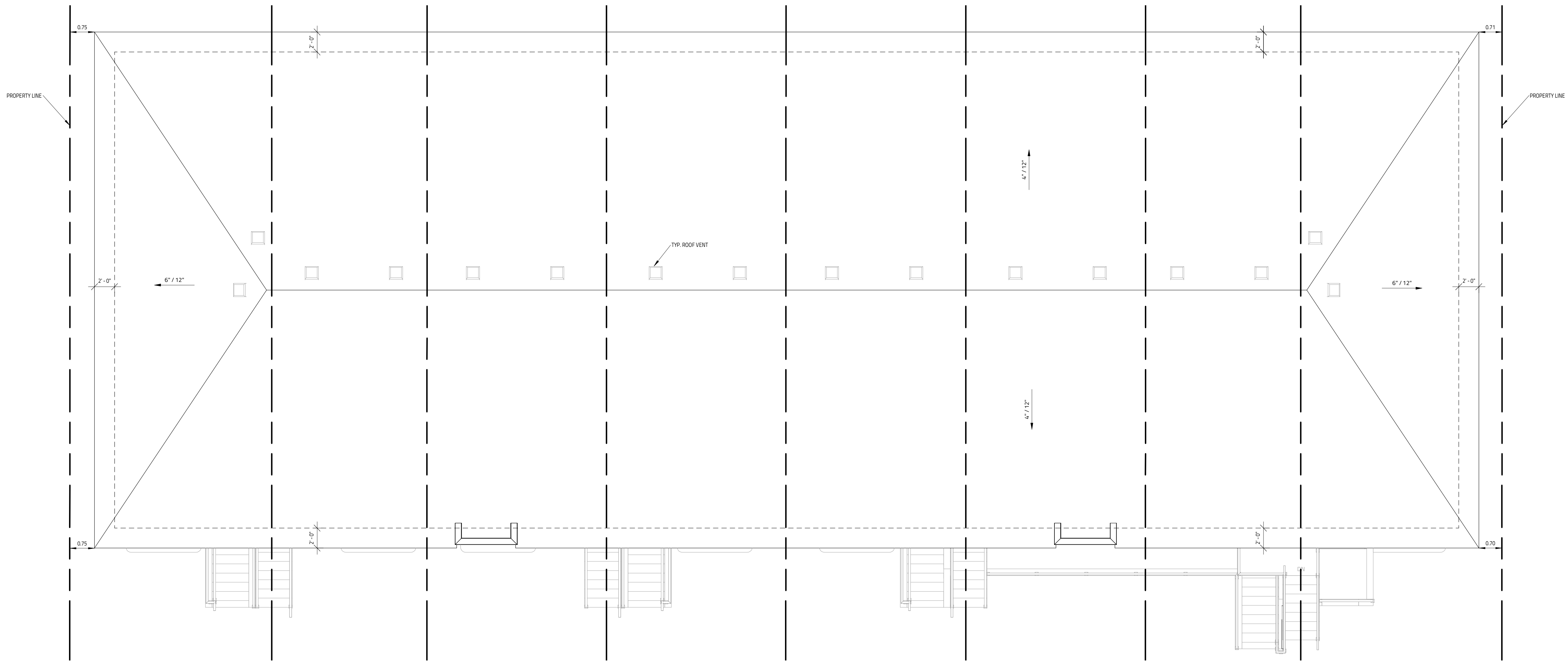
Committee of Adjustment
Received | Reçu le
2024-07-16
City of Ottawa | Ville d'Ottawa
Comité de dérogation

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY THE ROOF LAYOUT PACKAGE FROM THE TRUSS SUPPLIER WITH THE DIMENSIONS AND CONDITIONS ON SITE & REPORT ALL DISCREPANCIES TO DESIGNER PRIOR TO PUTTING TRUSSES INTO PRODUCTION

PROVIDE "ICE & WATERSHIELD" PROTECTION MEMBRANE ALONG THE ENTIRE ROOF PERIMETER AT ALL SLOPED ROOFS EXTENDING 6'-0" BUT NO LESS THAN 12" PAST THE INSIDE FACE OF THE EXTERIOR STUD WALL.

PROVIDE "ICE & WATERSHIELD" PROTECTION MEMBRANE AT ALL SLOPED ROOF VALLEYS 6'-0" WIDE CENTRED ON THE VALLEY (3'-0" ON EACH SIDE)

PROVIDE "ICE & WATERSHIELD" PROTECTION MEMBRANE AT ALL ROOF & WALL INTERSECTIONS EXTENDING A MINIMUM OF 12" UP WALL



NOTE: CHECK w/ MANUFACTURER FOR EXACT ROUGH-OPENING REQUIREMENTS FOR ALL DOORS & WINDOWS

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NOTE: REFER TO TRUSS LAYOUT FOR EXACT GIRDER LOCATION & PROVIDE TRUSS LAYOUT ON SITE AT TIME OF INSPECTION

OPENING (UP TO)	BRICK VENER (OR 3/8" S.S.A)	STONE VENER (OR 3/8" S.S.A)
3'-11"	L 3 1/2" x 3 1/2" x 1/4"	L 5" x 3 1/2" x 5/16"
4'-11"	L 3 1/2" x 3 1/2" x 1/4"	L 5" x 3 1/2" x 5/16"
5'-11"	L 4" x 3 1/2" x 5/16"	L 5" x 5" x 5/16"
6'-11"	L 4" x 3 1/2" x 3/8"	L 5" x 5" x 5/16"
7'-10"	L 5" x 3 1/2" x 5/16"	L 5" x 5" x 5/16"
8'-10"	L 5" x 3 1/2" x 3/8"	L 5" x 5" x 3/8"
9'-10"	L 6" x 4" x 3/8"	L 5" x 5" x 1/2"

LEGEND	
F EXHAUST FAN	▼ SHOWER HEAD
DW DISHWASHER	□ HYDRO METER
RF REFRIGERATOR	⊕ GAS METER
T/A TOILET ABOVE	FP FLOOR JOIST PLAN
⊙ SMOKE ALARM W/STROBES	BP BEAM POCKET
⊙ SMOKE/CARBON ALARM W/STROBES	FL FLUSH BEAM
ELECT. PANEL	HP HOSE BIB
NETWORK PANEL	GL GAS LINE
HOSE BIB	ST STORM SERVICE
WATER SERVICE	W WATER SERVICE
SEWAGE SERVICE	DR DROP BEAM
P2 2-2X4 or 2X6 POST SPF #142	
P3 3-2X4 or 2X6 POST SPF #142	
P4 4-2X4 or 2X6 POST SPF #142	
P5 5-2X4 or 2X6 POST SPF #142	
HSS 4" X 4" X 1/4" HSS	
TP 3" DIA. ADJ. TELEPOST	

I REVIEW & TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF THE OBC 2012. I AM QUALIFIED & THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNTIL SIGNED AND DATED BY THE DESIGNER

FIRM BCIN: 45801
INDIVIDUAL BCIN: 41176

GENERAL NOTES:
- E. & O.E.
- THESE DRAWINGS ARE NOT FOR CONSTRUCTION UNTIL LOCAL AUTHORITIES ISSUE A PERMIT
- DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ONLY TO BE USED
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS ON SITE & REPORT ALL DISCREPANCIES
- GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE w/ THE O.B.C. 2012 ANY MUNICIPAL BY LAWS & ALL OTHER APPLICABLE CODES

NO.	REVISION	DATE
1	ISSUED	APRIL 26, 2024
2	ISSUED	APRIL 26, 2024

342,344,348,350 QUEEN MARY STREET
8 ROW TOWNHOUSE BLOCK
3 UNITS/ROW
OTTAWA, ON

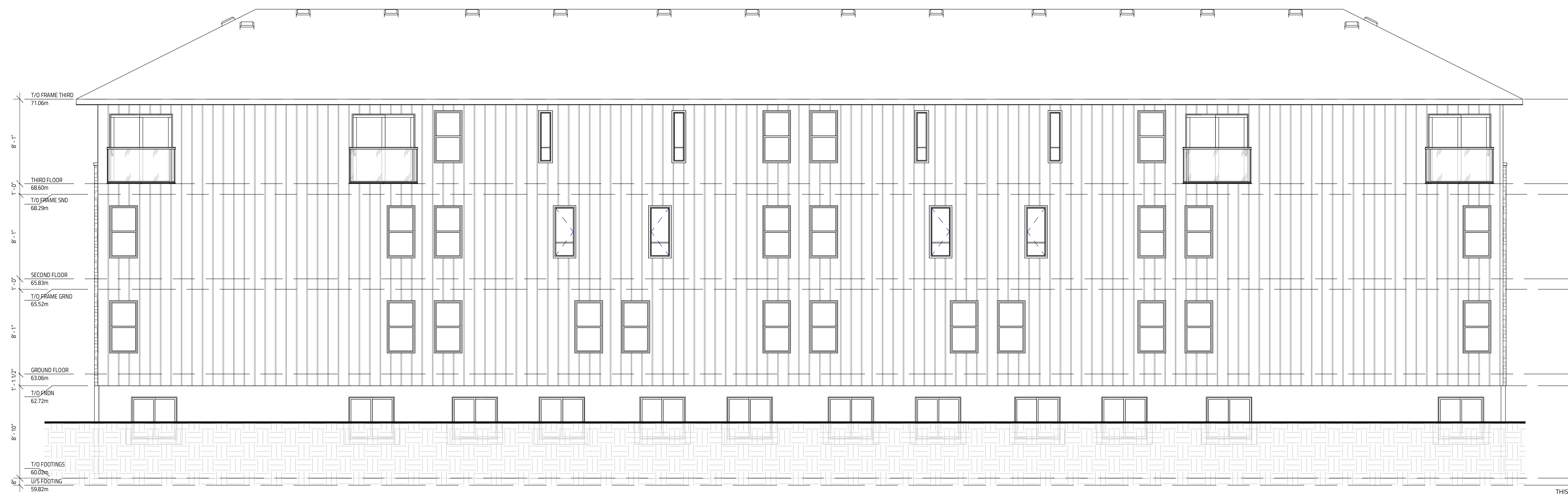


DRAWING TITLE	
ROOF PLAN	
DATE DRAWN: MARCH 4, 2024	SCALE: 3/16" = 1'-0"
DRAWN BY: MZ	FILE NAME: 243-00286
CHECKED BY: SG	DRAWING NO. A1.4



1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"

Committee of Adjustment
Received | Reçu le
2024-07-16
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Comité de dérogation



2 REAR ELEVATION
SCALE: 3/16" = 1'-0"

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNTIL SIGNED AND DATED BY THE DESIGNER

FIRM BCIN: 45801
INDIVIDUAL BCIN: 41176

I REVIEW & TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF THE OBC 2012. I AM QUALIFIED & THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

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- GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE w/ THE O.B.C. 2012, ANY MUNICIPAL BY LAWS & ALL OTHER APPLICABLE CODES

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY THE WINDOW AND DOOR DIMENSIONS ALONG WITH WINDOW TYPE AND SWING WITH THE DRAWINGS AND CONDITIONS ON SITE & REPORT ALL DISCREPANCIES TO DESIGNER PRIOR TO PUTTING WINDOW & DOOR ORDER INTO PRODUCTION

MATERIALS USED & CONSTRUCTION PROCEDURE MUST CONFORM TO:
1. SPECIFICATIONS & NOTES SHOWN ON THIS DRAWING
2. NOTES & DETAILS SHOWN ON STRUCTURAL DRAWINGS
3. PROVISIONS IN PART 9 OF O.B.C. 2012

EXTERIOR FINISH CEMENT BOARD PANELING IS HARDIE PANEL HZ5 CONFORMING TO CCMC 12678-R

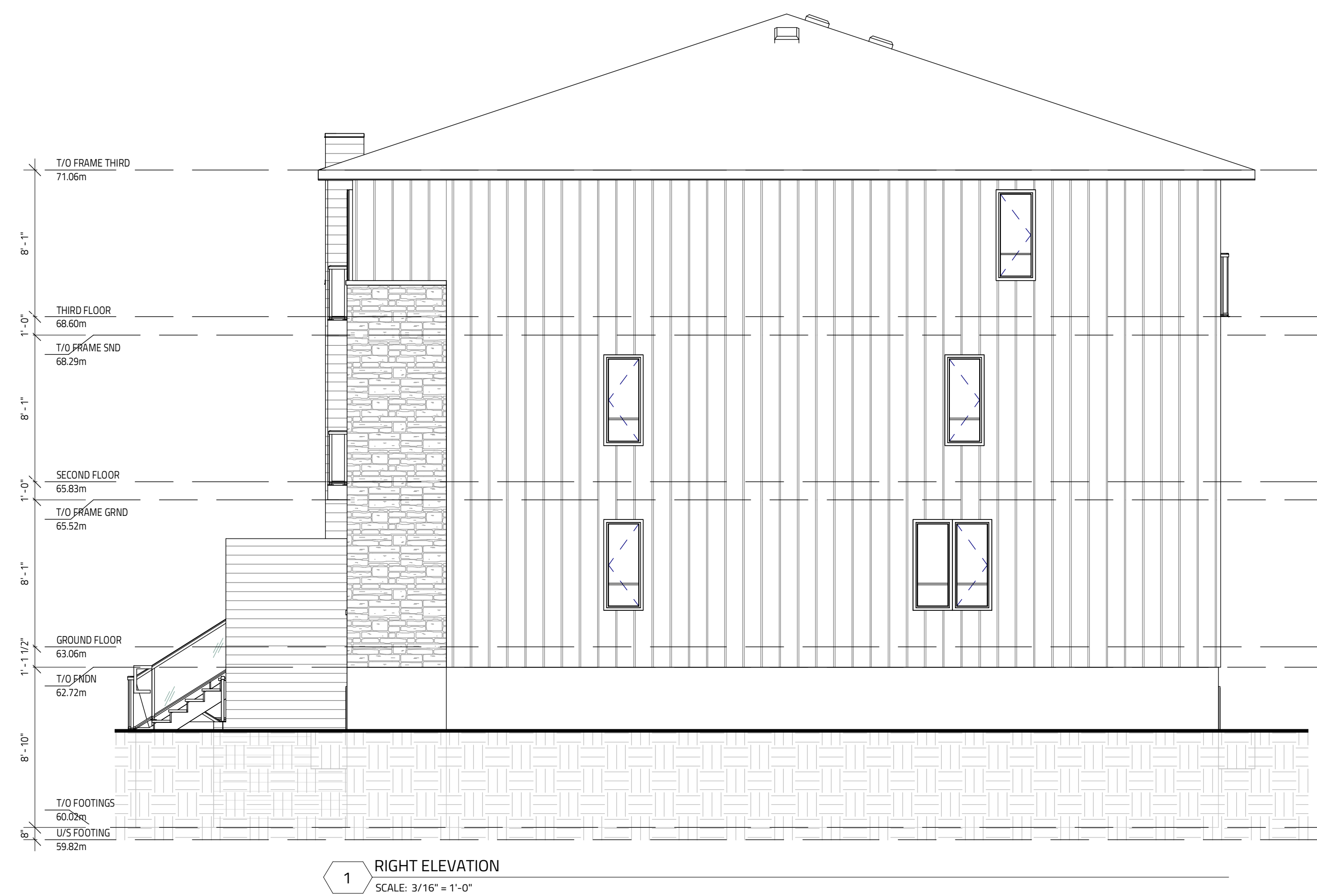
NO.	REVISION	DATE
1	ISSUED	APRIL 26, 2024
2	ISSUED	APRIL 12, 2024

PROJECT: 342,344,348,350 QUEEN MARY STREET
8 ROW TOWNHOUSE BLOCK
3 UNITS/ROW
OTTAWA, ON

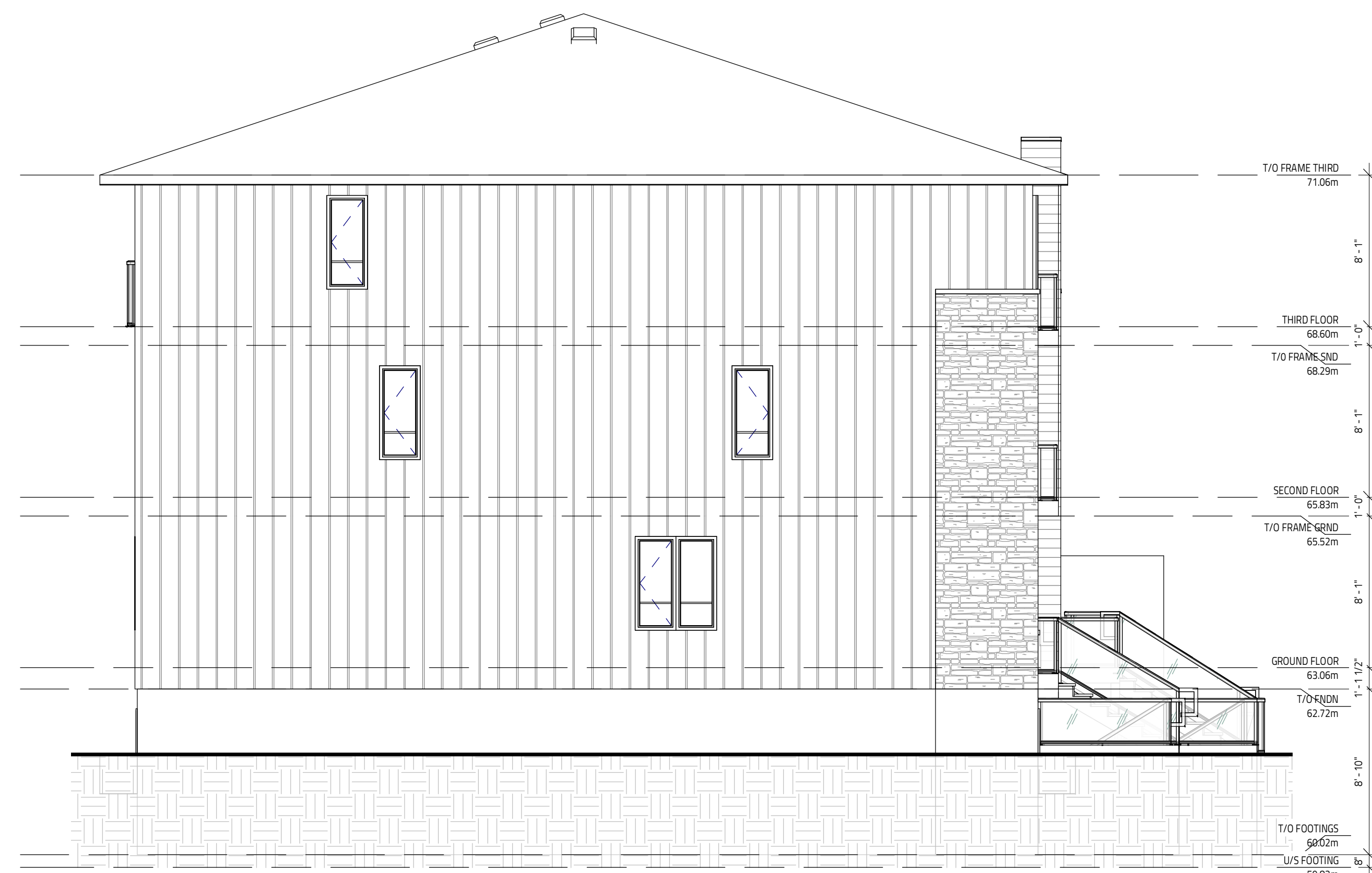


DATE DRAWN		SCALE
MARCH 2024	3/16" = 1'-0"	
DRAWN BY: BR	FILE NAME: 423-0528	
CHECKED BY: SG	DRAWN NO:	A4.0

Committee of Adjustment
 Received | Reçu le
2024-07-16
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



1 RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"



2 LEFT ELEVATION
 SCALE: 3/16" = 1'-0"

I REVIEW & TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF THE OBC 2012. I AM QUALIFIED & THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNTIL SIGNED AND DATED BY THE DESIGNER

FIRM BCIN: 45801
 INDIVIDUAL BCIN: 41176

GENERAL NOTES:
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IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY THE WINDOW AND DOOR DIMENSIONS ALONG WITH WINDOW TYPE AND SWING WITH THE DRAWINGS AND CONDITIONS ON SITE & REPORT ALL DISCREPANCIES TO DESIGNER PRIOR TO PUTTING WINDOW & DOOR ORDER INTO PRODUCTION

MATERIALS USED & CONSTRUCTION PROCEDURE MUST CONFORM TO:
 1. SPECIFICATIONS & NOTES SHOWN ON THIS DRAWING
 2. NOTES & DETAILS SHOWN ON STRUCTURAL DRAWINGS
 3. PROVISIONS IN PART 9 OF O.B.C. 2012

EXTERIOR FINISH CEMENT BOARD PANELING IS HARDE PANEL HZS CONFORMING TO CLMC 12678-R

NO.	REVISION	DATE
1	ISSUED	APRIL 26, 2024
2	ISSUED	APRIL 12, 2024

PROJECT:
342,344,348,350 QUEEN MARY STREET
 8 ROW TOWNHOUSE BLOCK
 3 UNITS/ROW
 OTTAWA, ON



DRAWING TITLE	
ELEVATIONS 2	
DATE DRAWN: MARCH, 2024	SCALE: 3/16" = 1'-0"
DRAWN BY: BR	FILE NAME: 423-00206
CHECKED BY: SG	DRAWING NO: A4.1



Tree Information Report

Submitted as part of Committee of Adjustment Application to the City of Ottawa

Date of Report: May 14, 2024
Property Address: 342-350 Queen Mary Street
Prepared for: Carine Toham Ngoy; carine@ckt-partners.com
Prepared by: Kevin Myers, ISA Certified Arborist®; kevin.myers@dendronforestry.ca
Date of Site Visit: May 10, 2024

Committee of Adjustment
Received | Reçu le

2024-07-16

City of Ottawa | Ville d'Ottawa
Comité de dérogation

This Report must be read in its entirety, including the Assumptions and Limiting Conditions.

Purpose of the Report

The purpose of this report is to provide the client with a detailed description of all protected trees on site as per the City of Ottawa's Tree Protection By-law No. 2020-340. This report is part of a Committee of Adjustment application to the City of Ottawa and considers the impact that the proposed development will have on the trees. The assessment of the suitability of tree retention is based on the information provided at the time of report preparation which includes:

- Survey by Farley, Smith & Denis Surveying Ltd., dated February 14, 2024
- Site plan by Evolution Design and Drafting, dated April 28, 2024

This assessment does not consider additional factors that could influence tree retainability such as:

- site grading, and requirement for retaining walls and/or swales
- installation of services for the new units
- capping of existing water and sewer services
- installation of gas lines for the new units
- site access

The potential for retaining those tree(s) identified for retention in this report may change as more information on the site-specific construction details is provided during the building permitting phase. For those trees that are recommended for retention, mitigation measures are provided to reduce the impact during construction. It should be noted that the construction phase includes all site works that could impact trees, from the capping of services at the beginning to the final landscaping steps at the end.

While a rationale for removing trees may be provided based on document review, **this report does not grant permission to remove trees: a permit from the city must be received before removal of distinctive trees can occur.**



Methodology

The following materials were reviewed as part of this report:

- Survey
- Site Plan
- GeoOttawa tree inventory layer and aerial photography
- Google© Street View imagery – various years

A site visit was conducted to collect the following information from each tree classified as protected under the City of Ottawa’s Tree Protection By-law No. 2020-340:

- Diameter at breast height (1.3 m from grade)
- Species
- Tree health
- Pertinent measurements to structures such as fences, driveways, or building

Existing site information

Appendix A is an inventory of all trees that are protected under City of Ottawa Tree Protection (By-law No. 2020-340) on the site and adjacent City property. This includes Distinctive Trees (private trees with a diameter at breast height (dbh) of 30 cm or greater) and city-owned trees of all sizes. It also includes Distinctive Trees on adjacent properties whose Critical Root Zone (CRZ) extend into the subject area. The CRZ is an area around the trunk with a radius equivalent to 10 times the diameter of the trunk. This does not take into account infrastructure such as buildings and asphalt and assumes the tree has no restrictions on root growth.

Proposed development and Tree protection

Tree 3 is a large freeman maple growing beside the existing driveway. Excavation for the proposed building is expected to come within a meter of the trunk. The client has also indicated that trenching will need to be dug from the rear corner of the property. These combined impacts will remove too much of the tree’s root mass thereby causing the tree to decline, and it is therefore recommended for removal.

Tree Protection

Prior to any site works, protective fencing should be installed around the Tree Protection Area as indicated in the attached Tree Information Map and maintained until all construction on site has been completed as per the City of Ottawa Tree Protection Specifications (March 2021).

Failure to install and maintain fencing as shown on the attached map may result in fines from the city.



Within the fenced area, the following tree protection guidelines should be applied:

- Do not change the grade
- Do not store construction material
- Do not operate machinery
- Do not convert to hard surface or change the landscaping
- Do not excavate unless it is a method that has been pre-approved by the City
- Do not place signs, notices or posters to any tree
- Do not damage the root system, trunk, or branches of any tree
- Direct the exhaust away from the tree

The tree protection fencing must be 1.2 m in height and constructed of a rigid or framed material (e.g. modulus – steel, plywood hoarding, or snow fence on a 2"X4" wood frame) with posts 2.4 m apart such that the fence location cannot be altered. All supports must be placed outside of the CRZ and installation must minimize damage to existing roots.

If the fenced tree protection area must be reduced to facilitate construction, *one* of the following mitigation measures should be applied:

- Place a layer of 6-12 inches (15 to 30 cm) of woodchip mulch to the area
- Apply $\frac{3}{4}$ (2 cm) inch plywood, or road mats over a 4+ inch (10 cm) thick layer of the wood chip mulch
- Apply 4-6 inches (10 to 15 cm) of gravel over a taut, staked, geotextile fabric

The undersigned personally inspected the property and issues associated with this report on May 10, 2024. On Behalf of Dendron Forestry Services,

Kevin Myers, MFC, RPF in Training
ISA Certified Arborist®, ON-2907A
kevin.myers@dendronforestry.ca
(514) 726-8531



APPENDIX A

TREE INFORMATION TABLE

Tree ¹	Species	DBH (cm)	Ownership ²	Tree condition	Approximate distance to excavation (m)	Action	Forester recommendation
1	Manitoba maple (<i>Acer negundo</i>)	~55	Adjacent – 354 Queen Mary	Fair: heavy lean to the north – approximately 40°; pruned around wires; included bark at first union	4.5	Retain	Retain and protect as per the City of Ottawa Tree Protection Specifications (March 2021).
2	Manitoba maple (<i>Acer negundo</i>)	~30	City	Fair/Poor: heavy lean and asymmetrical crown to the south; heavily pruned around wires	5.5	Retain	Retain. No action required – far enough from construction.
3	Freeman maple (<i>Acer freemanii</i>)	52, 52	Subject property	Fair/Good: codominant stems split at 1.2m; poor pruning – branch stubs; included bark and bulge at first union	< 1	Remove	Remove due to requirement for hydro trenching and proximity of excavation. Tree permit required for removal.
4	Norway maple (<i>Acer platanoides</i>)	34, 42	Subject property	Fair/Poor: large segment of included bark at first union; small wound at main union; poor form – crossing branches; poor pruning – branch stubs	1	Remove	Remove due to tree condition and impacts from construction. Tree permit required for construction.

¹ Please refer to the attached Tree Information map for tree numbers. Note that this includes a tree layer added to the site plan (in pdf format) provided by the client. This layer includes only information about the trees and the original site plan is not altered in this process.

²Ownership of the tree in this report is based on the information provided and should not be used as a determination of ownership. For ownership disputes, a survey should be relied on. For boundary trees, consent from the adjacent property owner is required for removal as part of the application.

³Trees on adjacent properties do not include a full assessment. The diameters are estimated, and the health is estimated based on what is visible from the subject property. Trees along the property line may also have limited health assessments if part of the tree is not visible.

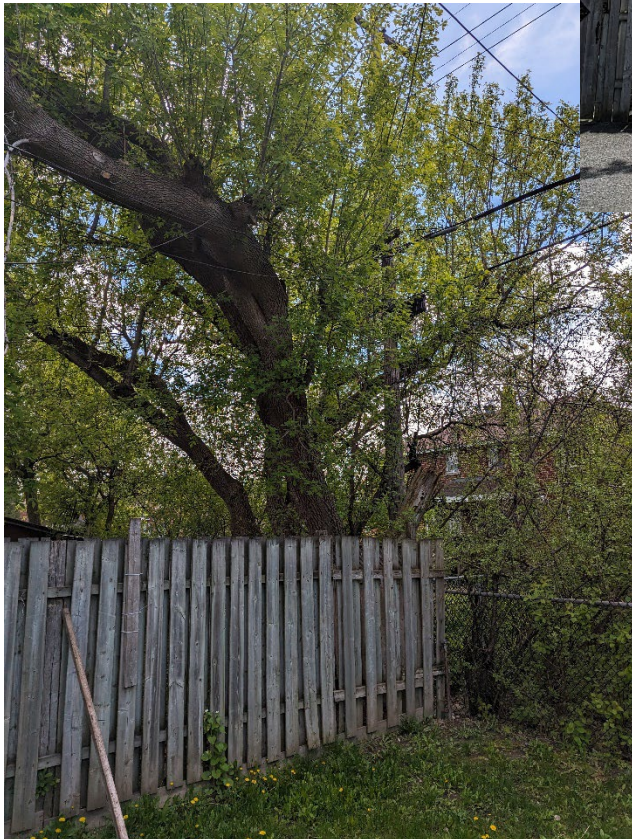


APPENDIX B

PHOTOGRAPHS



Above: Tree 1 - adjacent tree to be retained.



Left: Trunk of Tree 1



Left: Tree 3 - private maple to be removed.

Below right: Tree 4 - private maple to be removed.

Below left: Trunk and main union of Tree 4





APPENDIX C

ASSUMPTIONS AND LIMITING CONDITIONS

Intended Use of the Report

This Report was prepared by Dendron Forestry Services (hereafter “Dendron”) at the request of the Client. The results, observations, interpretations, analysis, recommendations, and conclusions contained within this Report are to be used solely for the purposes outlined within this Report. All other uses are impermissible and unintended, unless specifically stated in writing in the Report.

Intended User of the Report

This Report was prepared by Dendron for the exclusive use of the Client and may not be used or relied upon by any other party. All other users are unintended and unauthorized, unless specifically stated in writing in the Report.

Limitations of this Report

This Report is based on the circumstances and on-site conditions as they existed at the time of the site inspection and the information provided by the Client and/or third parties to Dendron. On-site conditions may limit the extent of the on-site inspection(s) conducted by Dendron, including weather events such as rain, flooding, storms, winds, tornados, snowfall, snow cover, hail; obstructions including fencing, dwellings, buildings, sheds, plants, and animals; lack of access to the entire perimeter of the tree due to adjacent properties; the shape of the tree; and accessibility of the tree crown, branches, trunk, or roots for examination.

In the event that information provided by the Client or any third parties, including but not limited to documents, records, site and grading plans, permits, or representations or any site conditions are updated or change following the completion of this Report, this Report is no longer current and valid and cannot be relied upon for the purpose for which it was prepared. Dendron and its agents, assessors, and/or employees are not liable for any damages, injuries, or losses arising from amendments, revisions, or changes to the documents, records, site and grading plans, permits, representations, or other information upon which Dendron relied in preparing this Report.

No assessment of any other trees or plants has been undertaken by Dendron. Dendron and its agents, assessors, and/or employees are not liable for any other trees or plants on or around the subject Property except those expressly identified herein. The results, observations, interpretations, analysis, recommendations, and conclusions contained within this Report apply only to the trees identified herein.

Trees and plants are living organisms and subject to change, damage, and disease, and the results, observations, interpretations, analysis, recommendations, and conclusions as set out in this Report are valid only as at the date any inspections, observations, tests, and analysis took place. No guarantee, warranty, representation, or opinion is offered or made by Dendron as to the length of the validity of the results, observations, interpretations, analysis, recommendations, and conclusions contained within this Report. As a result the Client shall only rely upon this Report as representing the results, observations, interpretations, analysis, recommendations, and conclusions that were made as at the date of such inspections, observations, tests, and analysis. The trees discussed in this Report should be re-assessed periodically and at least within one year of the date of this Report.

No Opinion regarding ownership of the Tree

This Report was not prepared to make a determination as to ownership of the subject tree(s). Where ownership of the subject tree(s) is identified within this Report, said identification is based on the information provided by the Client and third parties, including surveys, permits, and site and grading plans and may not be relied upon as a guarantee, warranty, or representation of ownership.

Assumptions

This Report is based on the circumstances and conditions as they existed at the time of the site inspection and the information provided by the Client and/or third parties to Dendron. Where documents, records, site and grading plans, permits, representations, and any other information was provided to Dendron for the purpose of preparing this Report, Dendron assumed that said information was correct and up-to-date and prepared this Report in reliance on that information. Dendron and its agents, assessors, and/or employees, are not responsible for the veracity or accuracy of such information. Dendron and its agents, assessors, or employees are not liable for any damages, injuries, or losses arising from inaccuracies, errors, and/or omissions in the documents, records, site and grading plans, permits, representations, or other information upon which Dendron relied in preparing this Report.

For the purpose of preparing this Report, Dendron and its agents, assessors, and/or employees assumed that the property which is the subject of this Report is in full compliance with all applicable federal, provincial, municipal, and local statutes, regulations, by-laws, guidelines, and other related laws. Dendron and its agents, assessors, and/or employees are not liable for any issues with respect to non-compliance with any of the above-referenced statutes, regulations, bylaws, guidelines, and laws as it may pertain to or affect the property to which this Report applies.

For the purpose of preparing this Report, Dendron and its agents, assessors, and/or employee assumed that there are no hidden or unapparent conditions affecting the results, observations, interpretations, analysis, recommendations, and conclusions contained within this Report.



No Publication

The Client acknowledges and agrees that all intellectual property rights and title, including without limitation, all copyright in this Report shall remain solely with Dendron Forestry. Possession of this Report, or a copy thereof, does not entitle the Client or any third party to the right of publication or reproduction of the Report for any purpose save and except where Dendron has given its prior written consent.

Neither all nor any part of the contents of this Report shall be disseminated to the public through advertising, public relations, news, sales, the internet or other media (including, without limitation, television, radio, print or electronic media) without the prior written consent of Dendron Forestry.

Implementing the Report Recommendations

Dendron and its agents, assessors, and/or employees accept no responsibility for the implementation of any part of this Report unless specifically requested to provide oversight on the implementation of the recommendations. In the event that inspection or supervision of all or part of the implementation of the within recommendations is requested, that request shall be in writing and the details agreed to in writing by both parties.

Dendron and its agents, assessors, and/or employees are not liable for any damages or injuries arising from the manner in which the recommendations in this Report are implemented, including failure to, incorrect, or negligent implementation of the recommendations.

Further Services

Neither Dendron nor any assessor employed or retained by Dendron for the purpose of preparing or assisting in the preparation of this Report shall be required to provide any further consultation or services to the Client, save and except as already carried out in the preparation of this Report and including, without limitation, to act as an expert witness or witness in any court in any jurisdiction unless the Client has first made specific arrangements with respect to such further services, including, without limitation, providing the payment of the Report's regular hourly billing fees.

Limits of Liability

In carrying out this Report, Dendron and its agents, assessors, and/or employees have exercised a reasonable standard of care, skill, and diligence as would be customarily and normally provided in carrying out this Report. While reasonable efforts have been made to ensure that the trees recommended for retention are healthy, no guarantees are offered, or implied, that these trees, or all parts of them will remain standing. It is professionally impossible to predict with absolute certainty the behaviour of any single tree or group of trees, or all their component parts, in all given circumstances. Inevitably, a standing tree will always pose some risk. Most trees have the potential to fall, lean, or otherwise pose a danger to property and persons in the event of adverse weather conditions, and this risk can only be eliminated if the tree is removed.

Without limiting the foregoing, no liability is assumed by Dendron for:

- a) any legal description provided with respect to the Property;
- b) issues of title and or ownership respect to the Property;
- c) the accuracy of the Property line locations or boundaries with respect to the Property; and
- d) the accuracy of any other information provided to Dendron by the Client or third parties;
- e) any consequential loss, injury or damages suffered by the Client or any third parties, including but not limited to replacement costs, loss of use, earnings and business interruption; and
- f) the unauthorized distribution of the Report.

The total monetary amount of all claims or causes of action the Client may have as against Dendron Forestry, including but not limited to claims for negligence, negligent misrepresentation, and breach of contract, shall be strictly limited solely to the total amount of fees paid by the Client to Dendron Forestry pursuant to the Contract for Services dated May 6, 2024, for which this Assessment was carried out.

Further, under no circumstance may any claims be initiated or commenced by the Client against Dendron or any of its directors, officers, employees, contractors, agents, assessors, or Assessors, in contract or in tort, more than 12 months after the date of this Report.

No Third Party Liability

This Report was prepared by Dendron exclusively for the Client for the purpose set out in the Report. Any use which a third party makes of this Report, or any reliance on or decisions a third party may make based upon this Report, are made at the sole risk of any such third parties. Dendron Forestry accepts no responsibility for any damages or loss suffered by any third party or by the Client as a result of decisions made or actions based upon the unauthorized use or reliance of this Report by any such party.

General

Any plans and/or illustrations in this Report are included only to help the Client visualize the issues in this Report and shall not be relied upon for any other purpose. This report is best viewed in colour. Any copies printed in black and white may make some details difficult to properly understand. Dendron accepts no liability for misunderstandings due to a black and white copy of the report.

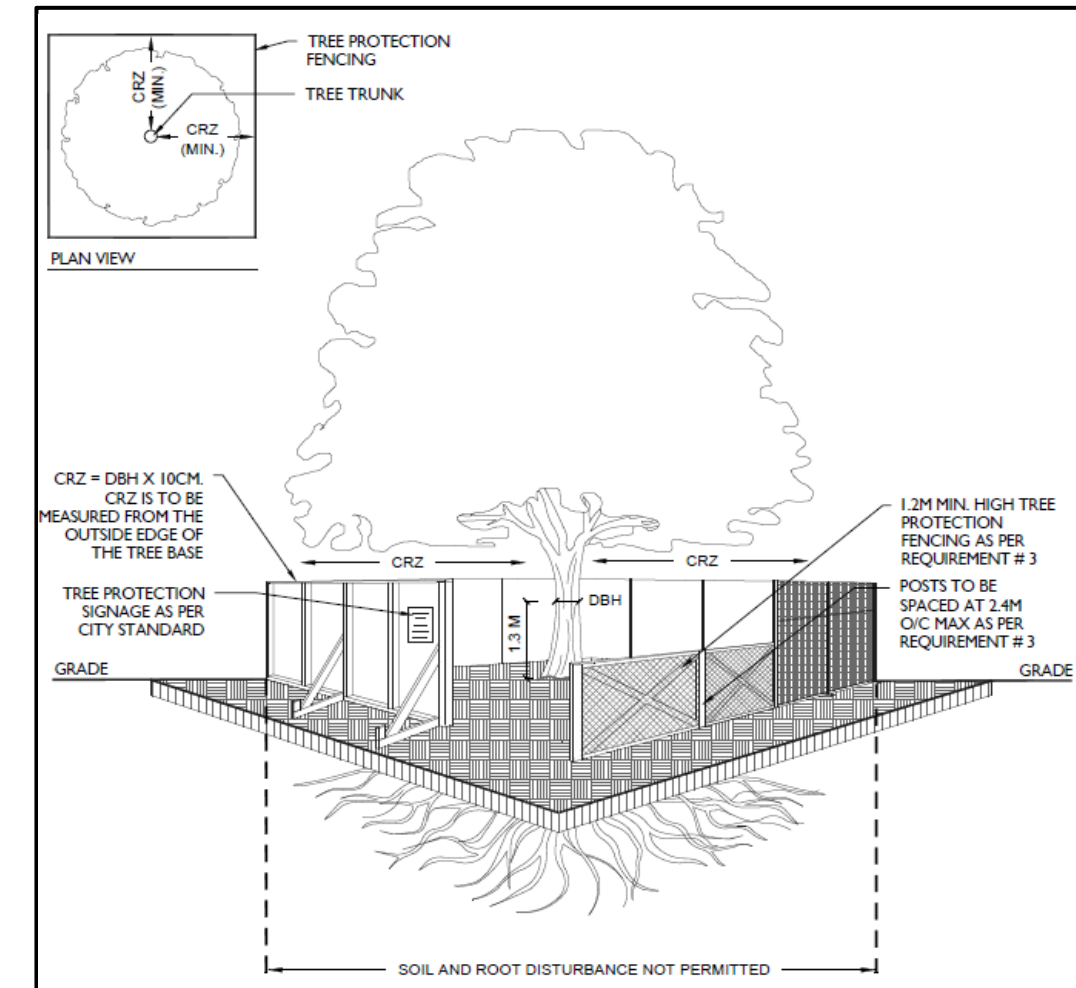
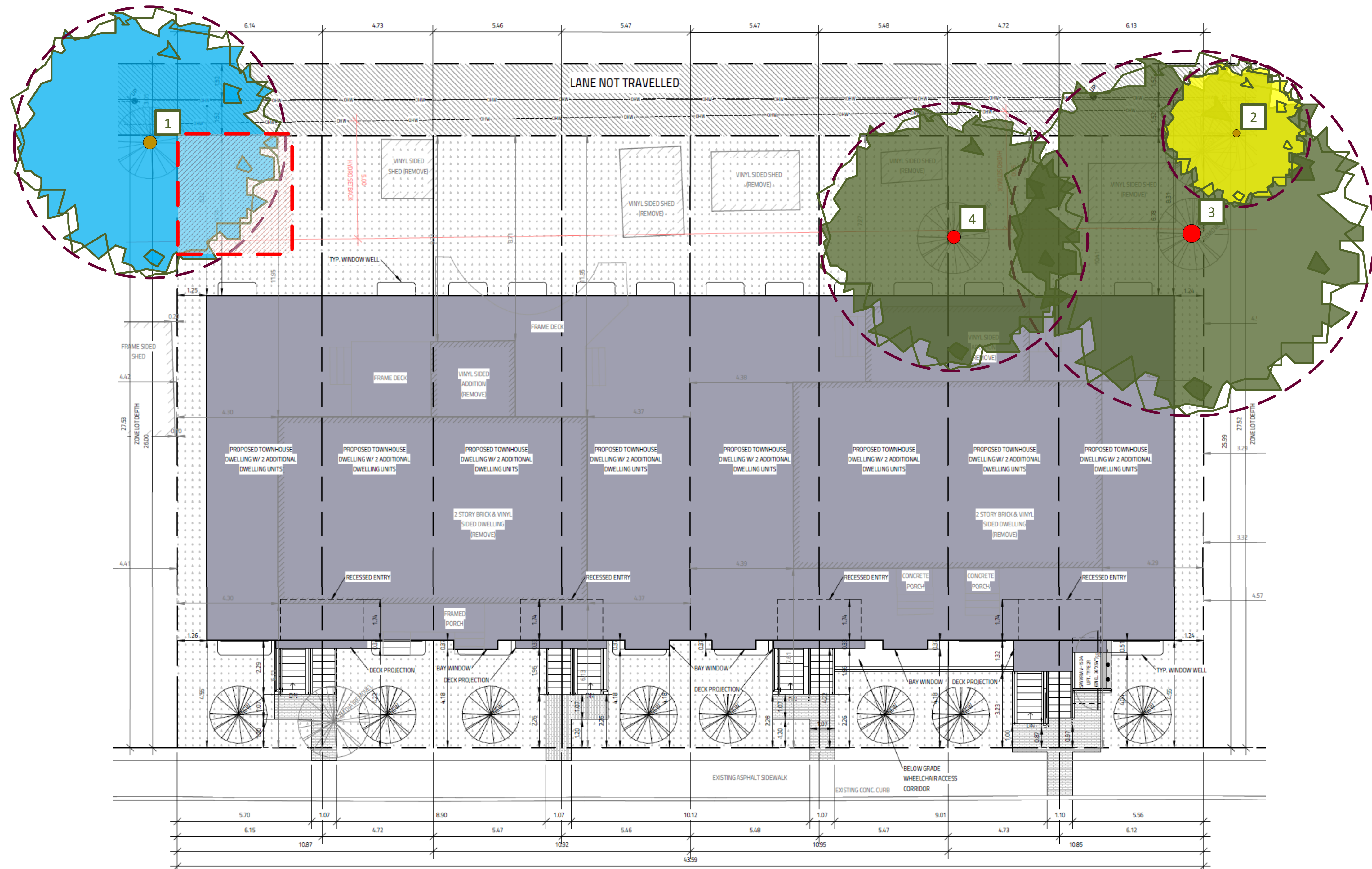
Notwithstanding any of the above, nothing in this Report is taken to absolve the Client of the responsibility of obtaining a new Report in the event that the circumstances of the tree change.

Tree ¹	Species	DBH (cm)	Tree condition	Forester recommendation
1	Manitoba maple (<i>Acer negundo</i>)	~55	Fair: heavy lean to the north – approximately 40°; pruned around wires; included bark at first union	Retain and protect as per the City of Ottawa Tree Protection Specifications (March 2021).
2	Manitoba maple (<i>Acer negundo</i>)	~30	Fair/Poor: heavy lean and asymmetrical crown to the south; heavily pruned around wires	Retain. No action required – far enough from construction.
3	Freeman maple (<i>Acer freemanii</i>)	52, 52	Fair/Good: codominant stems split at 1.2m; poor pruning – branch stubs; included bark and bulge at first union	Remove due to requirement for hydro trenching and proximity of excavation. Tree permit required for removal.
4	Norway maple (<i>Acer platanoides</i>)	34, 42	Fair/Poor: large segment of included bark at first union; small wound at main union; poor form – crossing branches; poor pruning – branch stubs	Remove due to tree condition and impacts from construction. Tree permit required for construction.

Note: the tree layer has been added to the original base layer supplied by the client in pdf format. This layer refers to the trees only, and the original base has not been altered in the process, although it may be cropped. Refer to the original plan for details as quality is lost when importing the plan into the software used to create the tree layer.
Base Layer: Site plan by Evolution Design and Drafting, dated April 28, 2024

TIR Map – 342-350 Queen Mary Street

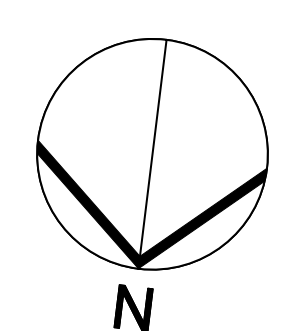
Date	Revision	Prepared By
14/05/2024	Version 1	KM



Failure to install and maintain fencing as described in this report may result in fines from the city.

- TREE PROTECTION REQUIREMENTS:**
- PRIOR TO ANY WORK ACTIVITY WITHIN THE CRITICAL ROOT ZONE (CRZ = 10 X DIAMETER) OF A TREE, TREE PROTECTION FENCING MUST BE INSTALLED SURROUNDING THE CRITICAL ROOT ZONE, AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETE.
 - UNLESS PLANS ARE APPROVED BY CITY FORESTRY STAFF, FOR WORK WITHIN THE CRZ:
 - DO NOT PLACE ANY MATERIAL OR EQUIPMENT - INCLUDING OUTHOUSES;
 - DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE;
 - DO NOT RAISE OR LOWER THE EXISTING GRADE;
 - TUNNEL OR BORE WHEN DIGGING;
 - DO NOT DAMAGE THE ROOT SYSTEM, TRUNK, OR BRANCHES OR ANY TREE;
 - ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARD ANY TREE CANOPY.
 - DO NOT EXTEND HARD SURFACE OR SIGNIFICANTLY CHANGE LANDSCAPING.
 - TREE PROTECTION FENCING MUST BE AT LEAST 1.2M IN HEIGHT, AND CONSTRUCTED OF RIGID OR FRAMED MATERIALS (E.G. MODULOC - STEEL, PLYWOOD HOARDING, OR SNOW FENCE ON A 2"X4" WOOD FRAME) WITH POSTS 2.4M APART, SUCH THAT THE FENCE LOCATION CANNOT BE ALTERED. ALL SUPPORTS AND BRACING MUST BE PLACED OUTSIDE OF THE CRZ, AND INSTALLATION MUST MINIMISE DAMAGE TO EXISTING ROOTS. (SEE DETAIL)
 - THE LOCATION OF THE TREE PROTECTION FENCING MUST BE DETERMINED BY AN ARBORIST AND DETAILED ON ANY ASSOCIATED PLANS FOR THE SITE (E.G. TREE CONSERVATION REPORT, TREE INFORMATION REPORT, ETC). THE PLAN AND CONSTRUCTED FENCING MUST BE APPROVED BY CITY FORESTRY STAFF PRIOR TO THE COMMENCEMENT OF WORK.
 - IF THE FENCED TREE PROTECTION AREA MUST BE REDUCED TO FACILITATE CONSTRUCTION, MITIGATION MEASURES MUST BE PRESCRIBED BY AN ARBORIST AND APPROVED BY CITY FORESTRY STAFF. THESE MAY INCLUDE THE PLACEMENT OF PLYWOOD, WOOD CHIPS, OR STEEL PLATING OVER THE ROOTS FOR PROTECTION OR THE PROPER PRUNING AND CARE OF ROOTS WHERE ENCOUNTERED.
- THE CITY'S TREE PROTECTION BY-LAW, 2020-340 PROTECTS BOTH CITY-OWNED TREES, CITY-WIDE, AND PRIVATELY-OWNED TREES WITHIN THE URBAN AREA. PLEASE REFER TO WWW.OTTAWA.CA/TREEBYLAW FOR MORE INFORMATION ON HOW THE TREE BY-LAW APPLIES.

QUEEN MARY STREET



Legend

- Critical Root Zone (as defined in By-Law 2020-340)
- Private Tree
- Tree either fully or partly on adjacent property
- Tree either fully or partly on city property
- Tree Protection Area
- Tree to be removed

Replacement Tree Specifications

Note: Proposed tree locations are suggestions only and should be finalized only once construction is complete and should adhere to City of Ottawa Tree Planting Guidelines

Trees 1-5 should be small trees at maturity to avoid conflicts with the proposed building and the sidewalk. Site conditions are expected to be low to partial light exposure and minimal to moderate moisture availability. Species suggestions include:

- Serviceberry - *Amelanchier spp.**
- Ohio buckeye - *Aesculus glabra**
- Pagoda dogwood - *Cornus alternifolia**
- Witch hazel - *Hamamelis virginiana**
- Oakleaf mountain ash (*Sorbus thuringiaca*)

*Native to Ottawa region: Planting species native to a region can help maintain and enhance biodiversity.

The species recommended herein are the most suitable species based on the existing plans. For best success, tree species should be matched to site conditions. **Note:** Norway maple (*Acer platanoides*) is *not* recommended as it is highly invasive and not a suitable tree for urban planting.

Underplanting trees with native shrubs and ground covers can help prevent pedestrians from walking on, and therefore compacting, soil around tree roots. These other plants can also provide nutrients to the soil through fallen leaves, as well as prevent moisture loss from the soil by shading it – thereby helping young trees establish. It is recommended that the trees shown here be underplanted with the species below:

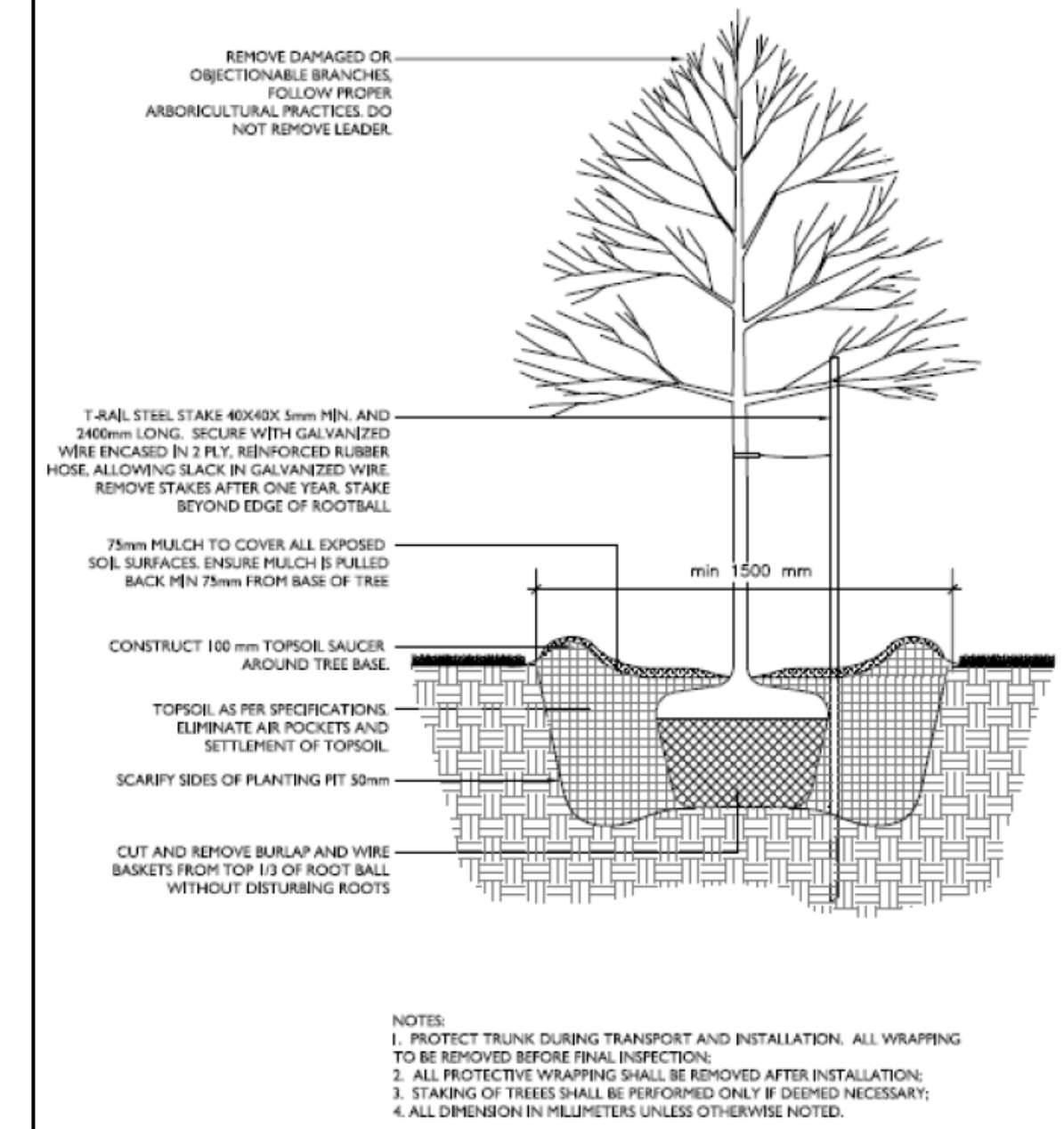
- Wild geranium – *Geranium maculatum**
- Foamflower – *Tiarella cordifolia**
- Running euonymous – *Euonymus obovatus**
- Wild Ginger – *Asarum canadense**
- Bunchberry – *Cornus canadensis*

All deciduous trees must be a minimum of 50 mm in diameter measured no less than 15 cm above ground level. Coniferous trees must be no less than 200 cm in height.



Tree Planting Plan – 342-350 Queen Mary Street
 Prepared by Dendron Forestry Services
 Version 1.0, May 14, 2024
 For more information, please contact:
info@dendronforestry.ca

Note: the tree layer has been added to the original site plan supplied by the client in pdf format. This layer refers to the trees only, and the original site plan has not been altered in the process. Refer to the original plan for details as quality is lost when importing the plan into the mapping software used to create the tree layer.



KEY SPACING GUIDELINES

For Deciduous Trees:

- Minimum 50mm caliper stock
- 1.5m from sidewalks, driveways, walkways, fences, sound walls, and old stumps.
- 2.5m from curbs, hydro transformers, or behind fire hydrants
- 4-7m from any part of an existing tree, depending on canopy width
- 10m from bus shelters and community mailboxes

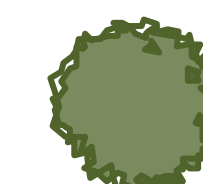
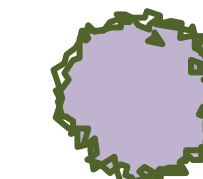
For Coniferous Trees:

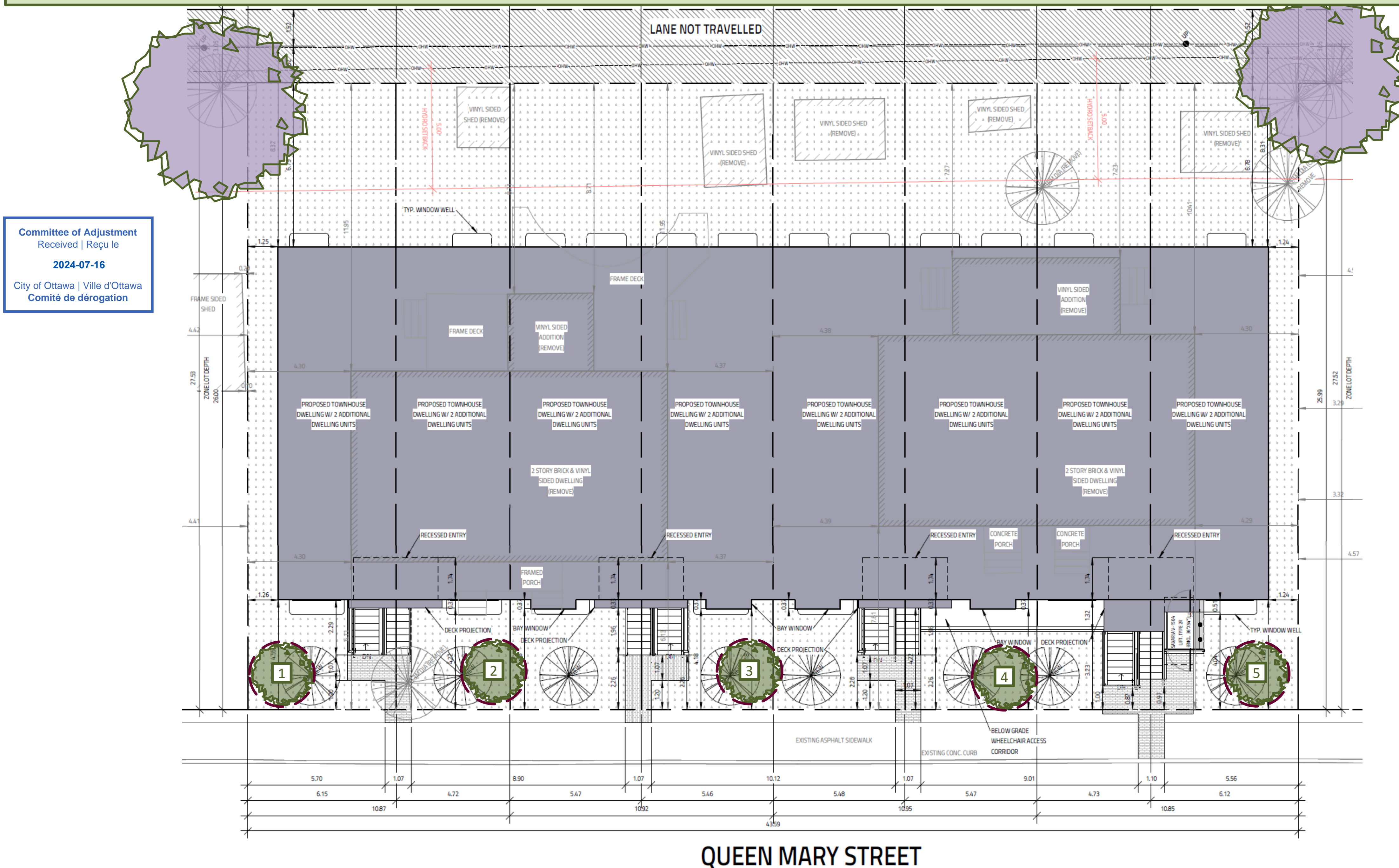
- Follow same setbacks as deciduous, but due to the widest branching being at the base of the tree, conifers need greater setbacks for ground-level obstacles.
- Minimum 200cm height stock
- 4.5m setbacks from sidewalks, walkways, driveways, and curbs.
- Do not plant on corners where sight lines will be compromised.

TREES MUST BE WATERED REGULARLY FOLLOWING PLANTING TO ENSURE PROPER ESTABLISHMENT.

On average, a young tree needs 6 gallons (24 liters) of water twice per week. (Do not water using a sprinkler as water on the foliage can lead to fungal infection) Placing a ring of mulch around the planting hole will help reduce water loss. Ensure no mulch is touching the base of the tree.

Legend

-  New Private Tree
-  Existing Tree to be retained



NOTICE OF HEARING

Pursuant to the Ontario *Planning Act*

Minor Variance Application

Panel 1

Wednesday, September 18, 2024
1 p.m.

Ben Franklin Place, Main Floor Chamber, 101 Centrepointe Drive
and by videoconference

Owners of neighbouring properties within 60 metres of the property address below are receiving this notice in case they want to comment on the application(s) and/or participate at the hearing.

The hearing can also be viewed on the Committee of Adjustment [YouTube](#) page.

Simultaneous interpretation in both official languages, accessible formats and communication supports are available for any specific agenda item by contacting the Committee of Adjustment at least 72 hours before the hearing.

File No.: D08-02-24/A-00218
Application: Minor Variance under section 45 of the *Planning Act*
Applicant: JBPA Developments
Property Address: 100 Glebe Avenue
Ward: 17 - Capital
Legal Description: Lot 29, Registered Plan 76125
Zoning: R3G
Zoning By-law: 2008-250

APPLICANT'S PROPOSAL / PURPOSE OF THE APPLICATION:

The Applicant want to construct a new two-storey detached garage on their property, with storage or personal amenity space on the second floor, as shown on plans filed with the application. The existing garage will be demolished.

REQUESTED VARIANCES:

The Applicant require the Committee's authorization for minor variances from the Zoning By-law as follows:

- a) To permit an increased accessory building height of 5.63 metres, whereas the By-law permits a maximum accessory building height of 3.6 metres.
- b) To permit an increased accessory building size of 102 square metres, whereas the By-law permits a maximum accessory building size of 55 square metres.

The property is not the subject of any other current application under the *Planning Act*.

FIND OUT MORE ABOUT THE APPLICATION(S)

For more information about this matter, contact the Committee of Adjustment at the address, email address, website or QR code below.

Visit **Ottawa.ca/CommitteeofAdjustment** and follow the link to **Next hearings** to view panel agendas and application documents, including **proposal cover letters, plans, tree information, hearing notices, circulation maps, and City planning reports**. Written decisions are also published once issued and translated.

If you don't participate in the hearing, you won't receive any further notification of the proceedings.

If you want to be notified of the decision following the hearing, and of any subsequent appeal to the Ontario Land Tribunal, send a written request to the Committee.

HOW TO PARTICIPATE

Submit written or oral comments before the hearing: Email your comments to cofa@ottawa.ca at least 24 hours before the hearing to ensure they are received by the panel adjudicators. You may also call the Coordinator at 613-580-2436 to have your comments transcribed.

Register to Speak at the hearing at least 24 hours before by contacting the Committee Coordinator at 613-580-2436 or at cofa@ottawa.ca. You will receive details on how to participate by videoconference. If you want to share a visual presentation, the Coordinator can provide details on how to do so. Presentations are limited to five minutes, and any exceptions are at the discretion of the Chair.

Hearings are governed by the Committee of Adjustment's *Rules of Practice and Procedure* accessible online.

ALL SUBMITTED INFORMATION BECOMES PUBLIC

Be aware that, in accordance with the *Planning Act*, the *Municipal Act* and the *Municipal Freedom of Information and Privacy Act*, all information presented to the Committee of Adjustment is considered public information and can be shared with any interested individual. Information you choose to disclose in your correspondence and during the hearing, including your personal information, will become part of the public record, and shared with Committee Members, the Applicant(s) or their agent and any other interested individual, and potentially posted online and become searchable on the Internet.

COMMITTEE OF ADJUSTMENT

The Committee of Adjustment is the City of Ottawa's quasi-judicial tribunal created under the Ontario *Planning Act*. Each year, it holds hearings on hundreds of applications under the *Planning Act* in accordance with the Ontario *Statutory Powers Procedure Act*, including consent to sever land and minor variances from the zoning requirements.

DATED: August 30, 2024



Ce document est également offert en français.

Committee of Adjustment
City of Ottawa
101 Centrepointe Drive
Ottawa ON K2G 5K7
Ottawa.ca/CommitteeofAdjustment
cofa@ottawa.ca
613-580-2436



Comité de dérogation
Ville d'Ottawa
101, promenade Centrepointe
Ottawa ON K2G 5K7
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cded@ottawa.ca
613-580-2436

AVIS D'AUDIENCE

Conformément à la *Loi sur l'aménagement du territoire de l'Ontario*

Demande de dérogations mineures

Groupe 1

Mercredi 18 septembre 2024

13 h

Place-Ben-Franklin, salle Chamber, 101, promenade Centrepointe, et par vidéoconférence

Les propriétaires des biens-fonds situés dans un rayon de 60 mètres de l'adresse indiquée ci-dessous reçoivent le présent avis afin d'avoir la possibilité de formuler des observations sur la ou les demandes et de participer à l'audience s'ils le souhaitent.

L'audience pourra être visionnée sur la chaîne [YouTube](#) du Comité de dérogation.

Les participants pourront bénéficier d'une interprétation simultanée dans les deux langues officielles et de formats accessibles et d'aides à la communication pour toute question à l'ordre du jour s'ils en font la demande auprès du Comité au moins 72 heures à l'avance.

Dossier : D08-02-24/A-00218
Demande : Dérogations mineures en vertu de l'article 45 de la *Loi sur l'aménagement du territoire*
Propriétaire/requérant : JBPA Developments
Adresse de la propriété : 100, avenue Glebe
Quartier : 17 – Capitale
Description officielle : Lot 29, plan enregistré 76125
Zonage : R3G
Règlement de zonage : 2008-250

PROPOSITION DU REQUÉRANT ET OBJET DE LA DEMANDE :

Le requérant souhaite construire un garage isolé de deux étages sur sa propriété, abritant un espace de rangement ou d'agrément personnel au deuxième étage, conformément aux plans déposés avec la demande. Le garage existant sera démoli.

DÉROGATIONS DEMANDÉES :

Le requérant demande au Comité d'accorder les dérogations mineures au Règlement de zonage décrites ci-après :

- a) Permettre l'augmentation de la hauteur d'un bâtiment accessoire à 5,63 mètres, alors que le règlement limite la hauteur d'un bâtiment accessoire à 3,6 mètres.
- b) Permettre l'augmentation de la superficie d'un bâtiment accessoire à 102 mètres carrés, alors que le règlement limite la superficie des bâtiments accessoires à 55 mètres carrés.

La propriété ne fait l'objet d'aucune autre demande en cours en vertu de la *Loi sur l'aménagement du territoire*.

POUR EN SAVOIR PLUS SUR LA DEMANDE

Pour obtenir plus de renseignements à ce sujet, communiquez avec le Comité de dérogation via l'adresse, le courriel, le site Web ou le code QR ci-dessous.

Visitez le site **Ottawa.ca/Comité de dérogation** et suivez le lien **Prochaines audiences** pour consulter l'ordre du jour du Comité et les documents relatifs aux demandes, y compris les **lettres d'accompagnement des propositions, les plans, l'information sur les arbres, les avis d'audience, les cartes de diffusion et les rapports d'urbanisme de la Ville**. Les décisions écrites sont également publiées une fois rendues et traduites.

Si vous ne participez pas à l'audience, vous ne recevrez pas d'autre avis à ce sujet.

Si vous souhaitez recevoir un avis de la décision prise à l'issue de l'audience et de tout appel ultérieur interjeté devant le Tribunal ontarien de l'aménagement du territoire, faites-en la demande par écrit au Comité.

COMMENT PARTICIPER

Présentez vos observations écrites ou orales avant l'audience : Veuillez faire parvenir vos observations par courriel à cded@ottawa.ca au moins 24 heures avant l'audience afin de vous assurer que les membres des groupes chargés du rendu des décisions les ont bien reçues. Vous pouvez également téléphoner au coordonnateur ou à la coordonnatrice au numéro 613-580-2436 pour demander que vos observations soient transcrites.

Inscrivez-vous au moins 24 heures à l'avance en communiquant avec le coordonnateur ou la coordonnatrice du Comité au numéro 613-580-2436 ou à l'adresse à cded@ottawa.ca. Vous recevrez des détails sur la façon de participer par vidéoconférence. Si vous souhaitez faire une présentation visuelle, le coordonnateur ou la coordonnatrice sera en mesure de vous fournir des détails sur la façon de procéder. Les présentations sont limitées à cinq minutes et toute exception est laissée à la discrétion du président ou de la présidente.

Les audiences sont régies par les *Règles de pratique et de procédure* du Comité de dérogation et sont accessibles en ligne.

TOUS LES RENSEIGNEMENTS PRÉSENTÉS DEVIENNENT PUBLICS

Sachez que, conformément à la Loi sur l'aménagement du territoire, à la *Loi sur les municipalités* et à la *Loi sur l'accès à l'information municipale et la protection de la vie privée*, les observations écrites adressées au Comité de dérogation sont considérées comme des renseignements publics et peuvent être communiquées à toute personne intéressée. Les renseignements que vous choisissez de divulguer dans votre correspondance, notamment vos renseignements personnels, seront versés au dossier public et communiqués aux membres du Comité, au(x) requérant(s) ou à l'agente ou agent, ainsi qu'à toute autre personne intéressée et pourront éventuellement être affichés en ligne et faire l'objet d'une recherche sur Internet.

COMITÉ DE DÉROGATION

Le Comité de dérogation est le tribunal quasi judiciaire de la Ville d'Ottawa créé en vertu de la *Loi sur l'aménagement du territoire* de l'Ontario. Chaque année, il tient des audiences sur des centaines de demandes en vertu de la *Loi sur l'aménagement du territoire*, conformément à la *Loi sur l'exercice des compétences légales* de l'Ontario, y compris des demandes d'autorisation de morcellement de terrain et de dérogation mineure aux exigences en matière de zonage.

FAIT le 30 août 2024



This document is also available in English.

Committee of Adjustment

City of Ottawa

101 Centrepointe Drive

Ottawa ON K2G 5K7

Ottawa.ca/CommitteeofAdjustment

cofa@ottawa.ca

613-580-2436



Comité de dérogation

Ville d'Ottawa

101, promenade Centrepointe

Ottawa ON K2G 5K7

Ottawa.ca/Comitedederogation

cded@ottawa.ca

613-580-2436



Circulated Area/
Région circulée 60m

 **Committee of Adjustment**
Comité de dérogation

CIRCULATION MAP /
PLAN DE CIRCULATION

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SUBJECT LAND / TERRAIN EN QUESTION
100 av. Glebe Ave.



NOT TO SCALE
NON À L'ÉCHELLE

Application for Minor Variance 100 Glebe Avenue

August 7, 2024

Mr. Michel Bellemare
Secretary-Treasurer
Committee of Adjustment
101 Centrepointe Drive, Fourth Floor
Ottawa, ON K2G 5K7

Committee of Adjustment
Received | Reçu le

2024-08-09

City of Ottawa | Ville d'Ottawa
Comité de dérogation

**RE: Application for Minor Variance
100 Glebe Avenue**

Dear Mr. Bellemare,

Fotenn Planning + Design ("Fotenn") has been retained by John Bassi ("the Client") to prepare a Planning Rationale for a Minor Variance application to permit a 2-storey accessory building at 100 Glebe Avenue ("subject site") in the City of Ottawa. The building will function as a two-vehicle garage at the base level, with additional amenity area on the second storey. This existing garage building will be removed to accommodate the newly proposed garage/accessory building.

Two (2) Minor Variances are proposed to increase the permitted maximum accessory building height and to permit an increased maximum floor area for the proposed accessory building. These variances have been assessed against the Four Tests of the Planning Act, and our determination is that the variances can satisfy these tests and are therefore appropriate and in the public interest.

Please find enclosed the following material in support of the application:

- / This Cover Letter explaining the nature of the application;
- / Minor Variance application form;
- / Survey Plan, prepared by AOV Ltd., dated June 27, 2024;
- / Building Elevation Drawings, prepared by Walker Home Design, dated May 29, 2024;
- / Site Plan, prepared by Walker Home Design, dated May 29, 2024;
- / Floor Plan, prepared by Walker Home Design, dated May 29, 2024; and,
- / Tree Information Report, prepared by IFS Associates, dated July 31, 2024.

Please contact the undersigned with any questions or requests for additional material.

Sincerely,



Scott Alain, MCIP RPP
Senior Planner



Genessa Bates, M.PL
Planner

Background and Context

Fotenn Planning + Design (“Fotenn”) has been engaged by John Bassi (“the Client”) to prepare this Planning Rationale in support of a Minor Variance application for the subject site, municipally known as 100 Glebe Avenue in the City of Ottawa.

The subject site is located on the south side of Glebe Avenue between O’Connor Street to the east and Bank Street to the west in Capital Ward (Ward 17). The subject site is a rectangular lot with a total area of 622.04 square metres, a depth of 40.80 metres and a frontage of 15.25 metres. The subject site is currently occupied by a three-storey residential building with a garage located in the rear lot, along the west lot line and a paving stone driveway along the western portion of the lot. The existing garage is an aged state and requires replacement. Two trees are identified in the front yard, and one tree is located in the rear yard. A fence is located along the eastern, southern and western property lines between the subject site and the adjacent properties.



Figure 1: Subject site and surrounding context.

This section of Glebe Avenue is a one-way east bound road with street parking on the right side and a designated bike lane. There is a sidewalk along the south side of Glebe Avenue.

1.1 Surrounding Area

North: Immediately north of the subject site are single detached dwellings fronting on Glebe Avenue and the Vietnam Ambassador’s Official Residence. Further north of the subject site is Central Park and the Glebe neighbourhood, characterized by low-rise buildings, including two- to three-storey detached dwellings, semi-detached dwellings, converted multi-unit buildings, and commercial and institutional buildings. Further north is the Trans-Canada Highway and Centretown neighbourhood.

East: Immediately east are detached and semi-detached dwellings fronting onto Glebe Avenue. Further east, on the east side of O'Connor Street is First Avenue Public School, an elementary school. Glebe Avenue terminates on O'Connor Street and a pedestrian pathway continues east along Patterson Creek Park to the Rideau Canal.



Figure 2: View from the subject site on Glebe Avenue facing east towards O'Connor Street. The existing garage is visible behind the dwelling on the right edge of the photo.

South: Directly south of the subject site is a detached residential building with an asphalt driveway along the side of the lot leading to a garage in the rear yard. Further south are low-rise residential buildings including detached dwellings, semi-detached dwellings, and multi-unit residential buildings.

West: Immediately west of the subject site is a three-storey residential dwelling with an asphalt driveway on a portion of the front, side and rear yards. Further west along Glebe Avenue are detached dwellings and multi-unit residential buildings with low-rise commercial buildings on the north and south corners of the Glebe Avenue and Bank Street intersection. Bank Street is an arterial road with a wide range of uses including retail, restaurants and cafes, personal services, and banks. West of Bank Street is St. Matthew's Anglican Church and the Glebe neighbourhood with primarily low-rise detached residential dwellings.



Figure 3: View from Glebe Avenue of the subject site (left side of the photo) facing west towards Bank Street. On-street and front yard parking on surrounding lots is visible.

Overview of Application

2.1 Proposed Development

The applicant is proposing the demolition of the existing garage located on the lands and the construction of a two-storey garage and accessory building relocated into the rear yard. The proposed development would preserve a significant portion of the soft landscaping in the rear yard while reducing the visual impact of the garage from the street.

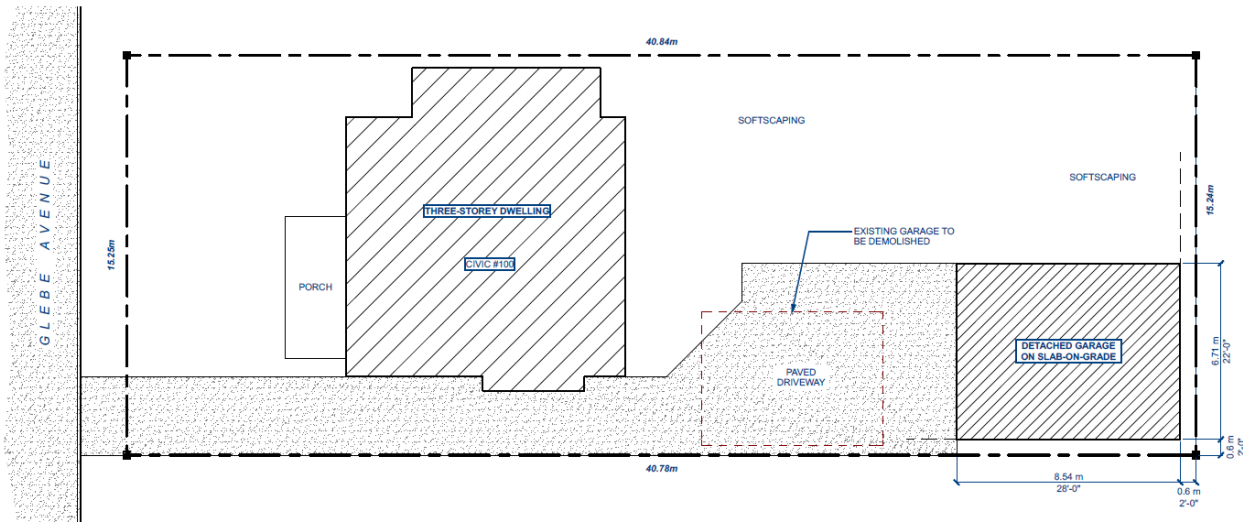


Figure 4: Site plan of proposed development.

The proposed at-grade two-storey accessory building will accommodate two (2) indoor vehicular parking stalls on the ground floor and storage or personal amenity space on the second floor. As shown above in Figure 4, the proposed structure meets the required setbacks from the interior and rear lot lines. The existing garage will be demolished and the driveway will be extended to the new structure.

Figure 5 and Figure 6 below show the proposed building elevation drawings. The structure will face north to Glebe Avenue with a two-door vehicle entrance to the garage and a doorway on the frontage. An overhang covers the width of the front wall. There is a window on the second floor facing Glebe Avenue. The south and west elevation of the structure consist of blank walls to ensure privacy to adjacent lots, with a doorway on the east elevation providing access to the rear yard. There is lighting planned to be located beside the doorway entrances to the structure.

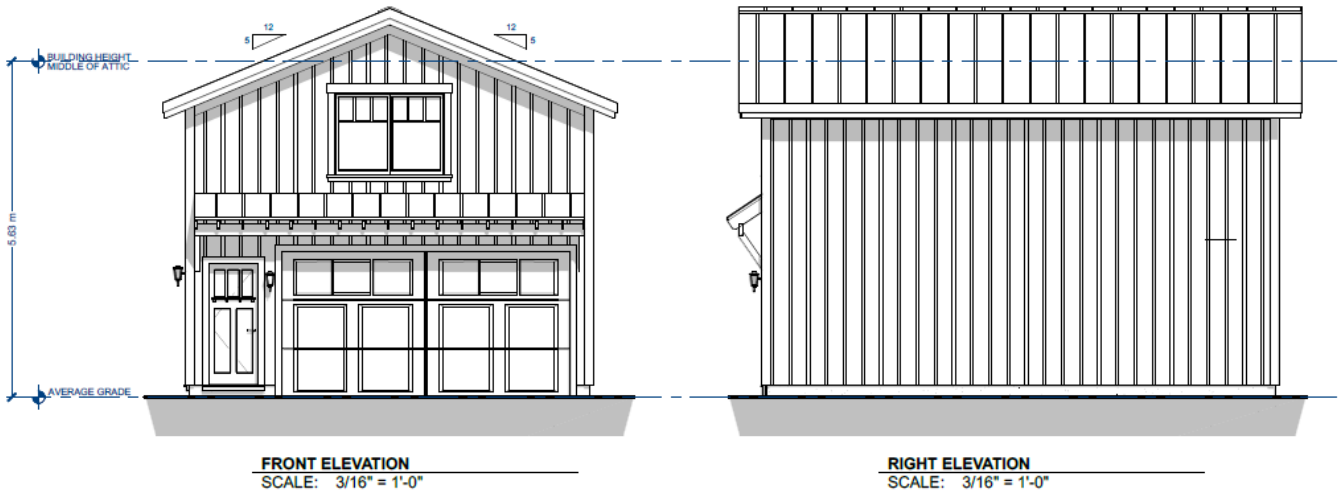


Figure 5: Front and right elevation of proposed structure.

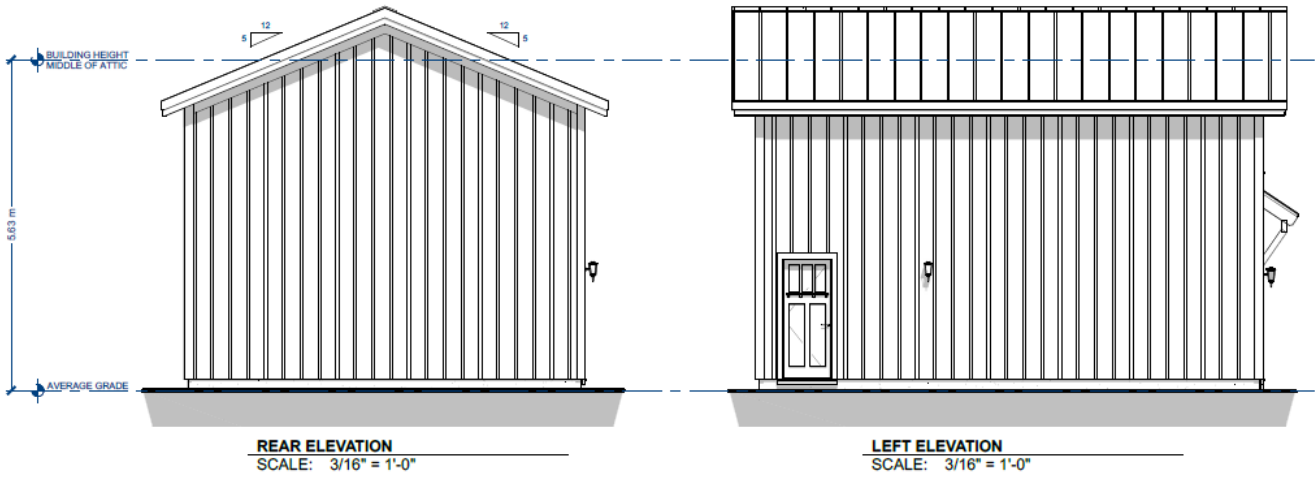
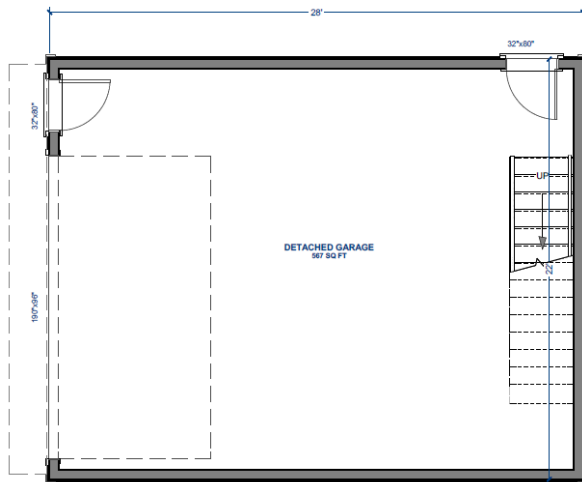
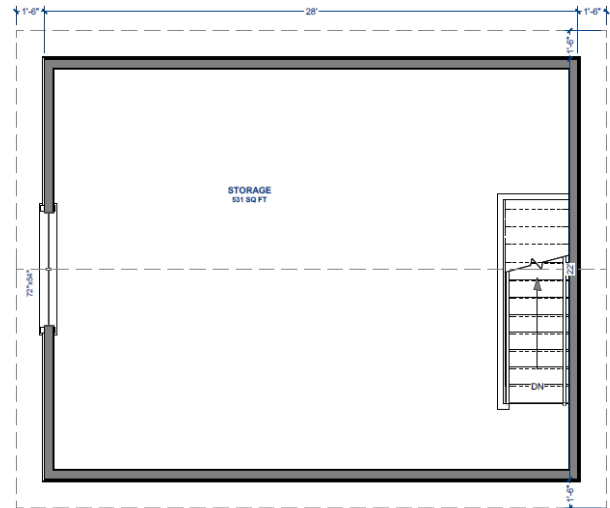


Figure 6: Rear and left elevation of proposed structure.

The structure footprint (measured from the exterior walls) is 52.7 square metres (567 square feet). The total gross floor area is 102 square metres (see Figure 7 below).



MAIN FLOOR PLAN
SCALE: 3/16" = 1'-0"



SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

Figure 7: Floor plan of proposed structure.

2.1.1 Tree Considerations

A Tree Information Report (TIR) was undertaken by IFS Associates in support of this application. The TIR identifies five (5) trees on-site and/or within proximity to the proposed development. The TIR notes that all trees under consideration are to be preserved and protected, and that no tree removal is applicable as part of this proposal.

2.2 Proposed Minor Variances

The property is located within the Residential Third Density zone, Subzone G (R3G). While broadly complying with the applicable provisions, in order to proceed with the development, the following minor variances are required:

- / To permit a maximum height of 5.63 metres for accessory buildings, whereas the By-law requires a maximum height of 3.6 metres, with the height of the exterior walls not exceeding 3.2 metres for accessory uses, buildings and structures, per Section 55 of the City of Ottawa's Comprehensive Zoning By-law (2008-250).
- / To permit a maximum permitted size of 102 square metres for accessory buildings, whereas the By-law requires a maximum cumulative floor area of 55 square metres as measured from the exterior walls of accessory buildings, per Section 55 of the City of Ottawa's Comprehensive Zoning By-law (2008-250).

An assessment of these variances in relation to the Four Tests of the Planning Act is provided below, following the policy and regulatory overview.

3.0 Policy and Regulatory Review

3.1 Provincial Policy Statement (2020)

The Provincial Policy Statement, 2020 (PPS) establishes the high-level planning policies for land use planning in Ontario. The PPS is issued under Section 3 of the Planning Act and requires that all planning matters are consistent with the PPS, including decisions made by municipalities. Applicable policies for the proposed Minor Variance application include:

- / 1.1.1: Healthy, liveable and safe communities are sustained by:
 - a) Promoting efficient development and land use patterns;
 - b) Accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons);
 - e) Promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs.

- / 1.1.3.2: Land use patterns within settlement areas shall be based on densities and a mix of land uses which:
 - a) Efficiently use land and resources;
 - b) Are appropriate for, and efficiently use, the infrastructure which are available;

- / 1.1.3.4: Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.

The proposal constitutes an efficient use of land as it plans for an increase in useable space on the lot. The Minor Variance application to permit a two-story accessory building minimizes land consumption on the lot and maintains the viability of an existing housing resource in the neighbourhood while addressing needs of the current and future residents. The proposed development is therefore consistent with the Provincial Policy Statement, 2020.

3.2 City of Ottawa Official Plan (2022)

The Official Plan for the City of Ottawa was approved by the Ministry of Municipal Affairs and Housing (MMAH) on November 4, 2022. The Plan provides a framework for the way that the City will develop until 2046 when it is expected that the City’s population will surpass 1.4 million people. The Official Plan directs the manner that the City will accommodate this growth over time and set out the policies to guide the development and growth of the City.

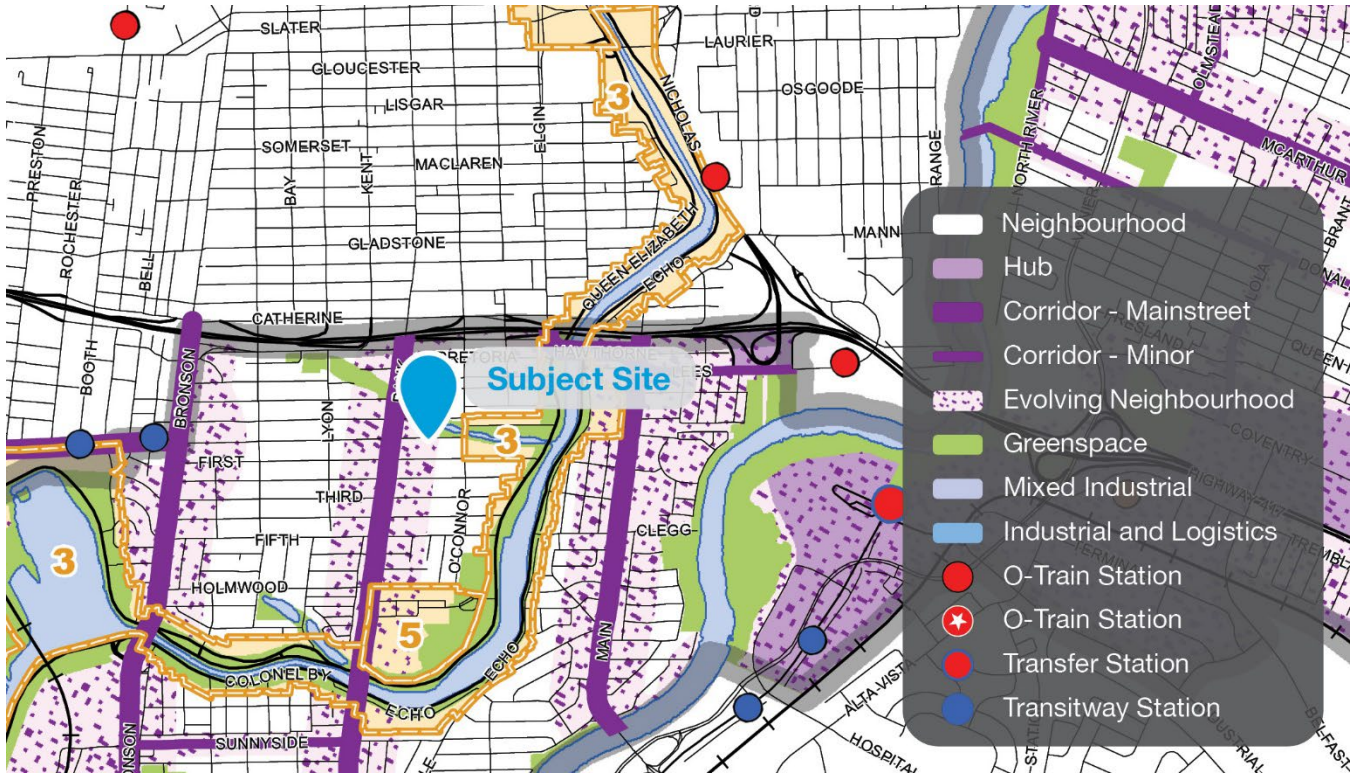


Figure 8: Schedule B2– Inner Urban Transect, City of Ottawa Official Plan, Subject Site indicated.

The Official Plan provides guidance for development across the Ottawa region, highlighting specific desired features, such as 15-minute neighbourhoods, and other intensification targets aimed at improving the walkability and sustainability of existing built-up areas. The Official Plan encourages infill and intensification through the development of various housing types, such as missing middle housing, within existing neighbourhoods in the City’s urban areas.

3.2.1 Inner Urban Transect

The subject site is located within the Inner Urban Transect of the Official Plan (Figure 8), which includes the pre-World War II neighbourhoods that immediately surround the Downtown Core, and the earliest post-World War II areas directly adjacent to them.

- / Per Section 5.2.1.1, the Inner Urban Transect’s built form and site design includes both urban and suburban characteristics as described in Table 6. Its intended pattern is urban.

3.2.2 Neighbourhood Designation

The subject site is designated “Neighbourhood” in the Official Plan. Neighbourhoods are contiguous urban areas that constitute the heart of communities. It is the intent of this Plan that they, along with hubs and corridors, permit a mix of building forms and densities.

- / Per Section 5.2.4.1, neighbourhoods located in the Inner Urban area and within a short walking distance of Hubs and Corridors shall accommodate residential growth to meet the Growth Management Framework as outlined in Subsection 3.2, Table 3b. The Zoning By-law shall implement the density thresholds in a manner which adheres to the built form requirements as described in Subsection 5.6.1, as applicable and that:
 - a) Allows and supports a wide variety of housing types with a focus on missing-middle housing, which may include new housing types that are currently not contemplated in this Plan;
 - c) Provides for a low-rise built form, by requiring in Zoning a minimum built height of 2 storeys, generally permitting 3 storeys, and where appropriate, will allow a built height of up to 4 storeys to permit higher-density low-rise residential development;

- / Per section 6.3.1.2, permitted building heights in Neighbourhoods shall be Low-rise, except:
 - a) Where existing zoning or secondary plans allow for greater building heights; or
 - b) In areas already characterized by taller buildings.

- / Per Section 6.3.2.2, the City will establish form-based regulation through the Zoning By-law, Site Plan Control and other regulatory tools as appropriate, consistent with Transect direction. Such form-based regulation may include requirements for articulation, height, setbacks, massing, floor area, roofline, materiality and landscaped areas having regard for:
 - a) Local context and character of existing development;
 - b) Appropriate interfaces with the public realm, including features that occupy both public and private land such as trees;
 - c) Appropriate interfaces between residential buildings, including provision of reasonable and appropriate soft landscaping and screening to support livability;

The proposed development represents a compatible, low-rise accessory building which is characteristic of the urban area. It has regard for the local context and is intended to be subservient to the primary building on-site by being located beyond the rear building wall. It allows for covered parking and an increase in site amenity in a manner that does not impact the existing building on-site by generating an addition which could accordingly impact neighbourhood character.

3.2.3 Evolving Neighbourhood Overlay

An Evolving Neighbourhood Overlay is applied to the subject site and surrounding area. The area shall evolve to create the opportunity to achieve an urban form in terms of use, density, built form and site design. The Zoning By-law shall provide development standards for the built form and buildable envelope consistent with the planned characteristics of the overlay area, which may differ from the existing characteristics of the area to which the overlay applies.

- / Per Section 5.6.1, the Evolving Neighbourhood Overlay is applied to areas of the Neighbourhood Designation in close proximity to Hubs and Corridors to signal a gradual evolution over time that will see a change in character to support intensification, including guidance for a change in character from suburban to urban to allow new built forms and more diverse functions of land. The intent is to identify areas that may gradually evolve through intensification to a more urban than suburban built form.
- / Per Section 5.6.1.5, where a property within an overlay is identified as a heritage resource or is within a Heritage Conservation District, the relevant heritage policies continue to apply.

The Evolving Neighbourhood Overlay is applied to the subject site and indicates the area is subject to gradual change in both built form and density, such as that proposed herein.

The proposed minor variances maintain the general intent and purpose of the Official Plan. The proposed development is within the height range of the Neighbourhood designation and has been designed in a

manner which intensifies the site with consideration for the adjacent properties. The design of the proposed building will architecturally integrate with and complement the surrounding context.

3.3 City of Ottawa Zoning By-law (2008-250)

The site is zoned Residential Third Density, Subzone G (R3G) in the City of Ottawa's Comprehensive Zoning By-law (2008-250) as shown on Figure 9. The purpose of this zone is to:

- / allow a mix of residential building forms ranging from detached to townhouse dwellings in areas designated as General Urban Area in the Official Plan; (By-law 2012-334)
- / allow a number of other residential uses to provide additional housing choices within the third density residential areas;
- / allow ancillary uses to the principal residential use to allow residents to work at home;
- / regulate development in a manner that is compatible with existing land use patterns so that the mixed dwelling, residential character of a neighbourhood is maintained or enhanced; and
- / permit different development standards, identified in the Z subzone, primarily for areas designated as Developing Communities, which promote efficient land use and compact form while showcasing newer design approaches.

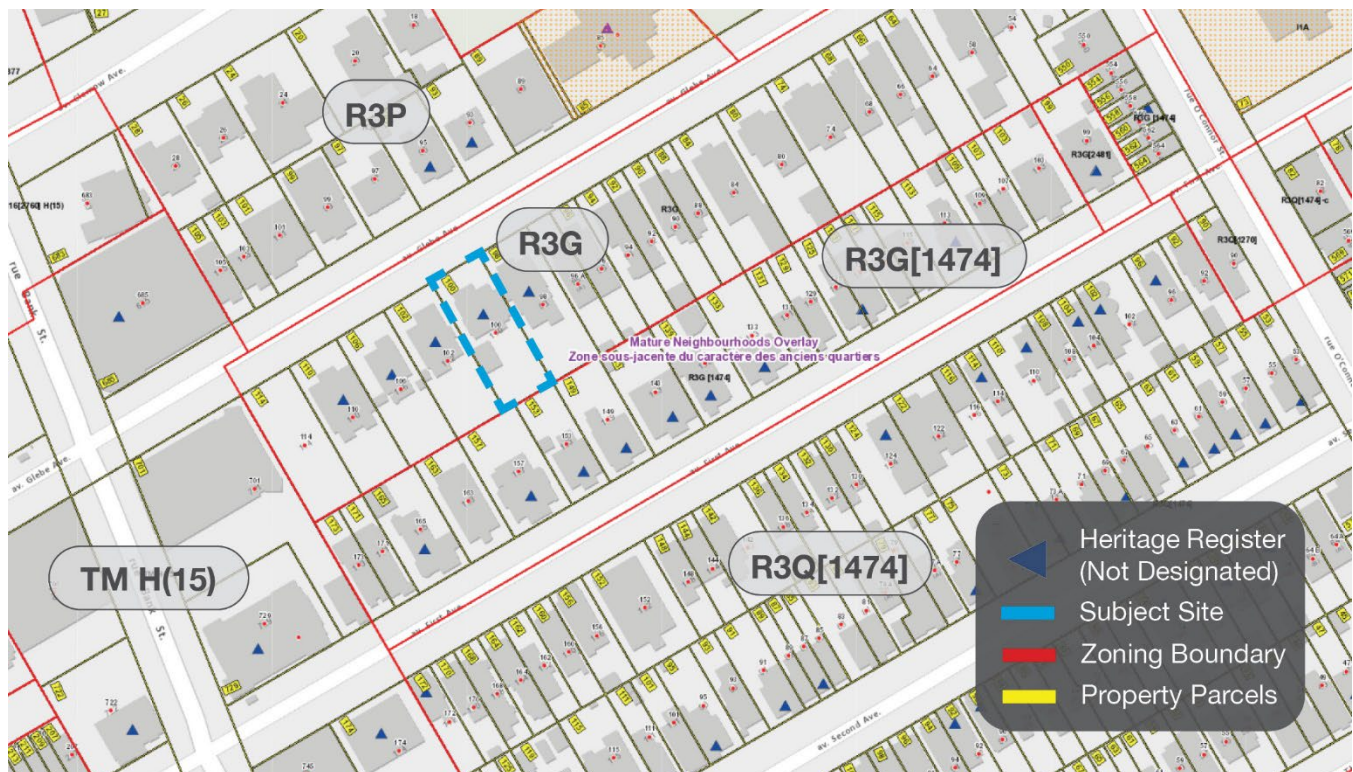


Figure 9: Zoning map of the subject site and surrounding context.

Per Section 55(1) of the Zoning By-law on Accessory Uses, Buildings and Structures, an accessory use is permitted in any zone if:

- / An accessory use is permitted in any zone if:
 - a) it is on the same lot as the principal use to which it is accessory; and
 - b) it exists to aid and contribute to the principal use to carry out the function of that principal use.

Per Section 54 of the Zoning-Bylaw accessory means aiding or contributing in a secondary way to a principal use to carry out its function, and having regard to this definition:

- a) an accessory use is a land use that is accessory to a principal use;
- b) an accessory building is a building that houses an accessory use;
- c) an accessory structure is a structure, that is not a land use, but is accessory to a principal use and this definition is broadened to include tower antennas and satellite dishes.

An accessory building is permitted on the subject site and follows the intention of the R3G zone.

Accessory Uses Zoning Provisions (Section 55)	Requirement	Provided
Minimum Required Setback from an Interior Side Lot Line or Rear Lot Line not abutting a street Table 55 (3)(e)(ii)	0.6m	0.6m
Required distance from any other building on the same lot Table 55 (4)	1.2m	>1.2m
Maximum Permitted Height Table 55 (5)	3.6m, with the height of the exterior walls not to exceed 3.2m	5.63m
Maximum Permitted Size Table 55 (6)	Max 50% of the yard, with a maximum cumulative floor area of 55m ² as measured from the exterior walls of the building	Total GFA 102.01 m² 52.68m² + 49.33 m²
Maximum Number of Accessory Buildings per Lot	2	1

As noted above, the Accessory Building would comply with the applicable zoning provisions for Accessory Buildings, aside from the maximum permitted height and the maximum permitted size. These compliance considerations are addressed in the following section with reference to the Four Tests.

4.0

The Four Tests of the Planning Act

Section 45 of the Planning Act, R.S.O. 1990 provides the Committee of Adjustment with the ability to grant minor variances by weighing their appropriateness on the basis of Four Tests. It is required to be demonstrated that a proposed variance satisfy the following tests:

1. Is it in keeping with the general intent and purpose of the Official Plan?
2. Is it in keeping with the general intent and purpose of the Zoning By-law?
3. Is it desirable for the appropriate development or use of the land, building or structure?
4. Is the application minor in nature?

It is our professional planning opinion that the application meets the “Four Tests” as follows:

4.1 Does the Proposal Maintain the General Intent and Purpose of the Official Plan?

The subject site is designated “Neighbourhood” on Schedule B2 (Inner Urban Transect) of the Official Plan and subject to an “Evolving Neighbourhood” overlay. The Neighbourhood designation is intended to support housing in a compact, mixed-use environment. The minimum permitted building height is 2 storeys and up to 4 storeys to accommodate higher-density low-rise residential development. The Official Plan also provides policy direction for appropriate interfaces with the public realm and between residential buildings, including features such as trees, soft landscaping, and screening. The Evolving Neighborhood overlay includes guidance for a change in character from suburban to urban to allow new built forms and more diverse functions of land.

The proposal maintains the intended form, uses and context of the Neighborhood designation of the Official Plan. The proposed minor variances would facilitate the development of an accessory building which supports the existing residential use on the property and is compatible with the wider neighbourhood. The two-storey height upholds the intent of the Official Plan to maintain a low-rise built form. The pitched roof character of the structure reflects the existing development and broader character of the Glebe. The pitched roof also softens the transition to adjacent properties. Mature trees located on the subject property and surrounding lots help to mitigate visual impact of the structure on abutting properties. The proposed increased floor area aligns with the intent of the Official Plan by optimizing the utility and function of the lot while preserving soft landscaping and maintaining the existing neighbourhood form.

4.2 Does the Proposal Maintain the General Intent and Purpose of the Zoning By-law?

The subject site is zoned **Residential Third Density, Subzone G (R3G)** in the City of Ottawa’s Comprehensive Zoning By-law. Per Section 55(1) of the zoning by-law, accessory buildings are permitted in the R3G provided they are on the same lot as the principal use to which they are accessory. These provisions serve to allow supporting structures that serve the principal use and support its functionality. To facilitate the proposed accessory building, the proposal requires a relief from the maximum building height zoning provision of 3.6 metres to permit a height of 5.63 metres as well as relief from the maximum permitted size provisions from 55 square metres to 102.01 square metres.

The proposed two-storey accessory building will increase the use potential of the site with the addition of space for accessory uses on the second floor. The general intent of the maximum building height provision is to provide an appropriate transition between other buildings, ensure the structure is secondary to the primary dwelling, and maintain the surrounding built form. The maximum permitted area provisions ensure the preservation of yard space and green space, restricting the yard coverage to a maximum of 50 percent.

Accessory buildings are intended to be secondary to the primary building. The primary dwelling on the subject site is three storeys, as are the neighbouring dwellings. The proposed building floor plate is 52.68 square metres, which is below the maximum permitted floor area for an accessory building, and as the additional floor area is provided on the building’s second storey, the impact on the yard area is minimal.

With consideration to privacy, the building walls which interface with the interior and rear lot lines are unwindowed, eliminating the possibility of overlook. The proposed two storey accessory building aligns with the form of the neighbourhood and general intent of the zoning by-law provisions.

4.3 Is the Proposal Desirable for the Appropriate Development or Use of the Land?

The proposed development consists of the removal of an existing, aging garage and replacing it with a two-storey accessory building in the rear yard with two (2) stalls for indoor parking and additional floor space for accessory uses. The proposal is consistent with the intended function of the R3G zone and Section 55 of the Zoning By-law. The policies of the Inner Urban Transect and Neighbourhood designation encourage appropriate interfaces with the public realm and between residential buildings, and supports a variety of housing types. Further, policies within the PPS support the proposed development by:

- / promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
- / promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs; and
- / ensure the appropriate range and mix of housing options and densities are provided for to meet the needs of current and future residents.

The increased separation of the accessory building relative to the existing structure will further screen vehicles from the public realm and the proposed form reflects that of surrounding residential buildings. The proposed development makes efficient use of the land, proposing amenity and parking in a format that is that is compatible with the existing residential dwelling and the surrounding community; increasing the use potential on the site while preserving soft landscaping. The subject site is presently on the City's Heritage Register and as such, the proposed accessory building increases the indoor useable space on the site without renovation or alterations to the primary building. The subject site functionality will therefore be increased to ensure viability for current and future tenants. The proposal does not intend to alter any existing trees, as confirmed by the provided Tree Information Report. Existing tree canopy on the subject site and neighbouring lots provide screening for the accessory building, further reducing its visual impact. Overall, the proposal is desirable for the development and use of the lands.

4.4 Is the Proposal Minor in Nature?

The proposed development is generally consistent with the provisions of Section 55 of the Zoning By-law and the R3G zone. The proposed maximum building height increase and permitted size are to accommodate an increase in useable floor space on the site and not impact the ability to conform to the other provisions of the Zoning By-law. The increased building height and size are not anticipated to create any adverse impacts to adjacent properties and is appropriate for the neighbourhood.

The proposed building height does not overwhelm the surrounding built form; many surrounding residential dwellings are three-storey structures with front or side yard parking and on-street parking. There are accessory buildings present in the rear yards of surrounding lots in the nearby neighbourhood, which function without impact in a similar manner to that proposed. The proposed accessory building will be set back further than the existing accessory structure on the lot, reducing its visual impact on the street. The proposed variances are therefore minor in nature.

5.0 Conclusion

It is our professional opinion that the Minor Variances described herein meet the Four Tests of the Planning Act and result in a development proposal which represents good planning principles and is in the public interest. The variances allow for the establishment of an accessory building that improves the viability and functionality of the existing housing stock on-site without impacting the public realm or neighbouring development. This report recognizes the following:

- / The proposal conforms to the direction of the Provincial Policy Statement (2020);
- / The proposal conforms to the policies and objectives of the "Neighbourhood" Official Plan designation;
- / The proposal meets the intent of the City of Ottawa Comprehensive Zoning By-law (2008-250); and
- / The proposed minor variances meet the four tests, as set out in the Planning Act.

Should you have any further comments, please do not hesitate to contact the undersigned.

Sincerely,



Scott Alain, MCIP RPP
Senior Planner

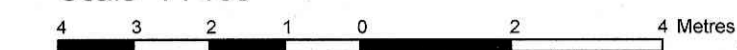


Genessa Bates, M.PL
Planner

LOT 29 REGISTERED PLAN 76125 CITY OF OTTAWA

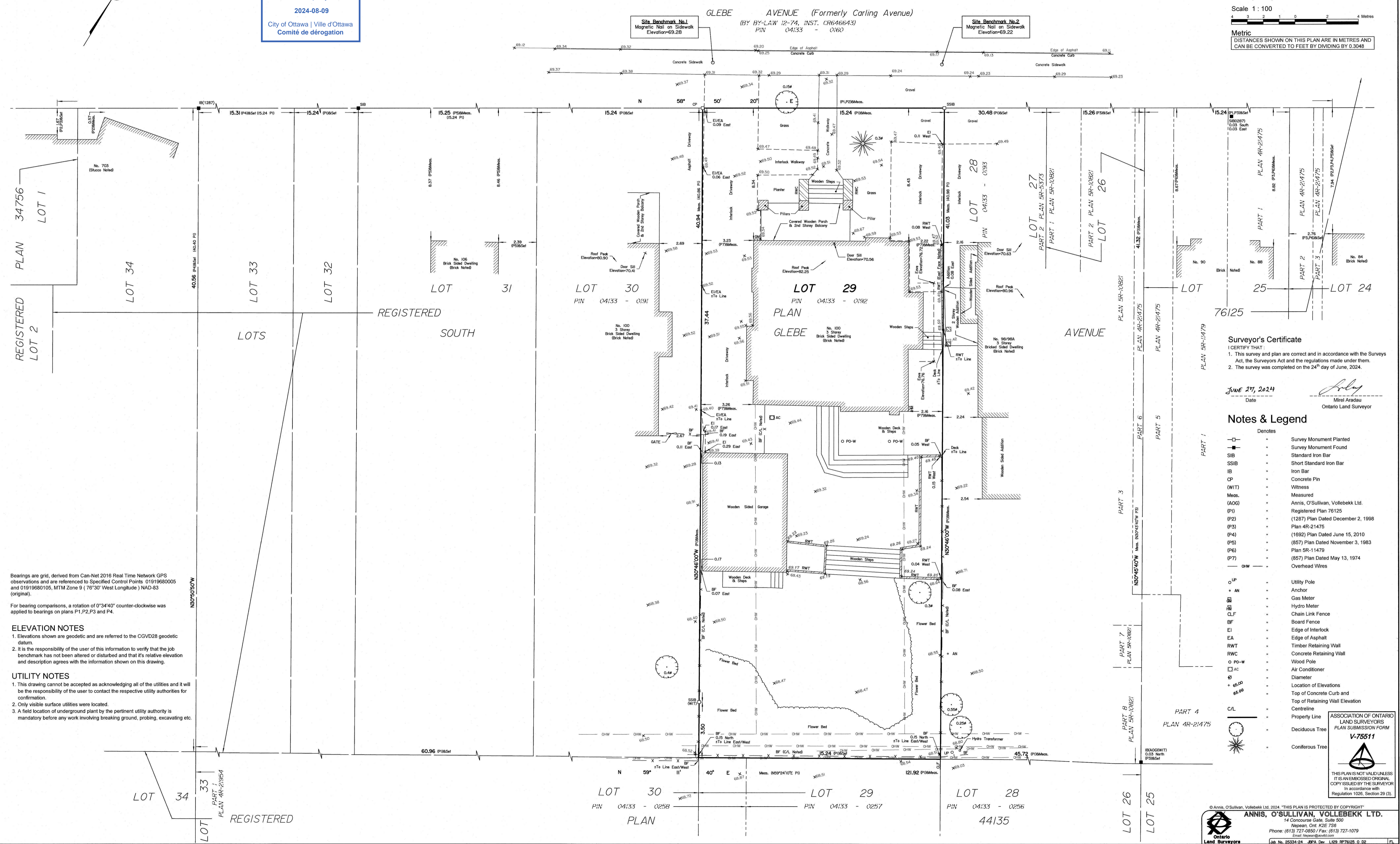
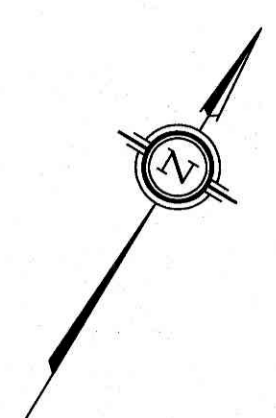
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1:100



Metric DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Committee of Adjustment Received | Reçu le 2024-08-09 City of Ottawa | Ville d'Ottawa Comité de dérogation



Surveyor's Certificate I CERTIFY THAT: 1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the regulations made under them. 2. The survey was completed on the 24th day of June, 2024.

June 27, 2024 Date Mirei Aradau Ontario Land Surveyor

Notes & Legend table with symbols for Survey Monument Planted, Survey Monument Found, SIB, SSIB, IB, CP, (WIT), Meas., (AOG), (P1), (P2), (P3), (P4), (P5), (P6), (P7), CHW, LP, AN, Gas Meter, Hydro Meter, CLF, BF, EI, EA, RWT, RWC, PO-W, AC, Diameter, Location of Elevations, Top of Concrete Curb and Top of Retaining Wall Elevation, Centreline, Property Line, Deciduous Tree, Coniferous Tree.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original). For bearing comparisons, a rotation of 0°34'40" counter-clockwise was applied to bearings on plans P1, P2, P3 and P4.

ELEVATION NOTES 1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum. 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation. 2. Only visible surface utilities were located. 3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

DETACHED GARAGE

100 GLEBE AVENUE, OTTAWA, ONTARIO, K1S 2C3

TOTAL SQUARE FOOTAGE: 528FT²

Committee of Adjustment

Received | Reçu le

2024-08-09

City of Ottawa | Ville d'Ottawa

Comité de dérogation



WALKER
HOME DESIGN

walker-design.ca

DETACHED GARAGE

PROJECT TYPE

100 GLEBE AVENUE

PROJECT ADDRESS

REVISIONS

- 1 - CONCEPT VER1.0 - 2024-05-22
- 2 - CONCEPT VER1.1 - 2024-05-23
- 3 - CONCEPT VER2.0 - 2024-05-29

NOTES

SITE PLAN

DRAWING TITLE

TABLOID [11x17]

SHEET SIZE

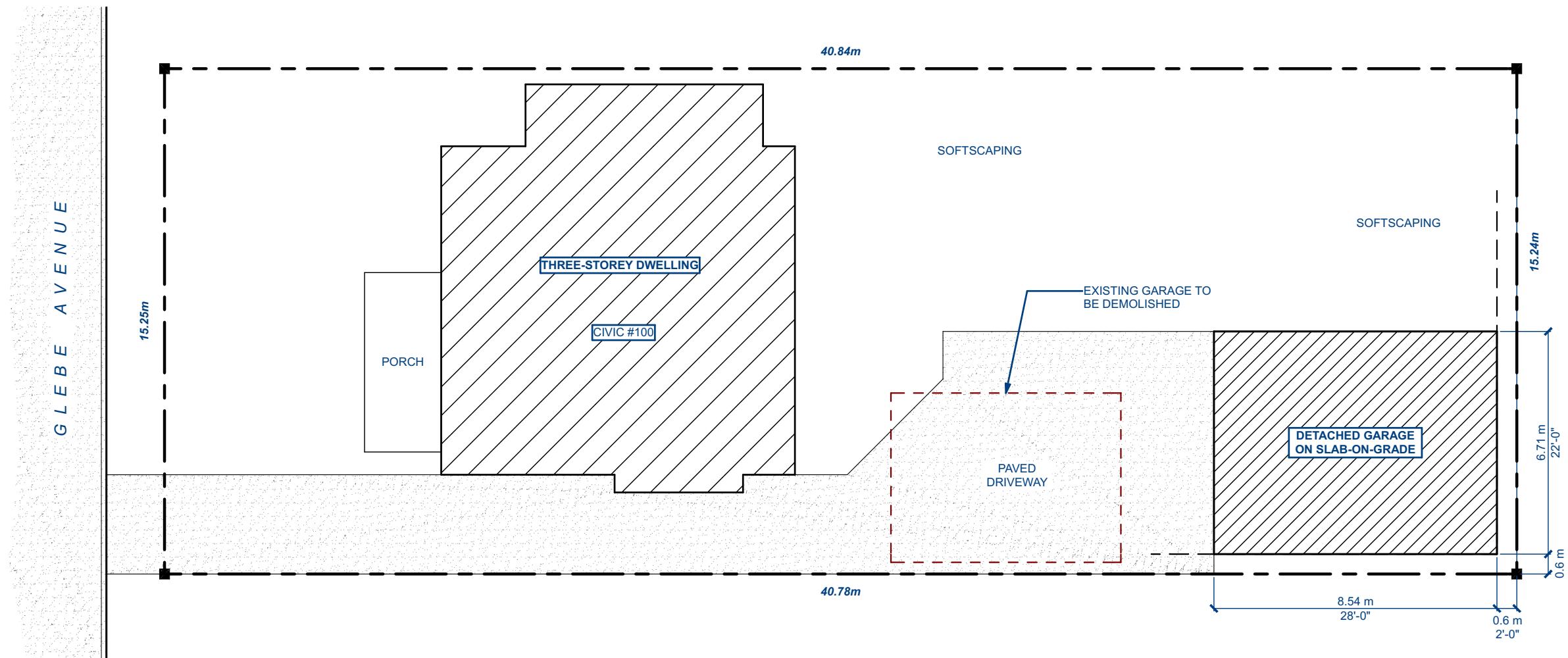
AS INDICTED

SCALE

A-1

SHEET NO.

08:54:46



SITE PLAN

SCALE: 1:150





**WALKER
HOME DESIGN**

walker-design.ca

DETACHED GARAGE

PROJECT TYPE

100 GLEBE AVENUE

PROJECT ADDRESS

REVISIONS

- 1 - CONCEPT VER1.0 - 2024-05-22
- 2 - CONCEPT VER1.1 - 2024-05-23
- 3 - CONCEPT VER2.0 - 2024-05-29

NOTES

FLOOR PLANS

DRAWING TITLE

TABLOID [11x17]

SHEET SIZE

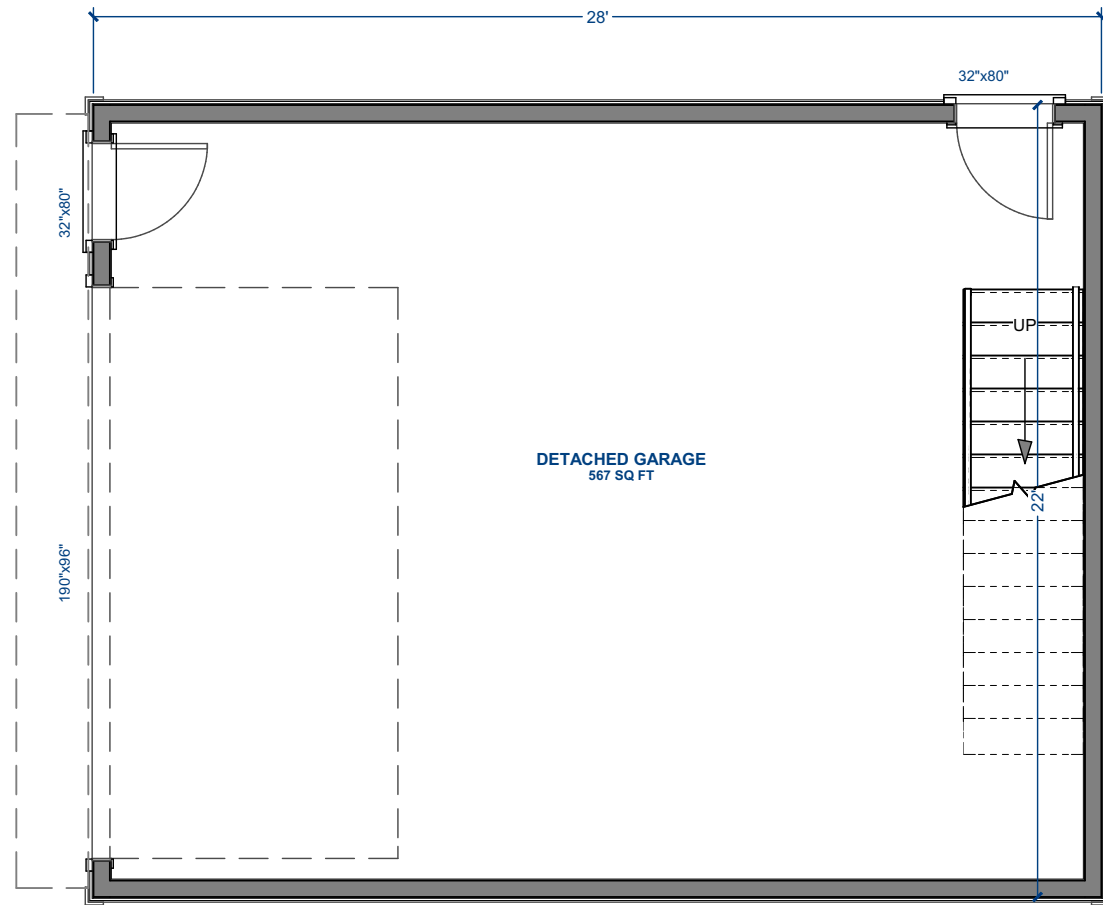
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SCALE

A-2

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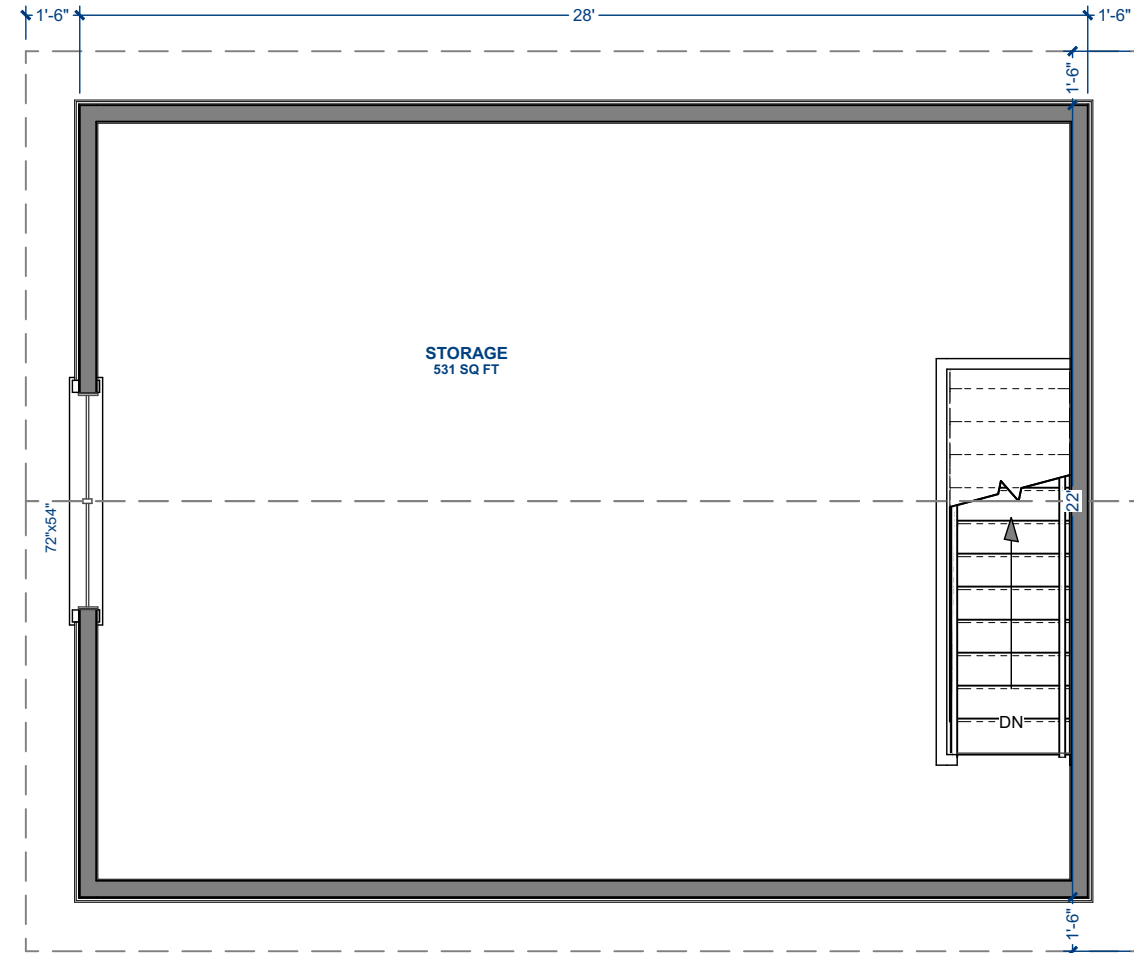
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MAIN FLOOR PLAN

SCALE: 3/16" = 1'-0"

WALL LEGEND	
	EXISTING WALLS
	WALLS TO BE DEMOLISHED
	NEW WALLS



SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"





WALKER
HOME DESIGN

walker-design.ca

DETACHED GARAGE

PROJECT TYPE

100 GLEBE AVENUE

PROJECT ADDRESS

REVISIONS

- 1 - CONCEPT VER1.0 - 2024-05-22
- 2 - CONCEPT VER1.1 - 2024-05-23
- 3 - CONCEPT VER2.0 - 2024-05-29

NOTES

ELEVATIONS

DRAWING TITLE

TABLOID [11x17]

SHEET SIZE

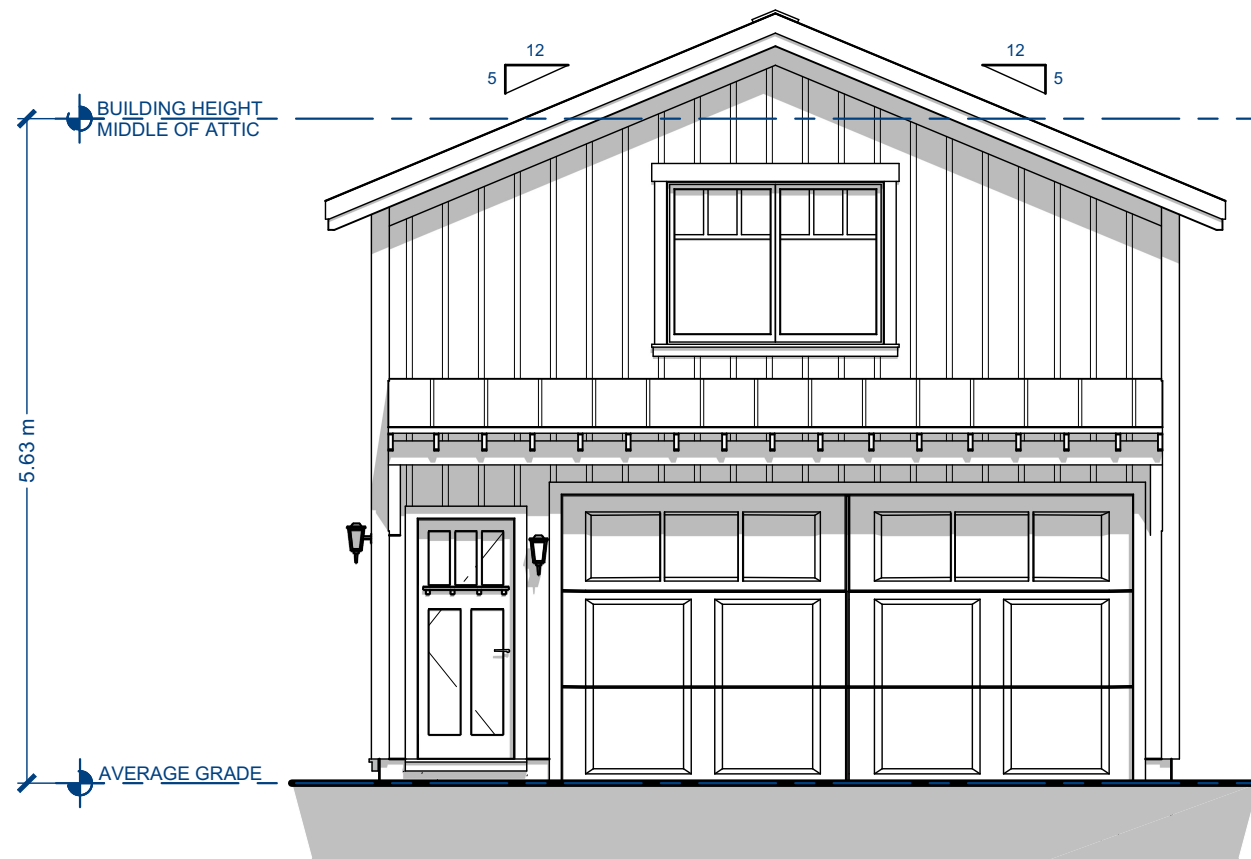
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SCALE

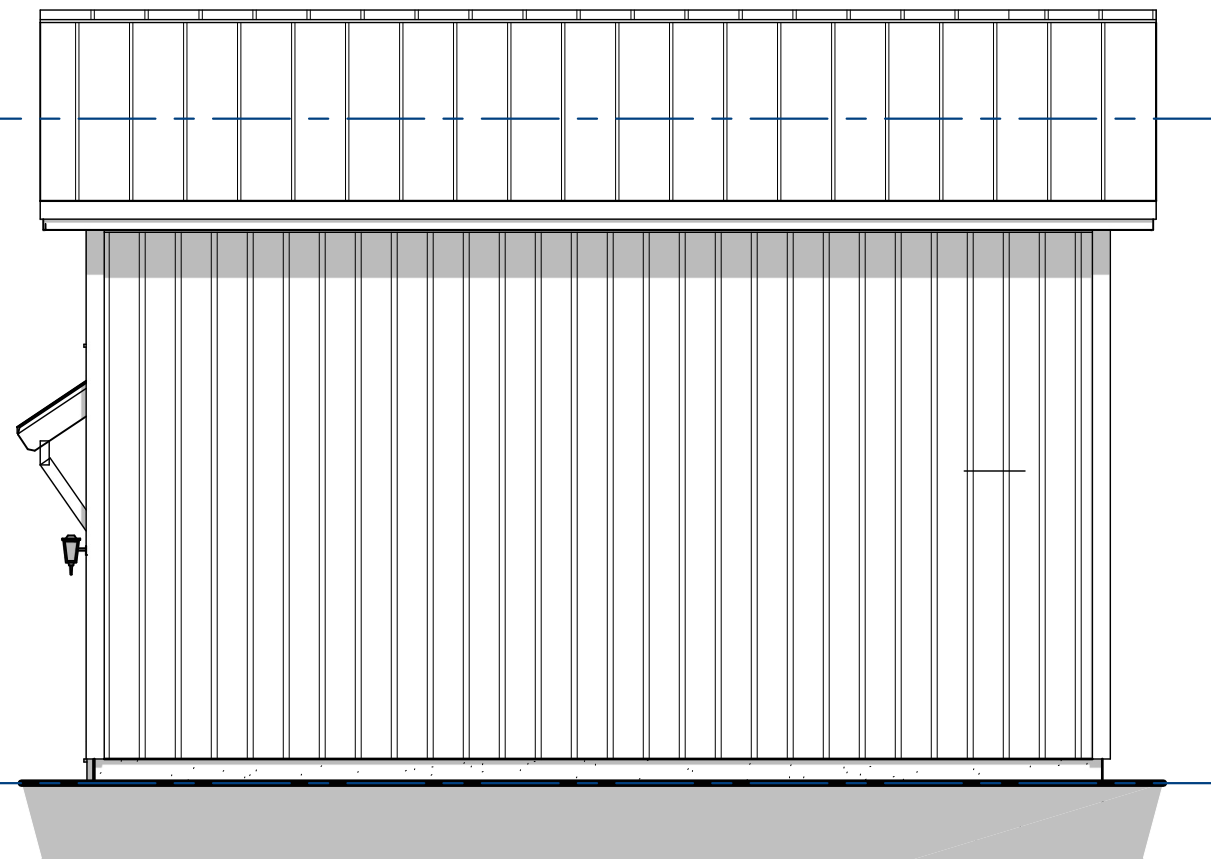
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SHEET NO.

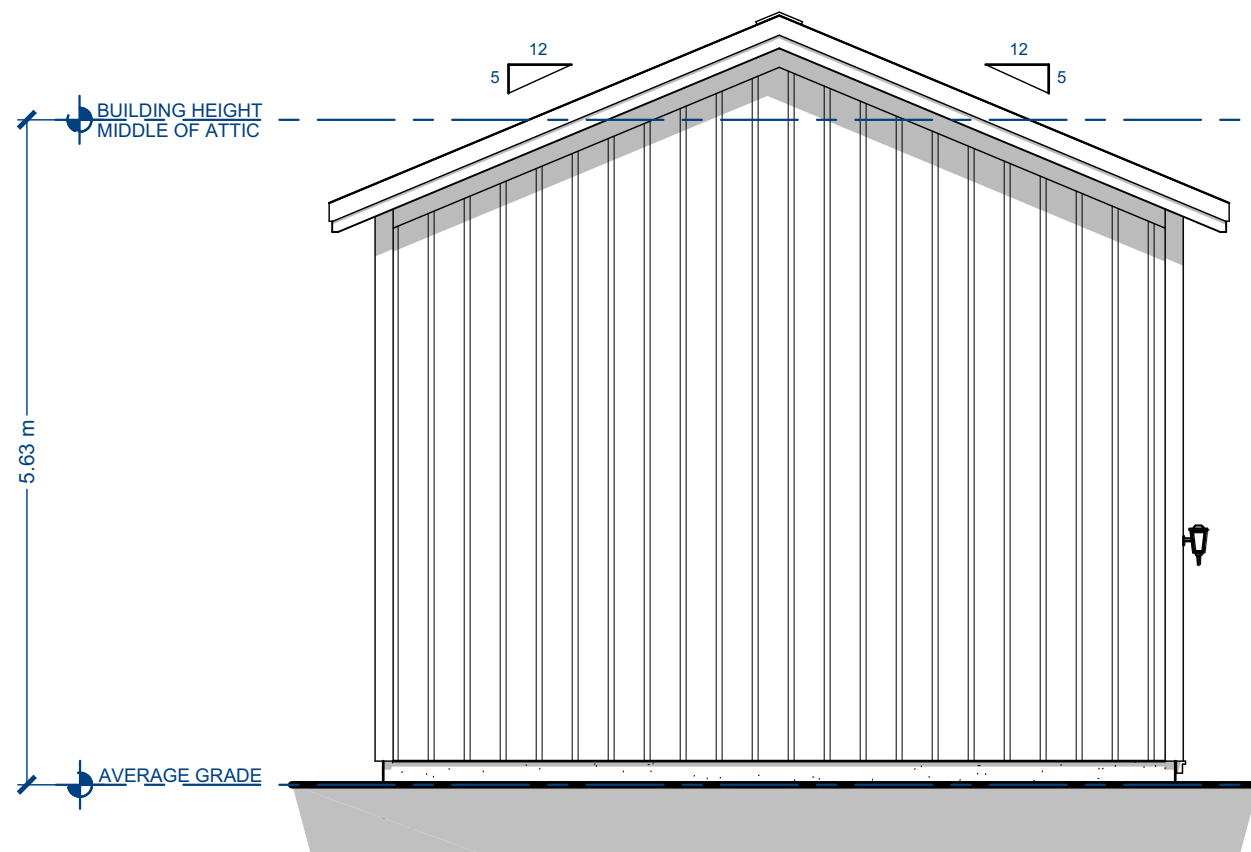
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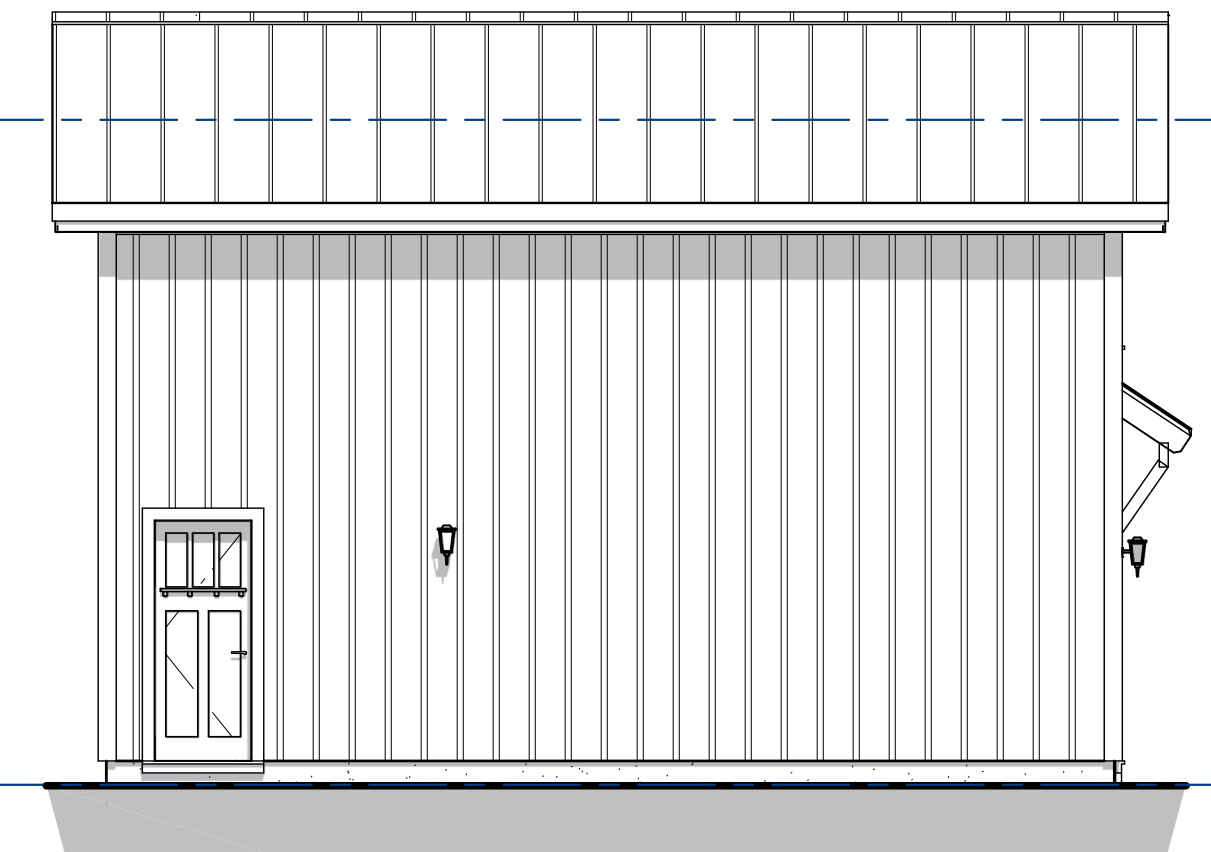
FRONT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



REAR ELEVATION
SCALE: 3/16" = 1'-0"



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



P.O. Box 13593, STN. KANATA, OTTAWA, ON K2K 1X6
TELEPHONE: (613) 850-2475
WEBSITE: WWW.IFSASSOCIATES.CA
URBAN FORESTRY & FOREST MANAGEMENT CONSULTING

July 31, 2024

Brandon Giroux
Jr. Project Manager
JBPA Developments Inc.
107 Pretoria Avenue
Ottawa, ON
K1S 1W8

Committee of Adjustment
Received | Reçu le
2024-08-09
City of Ottawa | Ville d'Ottawa
Comité de dérogation

RE: TREE INFORMATION REPORT (FULL) FOR 100 GLEBE AVENUE

This Tree Information Report (TIR) was prepared by IFS Associates Inc. (*IFS Inc.*) in support of a minor variance application for 100 Glebe Avenue. The need for this report is related to trees protected under the City of Ottawa’s Tree Protection By-law (By-law No. 2020-340). The work proposed at this address includes the demolition of an existing detached garage and construction of a new two-story garage in the back corner of the property. The foundation of the new garage will be slab-on-grade.

Within the inner urban area of Ottawa, a TIR is required for infill developments and/or demolitions when a ‘distinctive’ tree is present (*i.e.* 30 cm in diameter at breast height (DBH) or greater). This includes distinctive trees on adjacent properties which have critical root zones (CRZ) extending onto a property slated for development or demolition. A “tree” is defined in the By-law as any species of woody perennial plant, including its root system, which has reached or can reach a minimum height of at least 450 cm at physiological maturity. The CRZ is calculated as DBH x 10 cm.

The approval of this TIR by the city and the issuing of a permit authorizes the removal of approved trees. **Importantly, although this report may be used to support the application for a tree removal permit, it does not by itself constitute permission to remove trees or begin site clearing activities. No such work should occur before a tree removal permit is issued authorizing the injury or destruction of a tree in accordance with the By-law. Further, the removal of any trees shared with or fully on neighbouring properties will require written permission of the adjacent landowner.**

The inventory in this report details the assessment of all individual distinctive trees on the subject and adjacent private property. One tree was found nearby on City of Ottawa lands. Field work for this report was completed in July 2024.

TREE SPECIES, CONDITION, SIZE AND STATUS

Table 1 on page 2 details the individual distinctive trees on and adjacent to the subject property. Each of these trees is referenced by the numbers plotted on the tree information plan included on page 3 of this report.

Table 1. Tree information for 100 Glebe Avenue

Tree No.	Tree species /Tolerance to Construction ¹	Ownership	DBH ² (cm)	CRZ ³ (m)	Distance to excavation (m) ⁴	Tree Condition, Age Class, Condition Notes, Species Origin and Status (to be removed or preserved and protected)	Reason for removal	Forester's Opinion re. Removal
1	Hackberry (<i>Celtis occidentalis</i>) / Poor - Moderate	City	18.5	1.9	>10	Good; maturing; central stem with competing lateral at 2.5m on southeast; suppressed laterals starting at 1.75; dense crown; native species; to be preserved and protected	Not applicable – to be preserved	Not applicable
2	Colorado spruce (<i>Picea pungens</i>) / Moderate - Good	Private	30.5	3.1	>10	Very good; mature; central dominant stem with generally symmetric crown; good crown density, annual increment and needle colour; introduced species; to be preserved and protected	Not applicable – to be preserved	Not applicable
3	Japanese tree lilac (<i>Syringa reticulata</i>) / Unknown	Private	30.0	3.0	>5	Fair; mature; co-dominant stems at 2m – moderately divergent; form divergent and crown asymmetric towards west; cultivar; to be preserved and protected	Not applicable – to be preserved	Not applicable
4	White spruce (<i>Picea glauca</i>) / Moderate - Good	Neighbour	+/-40	+/-4	+/-2.5	Good; mature; central dominant stem with generally symmetric crown; good crown density, annual increment and needle colour; native species; to be preserved and protected	Not applicable – to be preserved	Not applicable
5	Norway spruce (<i>Picea abies</i>) / Moderate - Good	Neighbour	+/-50	+/-5	>7	Poor; mature; topped by Hydro in distant past - two competing stems and one suppressed stem at 8m (suppressed stem previously failed); introduced invasive species; to be preserved and protected	Not applicable – to be preserved	Not applicable

¹As taken from Managing Trees during Construction; 2nd Ed., Fite and Smiley; ²Diameter at breast height, or 1.3m from grade (unless otherwise indicated); ³Critical root zone (CRZ) is considered as being 10 centimeters from the trunk of a tree for every centimeter of DBH. The CRZ is calculated as DBH x 10 cm;

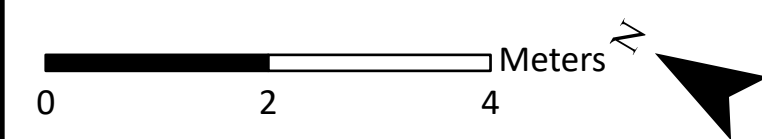
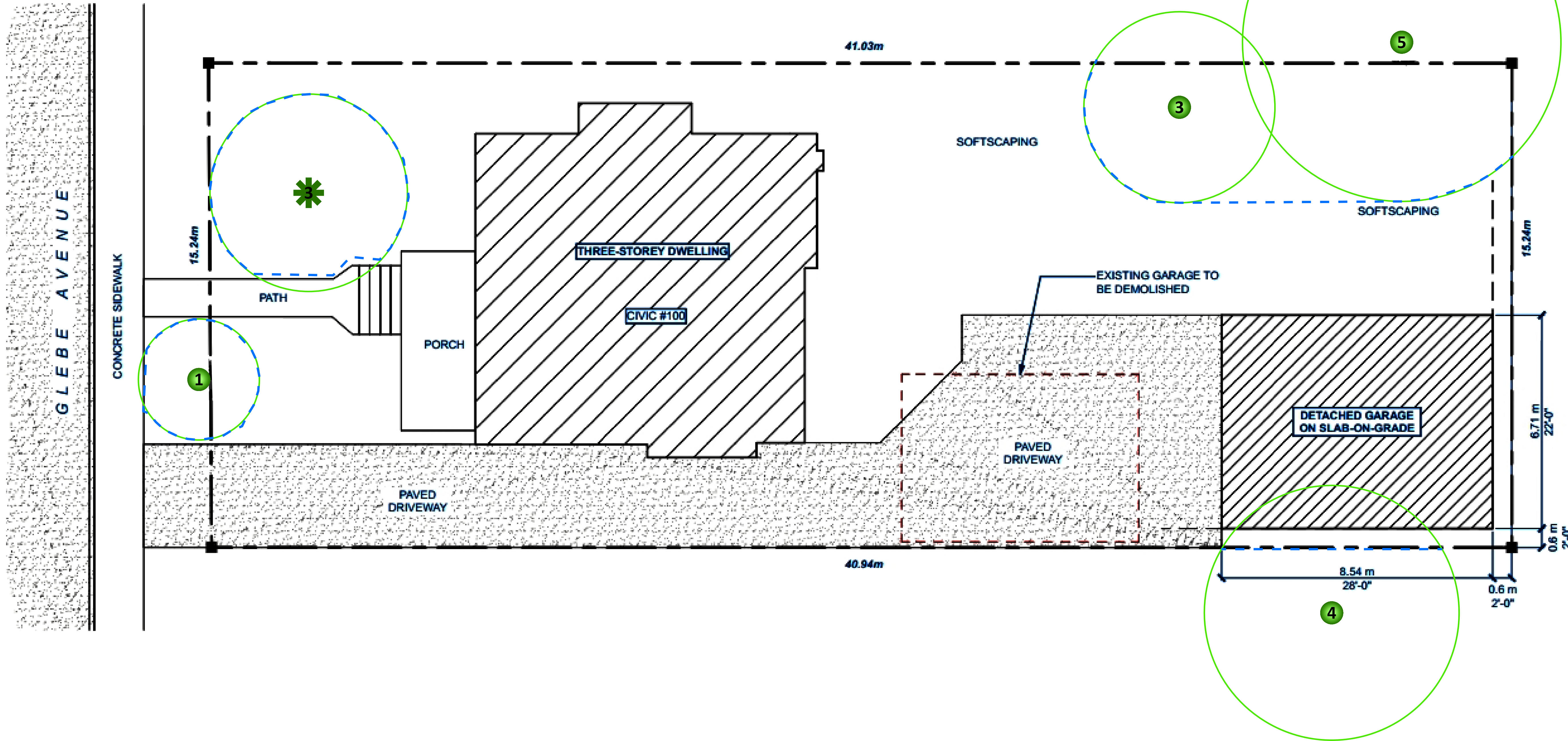
⁴Approximate distances only.

GENERAL NOTES

PLANS COMPLETED BY WALKER HOME DESIGN
(30/07/24)

LEGEND

- DECIDUOUS TREE TO REMAIN
- ✱ CONIFEROUS TREE TO REMAIN
- CRITICAL ROOT ZONE
- - - PROTECTIVE FENCING



DRAWING: Tree Information Plan

PROJECT: 100 GLEBE AVENUE
CITY OF OTTAWA



Andrew K. Boyd, R.P.F.

SCALE: 1:68
DATE: 2024-07-31
DRAWN BY: SS
SHEET NO.: 1

100G

Pictures 1 through 4 on pages 7 to 10 of this report show the distinctive trees on and adjacent to the subject property.

PROVINCIAL REGULATIONS

Certain provincial regulations are applicable to trees on private property. In particular, the Endangered Species Act – ESA (2007) mandates that tree species on the Species at Risk in Ontario (SARO) list be identified. Butternut (*Juglans cinerea*) and black ash (*Fraxinus nigra*) are present in Eastern Ontario and are listed as threatened on the SARO. Because of this both species are protected from harm. No trees of these species were found on or near the subject property.

TREE PRESERVATION MEASURES

Excavation for the new garage foundation will be within the CRZ of tree #4, the neighbouring white spruce. To help reduce the potential for tree decline due to root loss the following measures will be taken in relation to this tree:

1. Hydro or air knife excavation along the closest edge of excavation to carefully expose roots. Any roots will be cleanly cut and sealed before being reburied. Excavation can then resume using traditional mechanical means. Sealing the cleanly cut root ends with a beeswax product will help prevent the loss of moisture and facilitate healing.
2. If the excavation is to be left open for any time a covering of at least three layers of moistened burlap is to be draped over the exposed face of excavation closest to the trees. This will help reduce the loss of soil moisture.

TREE PROTECTION MEASURES

Protection measures intended to mitigate damage during construction will be applied to the trees to be preserved. The following measures are the minimum required by the City of Ottawa to ensure tree survival during and following construction:

1. Erect a fence as close as possible to the critical root zone (CRZ) of trees (City of Ottawa tree protection barrier detail included on page 6).
2. Do not place any material or equipment within the CRZ of the tree.
3. Do not attach any signs, notices or posters to any tree.
4. Do not raise or lower the existing grade within the CRZ without approval.
5. Tunnel or bore when digging within the CRZ of a tree.
6. Do not damage the root system, trunk or branches of any tree.
7. Ensure that exhaust fumes from all equipment are NOT directed towards any tree's crown.

REPLACEMENT TREE PLANTING OR COMPENSATION

As no trees are to be lost to the proposed construction, no replacement tree planting or compensation is required in this instance.

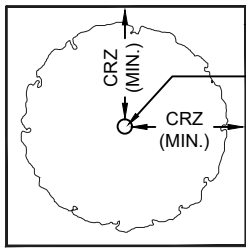
This report is subject to the attached Limitations of Tree Assessments and Liability to which the reader's attention is directed.

Please do not hesitate to contact me with any questions concerning this report.

Yours,

A handwritten signature in blue ink that reads "Andrew Boyd".

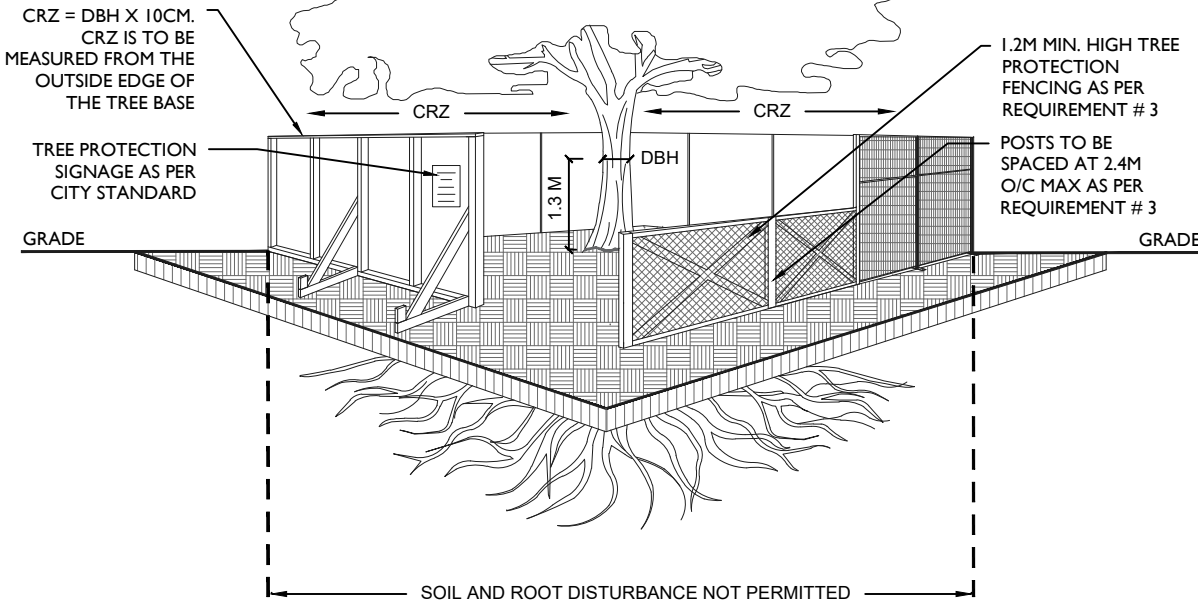
Andrew K. Boyd, B.Sc.F, R.P.F. (#1828)
Certified Arborist #ON-0496A and TRAQualified
Consulting Urban Forester



TREE PROTECTION FENCING

TREE TRUNK

PLAN VIEW



CRZ = DBH X 10CM.
CRZ IS TO BE MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE

TREE PROTECTION SIGNAGE AS PER CITY STANDARD

GRADE

SOIL AND ROOT DISTURBANCE NOT PERMITTED

1.2M MIN. HIGH TREE PROTECTION FENCING AS PER REQUIREMENT # 3

POSTS TO BE SPACED AT 2.4M O/C MAX AS PER REQUIREMENT # 3

DBH

1.3 M

GRADE

TREE PROTECTION REQUIREMENTS:

1. PRIOR TO ANY WORK ACTIVITY WITHIN THE CRITICAL ROOT ZONE (CRZ = 10 X DIAMETER) OF A TREE, TREE PROTECTION FENCING MUST BE INSTALLED SURROUNDING THE CRITICAL ROOT ZONE, AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETE.
2. UNLESS PLANS ARE APPROVED BY CITY FORESTRY STAFF, FOR WORK WITHIN THE CRZ:
 - DO NOT PLACE ANY MATERIAL OR EQUIPMENT - INCLUDING OUTHOUSES;
 - DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE;
 - DO NOT RAISE OR LOWER THE EXISTING GRADE;
 - TUNNEL OR BORE WHEN DIGGING;
 - DO NOT DAMAGE THE ROOT SYSTEM, TRUNK, OR BRANCHES OR ANY TREE;
 - ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARD ANY TREE CANOPY.
 - DO NOT EXTEND HARD SURFACE OR SIGNIFICANTLY CHANGE LANDSCAPING
3. TREE PROTECTION FENCING MUST BE AT LEAST 1.2M IN HEIGHT, AND CONSTRUCTED OF RIGID OR FRAMED MATERIALS (E.G. MODULOC - STEEL, PLYWOOD HOARDING, OR SNOW FENCE ON A 2"X4" WOOD FRAME) WITH POSTS 2.4M APART, SUCH THAT THE FENCE LOCATION CANNOT BE ALTERED. ALL SUPPORTS AND BRACING MUST BE PLACED OUTSIDE OF THE CRZ, AND INSTALLATION MUST MINIMISE DAMAGE TO EXISTING ROOTS. (SEE DETAIL)
4. THE LOCATION OF THE TREE PROTECTION FENCING MUST BE DETERMINED BY AN ARBORIST AND DETAILED ON ANY ASSOCIATED PLANS FOR THE SITE (E.G. TREE CONSERVATION REPORT, TREE INFORMATION REPORT, ETC). THE PLAN AND CONSTRUCTED FENCING MUST BE APPROVED BY CITY FORESTRY STAFF PRIOR TO THE COMMENCEMENT OF WORK.
5. IF THE FENCED TREE PROTECTION AREA MUST BE REDUCED TO FACILITATE CONSTRUCTION, MITIGATION MEASURES MUST BE PRESCRIBED BY AN ARBORIST AND APPROVED BY CITY FORESTRY STAFF. THESE MAY INCLUDE THE PLACEMENT OF PLYWOOD, WOOD CHIPS, OR STEEL PLATING OVER THE ROOTS FOR PROTECTION OR THE PROPER PRUNING AND CARE OF ROOTS WHERE ENCOUNTERED.

THE CITY'S TREE PROTECTION BY-LAW, 2020-340 PROTECTS BOTH CITY-OWNED TREES, CITY-WIDE, AND PRIVATELY-OWNED TREES WITHIN THE URBAN AREA. PLEASE REFER TO WWW.OTTAWA.CA/TREEBYLAW FOR MORE INFORMATION ON HOW THE TREE BY-LAW APPLIES.

ACCESSIBLE FORMATS AND COMMUNICATION SUPPORTS ARE AVAILABLE, UPON REQUEST



TREE PROTECTION SPECIFICATION

TO BE IMPLEMENTED FOR RETAINED TREES, BOTH ON SITE AND ON ADJACENT SITES, PRIOR TO ANY TREE REMOVAL OR SITE WORKS AND MAINTAINED FOR THE DURATION OF WORK ACTIVITIES ON SITE.

SCALE: NTS

DATE: MARCH 2021

DRAWING NO.: 1 of 1



Picture 1. Trees #1 and 2 (left to right), city hackberry and private Colorado spruce at 100 Glebe Avenue



Picture 2. Tree #3, private tree lilac at 100 Glebe Avenue (with apex of tree #5 in background)



Picture 3. Tree #4, neighbouring white spruce at 100 Glebe Avenue



Picture 4. Tree #5, neighbouring Norway maple at 100 Glebe Avenue

LIMITATIONS OF TREE ASSESSMENTS & LIABILITY

GENERAL

It is the policy of *IFS Inc.* to attach the following clause regarding limitations. We do this to ensure that our clients are clearly aware of what is technically and professionally realistic in assessing trees for retention.

This report was prepared by *IFS Inc.* at the request of the client. The information, interpretation and analysis expressed in this report are for the sole benefit and exclusive use of the client. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the client to whom it is addressed. Unless otherwise required by law, neither all or any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through public relations, news or other media, without the prior expressly written consent of the author, and especially as to value conclusions, identity of the author, or any reference to any professional society or institute or to any initialed designation conferred upon the author as stated in his qualifications.

This report and any values expressed herein represent the opinion of the author; his fee is in no way contingent upon the reporting of a specified value, a stipulated result, nor upon any finding to be reported.

Details obtained from photographs, sketches, *etc.*, are intended as visual aids and are not to scale. They should not be construed as engineering reports or surveys. Although every effort has been made to ensure that this assessment is reasonably accurate, the tree(s) should be reassessed at least annually. The assessment presented in this report is valid at the time of the inspection only. The loss or alteration of any part of this report invalidates the entire report.

LIMITATIONS

The information contained in this report covers only the tree(s) in question and no others. It reflects the condition of the assessed tree(s) at the time of inspection and was limited to a visual examination of the accessible portions only. *IFS Inc.* has prepared this report in a manner consistent with that level of care and skill ordinarily exercised by members of the forestry and arboricultural professions, subject to the time limits and physical constraints applicable to this report. The assessment of the tree(s) presented in this report has been made using accepted arboricultural techniques. These include a visual examination of the above-ground portions of each tree for structural defects, scars, cracks, cavities, external indications of decay such as fungal fruiting bodies, evidence of insect infestations, discoloured foliage, the condition of any visible root structures, the degree and direction of lean (if any), the general condition of the tree(s) and the surrounding site, and the proximity of people and property. Except where specifically noted in the report, the tree(s) examined were not dissected, cored, probed or climbed to gain further evidence of their structural condition. Also, unless otherwise noted, no detailed root collar examinations involving excavation were undertaken.

While reasonable efforts have been made to ensure that the tree(s) proposed for retention are healthy, no warranty or guarantee, expressed or implied, are offered that these trees, or any parts of them, will remain standing. This includes other trees on or off the property not examined as part of this assignment. It is both professionally and practically impossible to predict with

absolute certainty the behaviour of any single tree or groups of trees or their component parts in all circumstances, especially when within construction zones. Inevitably, a standing tree will always pose some risk. Most trees have the potential for failure in the event of root loss due to excavation and other construction-related impacts. This risk can only be eliminated through full tree removal.

Notwithstanding the recommendations and conclusions made in this report, it must be realized that trees are living organisms, and their health and vigour constantly change over time. They are not immune to changes in site conditions, or seasonal variations in the weather. It is a condition of this report that *IFS Inc.* be notified of any changes in tree condition and be provided an opportunity to review or revise the recommendations within this report. Recognition of changes to a tree's condition requires expertise and extensive experience. It is recommended that *IFS Inc.* be employed to re-inspect the tree(s) with sufficient frequency to detect if conditions have changed significantly.

ASSUMPTIONS

Statements made to *IFS Inc.* regarding the condition, history and location of the tree(s) are assumed to be correct. Unless indicated otherwise, all trees under investigation in this report are assumed to be on the client's property. A recent survey prepared by a Licensed Ontario Land Surveyor showing all relevant trees, both on and adjacent to the subject property, will be provided prior to the start of field work. The final version of the grading plan for the project will be provided prior to completion of the report. Any further changes to this plan invalidate the report on which it is based. *IFS Inc.* must be provided with the opportunity to revise the report in relation to any significant changes to the grading plan. The procurement of said survey and grading plan, and the costs associated with them both, are the responsibility of the client, not *IFS Inc.*

LIABILITY

Without limiting the foregoing, no liability is assumed by *IFS Inc.* for:

- 1) Any legal description provided with respect to the property.
- 2) Issues of title and/or ownership with respect to the property.
- 3) The accuracy of the property line locations or boundaries with respect to the property.
- 4) The accuracy of any other information provided by the client or third parties.
- 5) Any consequential loss, injury or damages suffered by the client or any third parties, including but not limited to replacement costs, loss of use, earnings and business interruption; and,
- 6) The unauthorized distribution of the report.

Further, under no circumstances may any claims be initiated or commenced by the client against *IFS Inc.* or any of its directors, officers, employees, contractors, agents or assessors, in contract or in tort, more than 12 months after the date of this report.

ONGOING SERVICES

IFS Inc. accepts no responsibility for the implementation of any or all parts of the report, unless specifically requested to supervise the implementation or examine the results of activities recommended herein. If examination or supervision is requested, that request shall be made in writing and the details, including fees, agreed to in advance.

NOTICE OF HEARING

Pursuant to the Ontario *Planning Act*

Consent Application

Panel 1

Wednesday, September 18, 2024
1 p.m.

Ben Franklin Place, Main Floor Chamber, 101 Centrepointe Drive
and by videoconference

Owners of neighbouring properties within 60 metres of the property address below are receiving this notice in case they want to comment on the application(s) and/or participate at the hearing.

The hearing can also be viewed on the Committee of Adjustment [YouTube](#) page.

Simultaneous interpretation in both official languages, accessible formats and communication supports are available for any specific agenda item by contacting the Committee of Adjustment at least 72 hours before the hearing.

File No.: D08-01-24/B-00146
Application: Consent under section 53 of the *Planning Act*
Applicant: Nilestone Group Ltd.
Property Address: 531 & 533 Broadhead Avenue
Ward: 15 - Kitchissippi
Legal Description: Lot 55, Registered Plan 364
Zoning: R3R
Zoning By-law: 2008-250

APPLICANT'S PROPOSAL / PURPOSE OF THE APPLICATION:

The Applicant wants to subdivide their property into two separate parcels of land to create separate ownership for each half of an existing semi-detached dwelling.

CONSENT IS REQUIRED FOR THE FOLLOWING:

The Applicant requires the Committee's consent for Conveyances. The property is shown as Parts 1 & 2 on the draft 4R-plan filed with the application and the separate parcels will be as follows:

The severed land shown as Part 1 on said plan will have a frontage of 6.31 metres, a depth of 51.17 metres and an area of 325.6 square metres. This lot is known municipally as 531 Broadhead Avenue.

The retained land shown as Part 2 on the draft 4R-pPlan, filed with the application. This lot will have a frontage of 6.4 metres, a depth of 51.21 metres, and an area of 324.1 square metres. This lot know municipality as 533 Broadhead Avenue.

The property is not the subject of any other current application under the *Planning Act*.

FIND OUT MORE ABOUT THE APPLICATION(S)

For more information about this matter, contact the Committee of Adjustment at the address, email address, website or QR code below.

Visit **[Ottawa.ca/CommitteeofAdjustment](https://ottawa.ca/CommitteeofAdjustment)** and follow the link to **Next hearings** to view panel agendas and application documents, including **proposal cover letters, plans, tree information, hearing notices, circulation maps, and City planning reports**. Written decisions are also published once issued and translated.

If you don't participate in the hearing, you won't receive any further notification of the proceedings.

If you want to be notified of the decision following the hearing, and of any subsequent appeal to the Ontario Land Tribunal, send a written request to the Committee.

HOW TO PARTICIPATE

Submit written or oral comments before the hearing: Email your comments to cofa@ottawa.ca at least 24 hours before the hearing to ensure they are received by the panel adjudicators. You may also call the Coordinator at 613-580-2436 to have your comments transcribed.

Register to Speak at the hearing at least 24 hours before by contacting the Committee Coordinator at 613-580-2436 or at cofa@ottawa.ca. You will receive details on how to participate by videoconference. If you want to share a visual presentation, the Coordinator can provide details on how to do so. Presentations are limited to five minutes, and any exceptions are at the discretion of the Chair.

Hearings are governed by the Committee of Adjustment's *Rules of Practice and Procedure* accessible online.

ALL SUBMITTED INFORMATION BECOMES PUBLIC

Be aware that, in accordance with the *Planning Act*, the *Municipal Act* and the *Municipal Freedom of Information and Privacy Act*, all information presented to the Committee of Adjustment is considered public information and can be shared with any interested individual. Information you choose to disclose in your correspondence and during the hearing, including your personal information, will become part of the public record, and shared with Committee Members, the Applicant(s) or their agent and any other interested individual, and potentially posted online and become searchable on the Internet.

COMMITTEE OF ADJUSTMENT

The Committee of Adjustment is the City of Ottawa's quasi-judicial tribunal created under the Ontario *Planning Act*. Each year, it holds hearings on hundreds of applications under the *Planning Act* in accordance with the Ontario *Statutory Powers Procedure Act*, including consent to sever land and minor variances from the zoning requirements.

DATED: August 30, 2024



Ce document est également offert en français.

Committee of Adjustment
 City of Ottawa
 101 Centrepointe Drive
 Ottawa ON K2G 5K7
Ottawa.ca/CommitteeofAdjustment
cofa@ottawa.ca
 613-580-2436



Comité de dérogation
 Ville d'Ottawa
 101, promenade Centrepointe
 Ottawa ON K2G 5K7
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cded@ottawa.ca
 613-580-2436

AVIS D'AUDIENCE

Conformément à la *Loi sur l'aménagement du territoire de l'Ontario*

Demande d'autorisation

Groupe 1

Mercredi 18 septembre 2024

13 h

Place-Ben-Franklin, salle Chamber, 101, promenade Centrepointe, et par vidéoconférence

Les propriétaires des biens-fonds situés dans un rayon de 60 mètres de l'adresse indiquée ci-dessous reçoivent le présent avis afin d'avoir la possibilité de formuler des observations sur la ou les demandes et de participer à l'audience s'ils le souhaitent.

L'audience pourra être visionnée sur la chaîne [YouTube](#) du Comité de dérogation.

Les participants pourront bénéficier d'une interprétation simultanée dans les deux langues officielles et de formats accessibles et d'aides à la communication pour toute question à l'ordre du jour s'ils en font la demande auprès du Comité au moins 72 heures à l'avance.

Dossier : D08-01-24/B-00146
Demande : Autorisation en vertu de l'article 53 de la *Loi sur l'aménagement du territoire*
Propriétaire/requérant : Nilestone Group Ltd.
Adresse de la propriété : 531 et 533, avenue Broadhead
Quartier : 15 – Kitchissippi
Description officielle : Lot 55, plan enregistré 364
Zonage : R3R
Règlement de zonage : 2008-250

PROPOSITION DU REQUÉRANT ET OBJET DE LA DEMANDE :

Le requérant souhaite lotir sa propriété en deux parcelles afin d'établir un titre de propriété distinct pour chaque moitié d'une habitation jumelée existante.

AUTORISATION REQUISE :

Le requérant sollicite l'autorisation du Comité en vue de cessions. La propriété est représentée par les parties 1 et 2 sur le plan 4R préliminaire qui accompagne la demande. Les parcelles distinctes sont décrites ci-après :

Le terrain morcelé est représenté par la partie 1 sur le plan 4R déposé avec la demande. Il aura une façade de 6,31 mètres, une profondeur de 51,17 mètres et une superficie de 325,6 mètres carrés. Ce lot porte pour adresse municipale le 531, avenue Broadhead.

Le terrain conservé est représenté par la partie 2 dudit plan. Il aura une façade de 6,4 mètres, une profondeur de 51,21 mètres et une superficie de 324,1 mètres carrés. Ce lot porte pour adresse municipale le 533, avenue Broadhead.

La propriété ne fait l'objet d'aucune autre demande en cours en vertu de la *Loi sur l'aménagement du territoire*.

POUR EN SAVOIR PLUS SUR LA DEMANDE

Pour obtenir plus de renseignements à ce sujet, communiquez avec le Comité de dérogation via l'adresse, le courriel, le site Web ou le code QR ci-dessous.

Visitez le site **Ottawa.ca/Comité de dérogation** et suivez le lien **Prochaines audiences** pour consulter l'ordre du jour du Comité et les documents relatifs aux demandes, y compris les **lettres d'accompagnement des propositions, les plans, l'information sur les arbres, les avis d'audience, les cartes de diffusion et les rapports d'urbanisme de la Ville**. Les décisions écrites sont également publiées une fois rendues et traduites.

Si vous ne participez pas à l'audience, vous ne recevrez pas d'autre avis à ce sujet.

Si vous souhaitez recevoir un avis de la décision prise à l'issue de l'audience et de tout appel ultérieur interjeté devant le Tribunal ontarien de l'aménagement du territoire, faites-en la demande par écrit au Comité.

COMMENT PARTICIPER

Présentez vos observations écrites ou orales avant l'audience : Veuillez faire parvenir vos observations par courriel à cded@ottawa.ca au moins 24 heures avant l'audience afin de vous assurer que les membres des groupes chargés du rendu des décisions les ont bien reçues. Vous pouvez également téléphoner au coordonnateur ou à la coordonnatrice au numéro 613-580-2436 pour demander que vos observations soient transcrites.

Inscrivez-vous au moins 24 heures à l'avance en communiquant avec le coordonnateur ou la coordonnatrice du Comité au numéro 613-580-2436 ou à l'adresse à cded@ottawa.ca. Vous recevrez des détails sur la façon de participer par vidéoconférence. Si vous souhaitez faire une présentation visuelle, le coordonnateur ou la coordonnatrice sera en mesure de vous fournir des détails sur la façon de procéder. Les présentations sont limitées à cinq minutes et toute exception est laissée à la discrétion du président ou de la présidente.

Les audiences sont régies par les *Règles de pratique et de procédure* du Comité de dérogation et sont accessibles en ligne.

TOUS LES RENSEIGNEMENTS PRÉSENTÉS DEVIENNENT PUBLICS

Sachez que, conformément à la Loi sur l'aménagement du territoire, à la *Loi sur les municipalités* et à la *Loi sur l'accès à l'information municipale et la protection de la vie privée*, les observations écrites adressées au Comité de dérogation sont considérées comme des renseignements publics et peuvent être communiquées à toute personne intéressée. Les renseignements que vous choisissez de divulguer dans votre correspondance, notamment vos renseignements personnels, seront versés au dossier public et communiqués aux membres du Comité, au(x) requérant(s) ou à l'agente ou agent, ainsi qu'à toute autre personne intéressée et pourront éventuellement être affichés en ligne et faire l'objet d'une recherche sur Internet.

COMITÉ DE DÉROGATION

Le Comité de dérogation est le tribunal quasi judiciaire de la Ville d'Ottawa créé en vertu de la *Loi sur l'aménagement du territoire* de l'Ontario. Chaque année, il tient des audiences sur des centaines de demandes en vertu de la *Loi sur l'aménagement du territoire*, conformément à la *Loi sur l'exercice des compétences légales* de l'Ontario, y compris des demandes d'autorisation de morcellement de terrain et de dérogation mineure aux exigences en matière de zonage.

FAIT le 30 août 2024



This document is also available in English.

Committee of Adjustment

City of Ottawa

101 Centrepointe Drive

Ottawa ON K2G 5K7

Ottawa.ca/CommitteeofAdjustment

cofa@ottawa.ca

613-580-2436



Comité de dérogation

Ville d'Ottawa

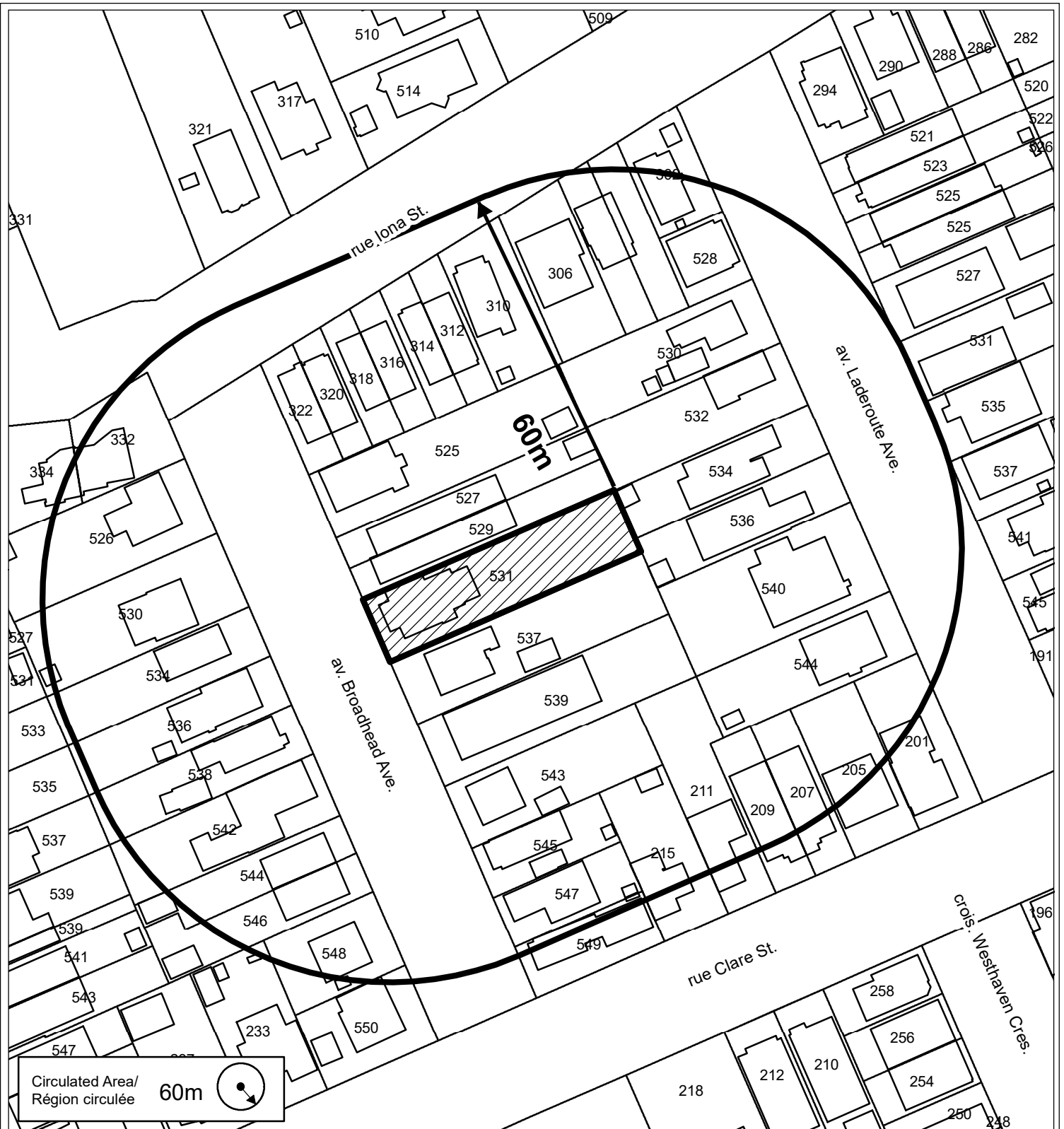
101, promenade Centrepointe


Ottawa ON K2G 5K7

Ottawa.ca/Comitedederogation

cded@ottawa.ca

613-580-2436



Circulated Area/
Région circulée 60m 

 **Committee of Adjustment**
Comité de dérogation

CIRCULATION MAP /
PLAN DE CIRCULATION

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SUBJECT LAND / TERRAIN EN QUESTION
531 av Broadhead Ave.



NOT TO SCALE
NON À L'ÉCHELLE

August 08, 2024

Committee of Adjustment
Centerpointe Drive
City of Ottawa

Re: **Application for Severance**
531 & 533 Broadhead Avenue
Ottawa, Ontario, K1Z5R9

Committee of Adjustment
Received | Reçu le

2024-08-08

City of Ottawa | Ville d'Ottawa
Comité de dérogation

Dear Sir/Madam,

We are applying for a consent to sever the existing semi-detached dwelling along the existing party wall to create two lots so each half of the semi can be conveyed separately. There is no requirements for any Minor Variance. A previous minor variance application was submitted to allow the construction of the semi-detached dwelling with attached garages in August 2023. This application was approved by the Committee of Adjustment. The construction of the semi-detached dwelling is now complete with occupancy granted in April 2024. See photos on the following pages taken May 24th, 2024 of the constructed semi-detached dwellings.

General

The property is in Ward 15, in the Westboro neighborhood. This is a mainly residential neighborhood situated west of Island Park Drive, north of Highway 417, west of Churchill Avenue North, and south of the Ottawa River. Broadhead Avenue is a small street running north/south between Iona to the north and St. Clare St. to the south. It is between Laderoute Ave on the east and Tweedsmur Ave. on the west, which are between the more major Kirkwood to the East and Churchill to the West. The immediate neighborhood is generally characterized by low-rise single- and semi-detached residential dwellings in a range and mix of ages, sizes and styles with soft landscaping or trees along the streetscape.

It is in an ideal location for a family to buy a semi-detached building. At the south end of Broadhead is a recreational path, and linear park below a hydro line, which provide access to Hampton Park Plaza and Hampton Park itself, and the cycling network on Kirkwood Avenue. It is close to Carling Avenue, the Queensway and is a 5-minute walk from Richmond Road, which has many shopping and other commercial facilities. Now that the project is completed, we are requesting a variance so separate families can own each property.

Zoning By law 2008-250

The attached Draft Plan identifies the parcels proposed for severance. Both properties meet all the criteria set out in the zoning by-laws including the min. lot width and area requirements. The attached current survey shows the recently built semidetached dwelling and illustrates the dimensions to the property lines which are all conforming to the requirements of the Zoning By-laws.

Planning Act

Section 53 (1) of the Planning Act indicates that ‘ an owner, chargee or purchaser of land, or such owner’s, chargee’s or purchaser’s agent duly authorized in writing, may apply for a consent as defined in subsection 50 (1) and the council or the Minister, as the case may be, may, subject to this section, give a consent if satisfied that a plan of subdivision of the land is not necessary for the proper and orderly development of the municipality. 2021, c. 25, Sched. 24, s. 4 (1).

Section 51 (24) of the Planning Act states that in considering the draft of a subdivision, the following factors will be considered:

(a) the effect of development of the proposed subdivision on matters of provincial interest as referred to in section 2; The proposed consent does not have any effect on matters of provincial interest. Furthermore, the application aligns with and supports the province's goals for intensification.

(b) whether the proposed subdivision is premature or in the public interest; The proposed consent is in the public interest. It supports the City's policies for intensification and an efficient use of residentially zoned land. The proposed severances are not premature as the dwelling has already been constructed. The site zoning and Official Plan designations permit semi-detached development and the severance of those lands to create two parcels, each which can be conveyed separately.

(c) whether the plan conforms to the official plan and adjacent plans of subdivision, if any; The proposed severance of the existing semi-detached residential development conforms to the applicable City of Ottawa Official Plan policies for development and intensification. The Official Plan supports intensification in the urban area, and the proposed severance adds additional units within the urban area that is appropriate and compatible with the neighborhood and can be conveyed separately and owned separately by different families. The proposed development is in an area that is accessible via personal or public transit and is within 600 m - 1200 m of daily amenities. The amenities include the Rideau Sports Centre, walking and cycling trails, grocery stores, retail stores, gas stations, the Vanier Community Centre, restaurants, and schools

(d) the suitability of the land for the purposes for which it is to be subdivided; The land is suitable for the purpose of the proposal. The surrounding area consists of single- and semi- detached dwellings. The proposed lots meet the requirements set out in the zoning by-law for lot area and lot width. The proposed lot severance will produce two lots that conform to the performance standards for R3R zoning.

(e) the number, width, location and proposed grades and elevations of highways, and the adequacy of them, and the highways linking the highways in the proposed subdivision with the established highway system in the vicinity and the adequacy of them; No new roadways are proposed as part of the consents. The proposed lots will have adequate frontage to an open public municipal roadway (Broadhead Street) and is in close proximity to north-south Kirkwood Avenue which provides connection to Highway 417 and Richmond Road to the north.

(f) the dimensions and shapes of the proposed lots;

The dimensions and rectangular shape of the proposed lots are functional and compatible with the surrounding neighborhood character and pattern of development and comply with the Zoning By-law requirements for lot area and lot width.

(g) the restrictions or proposed restrictions, if any, on the land proposed to be subdivided or the buildings and structures proposed to be erected on it and the restrictions, if any, on adjoining land; There are no known restrictions on the land or future buildings for either parcel of land.

(h) conservation of natural resources and flood control;

The existing landscaping complies with the provisions of the Zoning By-law. No water courses or flood plains impact the site. There are no environmental impacts to be noted.

(i) the adequacy of utilities and municipal services;

Municipal services (water, sewer) are available and provided for both lots.

(j) the adequacy of school sites;

Within the surrounding area there are several schools: Centre Jules Leger to the north, Churchill Alternative School to the east, Hilson Avenue Public School to the west, to the south is St. Elizabeth School.

The present site zoning permits only low-rise, single-detached, semi-detached, townhouse and rowhouse residential dwelling types and therefore the proposed consent is not subject to site plan control

City of Ottawa Official Plan

The Subject Site is in the Inner Urban Transect Policy Area and Designated as residential Neighbourhood in the City of Ottawa Official Plan (OP). A building permit issued in Sept 2023 validates that the two Storey, semi-detached residential building currently built conforms to the policies of 6.3 of the official plan. Occupancy Permit granted confirms the existing semidetached dwelling has been built according to all plans provided and approved by the city.

Section 2.2.1 - The proposed semi-detached dwellings provide 2 "family-sized" dwelling units, offering more housing choice for larger households within the urban area and smaller young professionals within a 15-minute neighborhood. The dwellings are near public amenities including parks, schools, commercial and retail uses which is an appropriate and desirable location for larger units.

Section 2.2.4 - The proposed severance of existing semi-detached dwellings allows for wider options of housing tenure with two dwelling units that can be conveyed independently. With the proximity to parks, commercial areas, and schools, the existing ground-oriented dwelling units contributes to the healthy communities' policy of the New Official Plan.

Section 3.2 - The severance of the existing semi-detached, ground-oriented dwellings is supported by the intensification policies and residential density targets of the New Official Plan.

Section 4.2.1 - the provision of multi-bedroom and family-sized units in the urban area is supported by the Official Plan policies. The proposed consent will facilitate these existing dwellings to be conveyed individually into lot sizes and shapes that are fully compliant with the City of Ottawa's zoning by-law. The severances represent a compatible form of development in the urban area.

Existing Property

The property is 50.13m at the north property line. The property is slightly irregular, the South side rear property line is 51.21m.

Proposal

The new property line will divide the property into two sides. Part 1 will have a 6.31m frontage and part 2 will have a 6.4m frontage.

The proposal is for one primary consent applications to the Committee (including JUMAs and partial mortgage discharge) which will result in the creation of two generally rectangular-shaped lots with angled front lot lines, each with frontage on Broadhead Ave. Each half of the existing newly constructed semi will be located on one parcel. The Owner's legal representation has confirmed that the Owners do not own any abutting lands to the subject site other than those that can be conveyed without contravening the Act. Separate certificates will be requested for each parcel.

Rationale

The severance is compatible with the surrounding land uses. Both sides of the severance meet the zoning requirements for a property. There are properties in the same zone, that have similar or smaller areas. The proposed severance of an existing semi-detached dwelling allows for the creation of two new residential dwelling units to be conveyed individually, contributing to provision of available housing supply. Each lot will be of size and shape that is appropriate and desirable for the context, while meeting zoning standards for lot width and area. The existing semi-detached dwelling is an appropriate size, massing and materiality for the surrounding context, and the severance of the lot is appropriate for the City's urban area. The dwellings are serviced by municipal water, sewer and storm services. The use of existing municipal roads and services is an appropriate and efficient use of resources. The proposed consents fit and function well within the urban area and comply with the Provincial Policy Statement.

Conclusion

The subject site is a rectangular lot with an angled front lot line in the Westboro neighborhood, municipally known as 531 & 533 Broadhead Ave and presently contains newly constructed semi-detached dwelling. The Owner is proposing to sever the existing dwelling into two parcels of land to be conveyed individually. No minor variances are

required to facilitate the consent, and both lots are fully zoning compliant. The proposed configuration and size of the lots is compatible, appropriate and desirable with the existing neighborhood context. Each lot is municipally serviced. The proposal offers a diversity of housing tenure which is supported within the urban area.

The proposed consent is consistent with the Provincial Policy Statement, 2020 conform to the policies of the City of Ottawa Official Plan and comply with the City of Ottawa's Zoning By-law 2008-250. The consent meets the criteria as set out in Section 51 (24) of the Planning Act, represents good land use planning.

If you wish additional information, do not hesitate to contact me.

Yours truly,

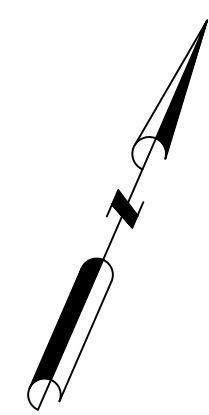
Hazem Abdelnaiem, P.Eng, M.Eng.
Nilestone Group Ltd.

Current Photo – Taken May 2024









Committee of Adjustment
Received | Reçu le
2024-08-08
City of Ottawa | Ville d'Ottawa
Comité de dérogation

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
DATE: _____
DANIEL ROBINSON
ONTARIO LAND SURVEYOR

PLAN 4R-
RECEIVED AND DEPOSITED
DATE: _____
REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
OTTAWA-CARLETON NO. 4.

SCHEDULE				
PART	LOT	PLAN	PIN	AREA (Sq.m.)
1	All of 55	364	ALL OF 04023-0079	325.6
2				324.1

PLAN OF SURVEY OF

LOT 55
REGISTERED PLAN 364
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2024
Scale 1: 100

Metric Note
Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note
Bearings are grid, are referred to the Easterly limit of Broadhead Avenue having a bearing of N 23° 17' 20" W as shown on a Plan 4R-33507 and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

CO-ORDINATES WERE DERIVED FROM CAN-NET REAL TIME NETWORK OBSERVATIONS, MTM ZONE 9, N.A.D. 1983 (ORIGINAL).		
POINT ID	NORTHING	EASTING
(A)	5027978.56	363846.64
(B)	5027955.21	363856.70
01919680005	5027191.26	361496.76
01919680105	5024915.16	373971.65

CO-ORDINATES ARE MTM ZONE 9, N.A.D. 1983 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

- Notes & Legend
- Denotes Survey Monument Planted
 - Survey Monument Found
 - SIB Standard Iron Bar
 - SSIB Short Standard Iron Bar
 - IB Iron Bar
 - (Wit) Witness
 - Meas Measured
 - (P1) Registered Plan 364
 - (P2) Plan by (1692) dated August 6, 2020 (File No. 262-20)
 - (P3) Plan by (1692) dated June 27, 2023 (File No. 193-23)
 - (P4) Plan by (1692) dated November 29, 2023 (File No. 355-23)
 - OHV Overhead Wires
 - OP Utility Pole
 - CLF Chain Link Fence
 - BF Board Fence
 - C/L Centreline
 - N/S North/South
 - E/W East/West
 - Property Line

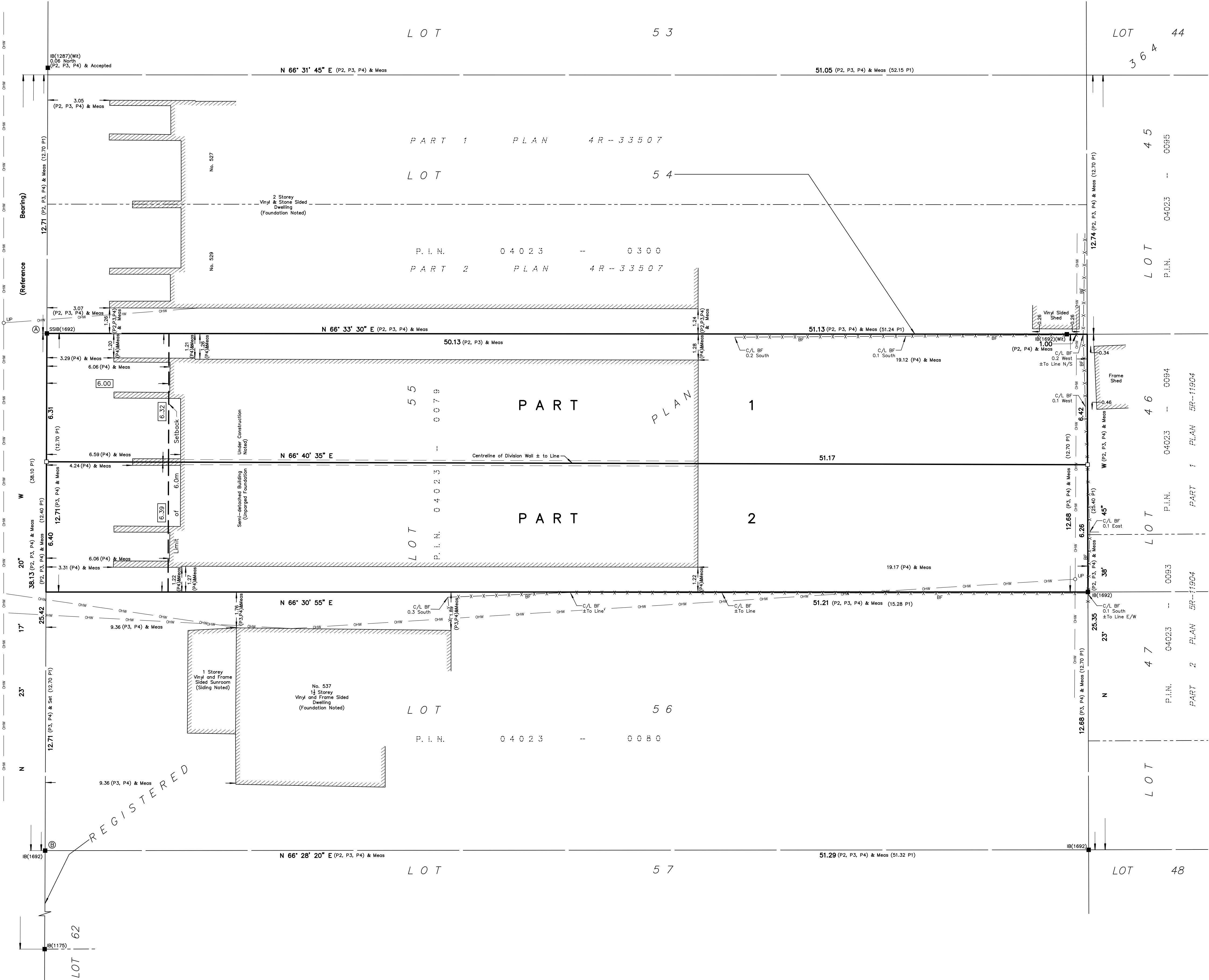
Surveyor's Certificate

I certify that:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveys Act and the Land Titles Act and the Regulations made under them.
2. The survey was completed on the ___ day of _____, 2024.

Date _____ Daniel Robinson
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-XXXXX

BROADHEAD AVENUE
REGISTERED PLAN 234



FARLEY, SMITH & DENIS SURVEYING LTD.
ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS
Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
TEL: (613) 727-8226 E-mail: fsdsurveys@bellnet.ca

Emondage Patrick Perron
Phone: 819-209-5553
Email: emondagepp@gmail.com

Committee of Adjustment
Received | Reçu le
2024-08-08
City of Ottawa | Ville d'Ottawa
Comité de dérogation

Tree Information Report R1

**This document is presented in the language it was provided.
Ce document est présenté dans la langue dans laquelle il a été fourni.**

Submitted as part of the Building Permit Application for the City of Ottawa.

Site Address: 531/533 Broadhead Ave, Ottawa, Ontario, K1Z5R9

Sept 8, 2023

Prepared for: Nilestone Construction Ltd.

Prepared by: Patrick Perron, ISA Certified Arborist (QC- **0180A**)

Tree Information:

Below is the inventory of all Trees, Distinctive Trees (as per City of Ottawa Tree Protection Bylaw), city owned trees and neighbouring trees which have critical root zones extending into the property; at the above-mentioned property.

Tree #	Species	DBH (cm)	Ownership	Condition	Action	Recommendation
1	White Spruce (Picea Glauca)	64 cm	Private	Fair, insect problems, dead wood	Retain	Retain Tree, Site protection fencing to be placed. Limit Excavation limits to 3 meters from the tree center towards the new development. Expose roots for pruning and wet burlap to cover exposed tree roots. Pre-construction pruning to occur to avoid conflict with construction and excavation equipment.

***no other trees are on the property. No CRZ of any protected trees on the neighboring property are within the identified excavation limits.**

This report has been completed by Patrick Perron, ISA Certified Arborist (QC-**0180A**)

Tree #1

NOTICE OF HEARING

Pursuant to the Ontario *Planning Act*

Minor Variance Application

Panel 1

Wednesday, September 18, 2024

1 p.m.

Ben Franklin Place, Main Floor Chamber, 101 Centrepointe Drive
and by videoconference

Owners of neighbouring properties within 60 metres of the property address below are receiving this notice in case they want to comment on the application(s) and/or participate at the hearing.

The hearing can also be viewed on the Committee of Adjustment [YouTube](#) page.

Simultaneous interpretation in both official languages, accessible formats and communication supports are available for any specific agenda item by contacting the Committee of Adjustment at least 72 hours before the hearing.

File No.: D08-02-24/A-00167
Application: Minor Variance under section 45 of the *Planning Act*
Applicant: Billy Triantafilos
Property Address: 946 Colonel By Drive
Ward: 17 - Capital
Legal Description: Part of Lot 2, Registered Plan 189366
Zoning: R3Q [2118] H(9)
Zoning By-law: 2008-250

APPLICANT'S PROPOSAL / PURPOSE OF THE APPLICATION:

The Applicant wants to construct an addition on top of the existing three storey dwelling. The addition would provide access to a front and rear roof top terrace, as shown on plans filed with the Committee.

REQUESTED VARIANCES:

The Applicant requires the Committee's authorization for minor variances from the Zoning By-law as follows:

- a) To permit an increased building height of 11.74 metres, whereas the Zoning By-law permits a maximum building height of 9 metres.
- b) To permit a rooftop patio not located on the roof of the uppermost storey, whereas the Zoning Bylaw prohibits rooftop patios and decks on this property.

The subject property is not the subject of any other current application under the *Planning Act*.

FIND OUT MORE ABOUT THE APPLICATION(S)

For more information about this matter, contact the Committee of Adjustment at the address, email address, website or QR code below.

Visit **[Ottawa.ca/CommitteeofAdjustment](https://ottawa.ca/CommitteeofAdjustment)** and follow the link to **Next hearings** to view panel agendas and application documents, including **proposal cover letters, plans, tree information, hearing notices, circulation maps, and City planning reports**. Written decisions are also published once issued and translated.

If you don't participate in the hearing, you won't receive any further notification of the proceedings.

If you want to be notified of the decision following the hearing, and of any subsequent appeal to the Ontario Land Tribunal, send a written request to the Committee.

HOW TO PARTICIPATE

Submit written or oral comments before the hearing: Email your comments to cofa@ottawa.ca at least 24 hours before the hearing to ensure they are received by the panel adjudicators. You may also call the Coordinator at 613-580-2436 to have your comments transcribed.

Register to Speak at the hearing at least 24 hours before by contacting the Committee Coordinator at 613-580-2436 or at cofa@ottawa.ca. You will receive details on how to participate by videoconference. If you want to share a visual presentation, the Coordinator can provide details on how to do so. Presentations are limited to five minutes, and any exceptions are at the discretion of the Chair.

Hearings are governed by the Committee of Adjustment's *Rules of Practice and Procedure* accessible online.

ALL SUBMITTED INFORMATION BECOMES PUBLIC

Be aware that, in accordance with the *Planning Act*, the *Municipal Act* and the *Municipal Freedom of Information and Privacy Act*, all information presented to the Committee of Adjustment is considered public information and can be shared with any interested individual. Information you choose to disclose in your correspondence and during the hearing, including your personal information, will become part of the public record, and

shared with Committee Members, the Applicant(s) or their agent and any other interested individual, and potentially posted online and become searchable on the Internet.

COMMITTEE OF ADJUSTMENT

The Committee of Adjustment is the City of Ottawa's quasi-judicial tribunal created under the Ontario *Planning Act*. Each year, it holds hearings on hundreds of applications under the *Planning Act* in accordance with the Ontario *Statutory Powers Procedure Act*, including consent to sever land and minor variances from the zoning requirements.

DATED: August 30, 2024



Ce document est également offert en français.

Committee of Adjustment
City of Ottawa
101 Centrepointe Drive
Ottawa ON K2G 5K7
[Ottawa.ca/CommitteeofAdjustment](https://ottawa.ca/CommitteeofAdjustment)
cofa@ottawa.ca
613-580-2436



Comité de dérogation
Ville d'Ottawa
101, promenade Centrepointe
Ottawa ON K2G 5K7
[Ottawa.ca/Comitedederogation](https://ottawa.ca/Comitedederogation)
cded@ottawa.ca
613-580-2436

AVIS D'AUDIENCE

Conformément à la *Loi sur l'aménagement du territoire* de l'Ontario

Demande de dérogations mineures

Groupe 1
Mercredi 18 septembre 2024
13 h

**Place-Ben-Franklin, salle Chamber, 101, promenade Centrepointe
et par vidéoconférence**

Les propriétaires des biens-fonds situés dans un rayon de 60 mètres de l'adresse ci-dessous reçoivent le présent avis afin de formuler des observations sur la ou les demandes et de participer à l'audience s'ils le souhaitent.

L'audience peut aussi être visionnée sur la page [YouTube](#) du Comité de dérogation.

Les participants peuvent bénéficier de l'interprétation simultanée dans les deux langues officielles, de formats accessibles et d'aides à la communication pour toute question de l'ordre du jour en s'adressant au Comité de dérogation au moins 72 heures à l'avance.

Dossier : D08-02-24/A-00167
Demande : Dérogations mineures en vertu de l'article 45 de la *Loi sur l'aménagement du territoire*
Requérant : Billy Triantafilos
Adresse municipale : 946, promenade Colonel-By
Quartier : 17 - Capitale
Description officielle : Partie du lot 2, plan enregistré 189366
Zonage : R3Q [2118] H(9)
Règlement de zonage : n° 2008-250

PROPOSITION DU REQUÉRANT ET OBJET DE LA DEMANDE :

Le requérant souhaite construire un rajout sur l'habitation existante de trois étages. Le rajout donnerait accès à une terrasse sur le toit à l'avant et à l'arrière, conformément aux plans déposés auprès du Comité.

DÉROGATIONS DEMANDÉES :

Le requérant demande au Comité d'accorder les dérogations mineures au Règlement de zonage décrites ci-après :

- a) Permettre l'augmentation de la hauteur de bâtiment à 11,74 mètres, alors que le Règlement permet une hauteur maximale de 9 mètres.
- b) Permettre une terrasse sur toit non située sur le toit de l'étage le plus élevé, alors que le Règlement interdit toute terrasse sur toit sur cette propriété.

La demande indique que la propriété ne fait l'objet d'aucune autre demande en cours en vertu de la *Loi sur l'aménagement du territoire*.

POUR EN SAVOIR PLUS SUR LA DEMANDE

Pour obtenir plus de renseignements à ce sujet, communiquez avec le Comité de dérogation via l'adresse, le courriel, le site Web ou le code QR ci-dessous.

Visitez le site **Ottawa.ca/Comité de dérogation** et suivez le lien **Prochaines audiences** pour consulter l'ordre du jour du Comité et les documents relatifs aux demandes, y compris **les lettres d'accompagnement des propositions, les plans, l'information sur les arbres, les avis d'audience, les cartes de diffusion et les rapports d'urbanisme de la Ville**. Les décisions écrites sont également publiées une fois rendues et traduites.

Si vous ne participez pas à l'audience, vous ne recevrez pas d'autre avis à ce sujet.

Si vous souhaitez recevoir un avis de la décision prise à l'issue de l'audience et de tout appel ultérieur interjeté devant le Tribunal ontarien de l'aménagement du territoire, faites-en la demande par écrit au Comité.

COMMENT PARTICIPER

Présentez vos observations écrites ou orales avant l'audience : Veuillez faire parvenir vos observations par courriel à cded@ottawa.ca au moins 24 heures avant l'audience afin de vous assurer que les membres des groupes chargés du rendu des décisions les ont bien reçues. Vous pouvez également téléphoner au coordonnateur ou à la coordonnatrice au numéro 613-580-2436 pour demander que vos observations soient transcrites.

Inscrivez-vous au moins 24 heures à l'avance en communiquant avec le coordonnateur ou la coordonnatrice du Comité au numéro 613-580-2436 ou à l'adresse à cded@ottawa.ca. Vous recevrez des détails sur la façon de participer par vidéoconférence. Si vous souhaitez faire une présentation visuelle, le coordonnateur ou la coordonnatrice sera en mesure de vous fournir des détails sur la façon de procéder. Les présentations sont limitées à cinq minutes et toute exception est laissée à la discrétion du président ou de la présidente.

Les audiences sont régies par les *Règles de pratique et de procédure* du Comité de dérogation et sont accessibles en ligne.

TOUS LES RENSEIGNEMENTS PRÉSENTÉS DEVIENNENT PUBLICS

Sachez que, conformément à la *Loi sur l'aménagement du territoire*, à la *Loi sur les municipalités* et à la *Loi sur l'accès à l'information municipale et la protection de la vie privée*, les observations écrites adressées au Comité de dérogation sont considérées comme des renseignements publics et peuvent être communiquées à toute personne intéressée. Les renseignements que vous choisissez de divulguer dans votre correspondance, notamment vos renseignements personnels, seront versés au dossier public et communiqués aux membres du Comité, au(x) requérant(s) ou à l'agent, l'agente, ainsi qu'à toute autre personne intéressée et pourront éventuellement être affichés en ligne et faire l'objet d'une recherche sur Internet.

COMITÉ DE DÉROGATION

Le Comité de dérogation est le tribunal quasi judiciaire de la Ville d'Ottawa créé en vertu de la *Loi sur l'aménagement du territoire* de l'Ontario. Chaque année, il tient des audiences sur des centaines de demandes en vertu de la *Loi sur l'aménagement du territoire*, conformément à la *Loi sur l'exercice des compétences légales* de l'Ontario, y compris des demandes d'autorisation de morcellement de terrain et de dérogation mineure aux exigences en matière de zonage.

FAIT : 30 août 2024



This document is also available in English.

Committee of Adjustment

City of Ottawa
101 Centrepointe Drive
Ottawa ON K2G 5K7

[Ottawa.ca/CommitteeofAdjustment](https://ottawa.ca/CommitteeofAdjustment)

cofa@ottawa.ca

613-580-2436



Comité de dérogation

Ville d'Ottawa
101, promenade Centrepointe
Ottawa ON K2G 5K7

[Ottawa.ca/Comitedederogation](https://ottawa.ca/Comitedederogation)

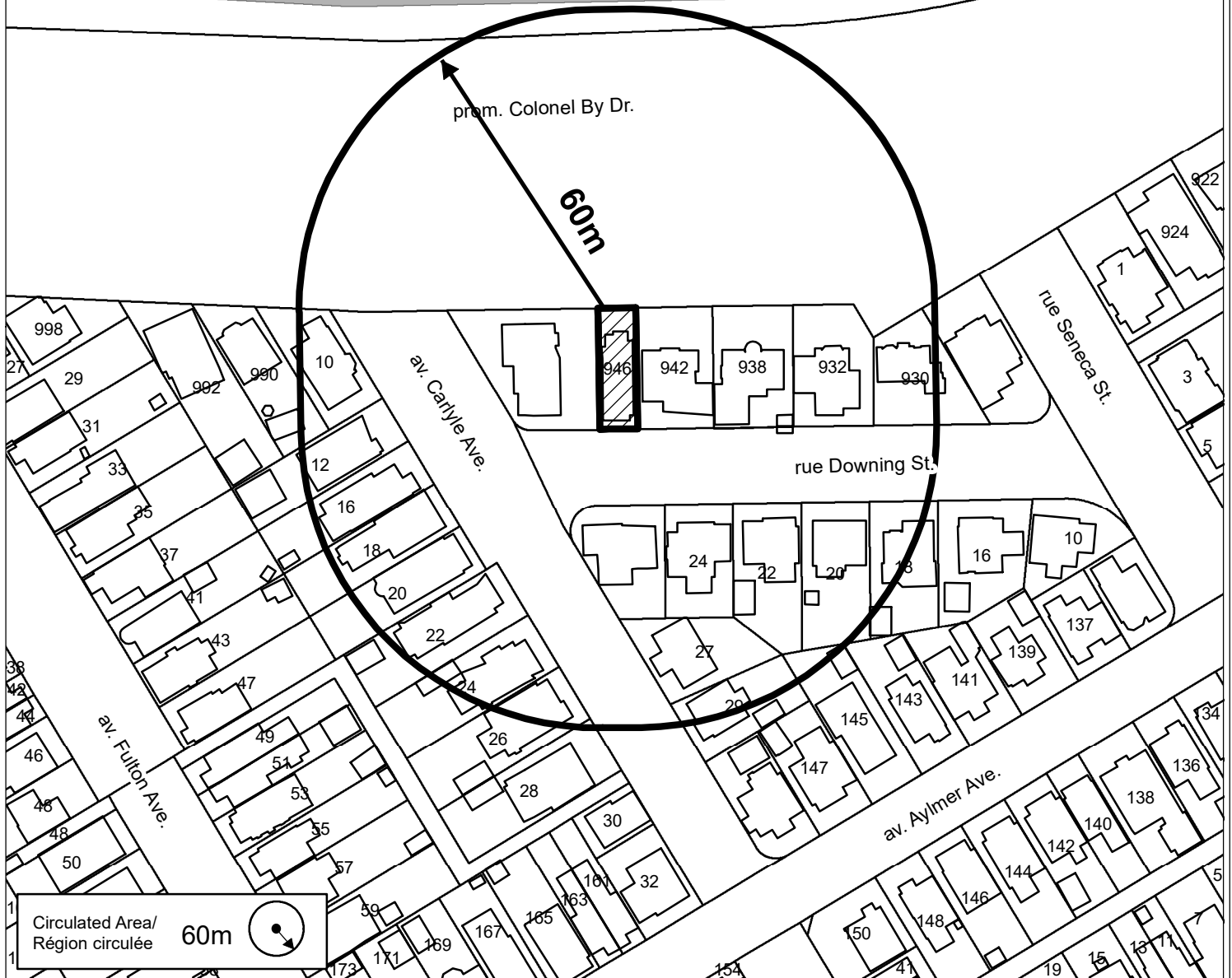
cded@ottawa.ca

613-580-2436

prom. Queen Elizabeth Drwy.

prom. Colonel By Dr.

60m



Circulated Area/
Région circulée

60m



Committee of Adjustment
Comité de dérogation

CIRCULATION MAP /
PLAN DE CIRCULATION



SUBJECT LAND / TERRAIN EN QUESTION

946 prom. Colonel By Drive

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NOT TO SCALE
NON À L'ÉCHELLE

August 6, 2024

Mr. Michel Bellemare
Secretary-Treasurer
Committee of Adjustment
101 Centrepointe Drive, Fourth Floor
Ottawa, ON K2G 5K7

**RE: Application for Minor Variance
946 Colonel By Drive, Ottawa**

Committee of Adjustment
Received | Reçu le

2024-08-12

City of Ottawa | Ville d'Ottawa
Comité de dérogation

Dear Mr. Bellemare,

Fotenn Planning + Design (Fotenn) has been retained by Billy Triantafilos (the "Owner") to prepare a Planning Rationale in support of a Minor Variance application at 946 Colonel By Drive, Ottawa (the "subject property"). The Minor Variance application is required to permit a partial fourth floor addition and adjacent front and rear terraces all of which do not meet the zoning performance standards, as outlined in the site-specific exception and height limit of the City of Ottawa Zoning By-law.

The specific relief requested is as follows:

- / To permit an increased building height of 11.74 metres, whereas the Zoning Bylaw permits a maximum building height of 9 metres.
- / To permit a rooftop patio or deck, whereas the Zoning By-law prohibits rooftop patio and decks on this property.

This Rationale follows complete application materials previously provided and updated by Barry Hobin Architects.

Sincerely,



Brian Casagrande, MCIP RPP
Partner

Ottawa
396 Cooper Street, Suite 300
Ottawa, ON K2P 2H7
613.730.5709

Kingston
The Woolen Mill
4 Cataraqui Street, Suite 315
Kingston, ON K7K 1Z7
613.542.5454

Toronto
174 Spadina Avenue, Suite 304
Toronto, ON M5T 2C2
416.789.4530

fotenn.com

1.0 Introduction

Fotenn Planning & Design, acting as agents on behalf of the owner, are pleased to submit this Planning Rationale in support of the active Minor Variance application for the lands located at 946 Colonel By Drive in the City of Ottawa.

2.0 Site and Surrounding Context

2.1 Subject Property

The subject property is a through lot located in the Old Ottawa South neighbourhood with frontage onto Colonel By Drive and frontage and vehicular access from Downing Street. The existing 3-storey detached dwelling was constructed in 2016. It does not presently benefit from any roof top access.

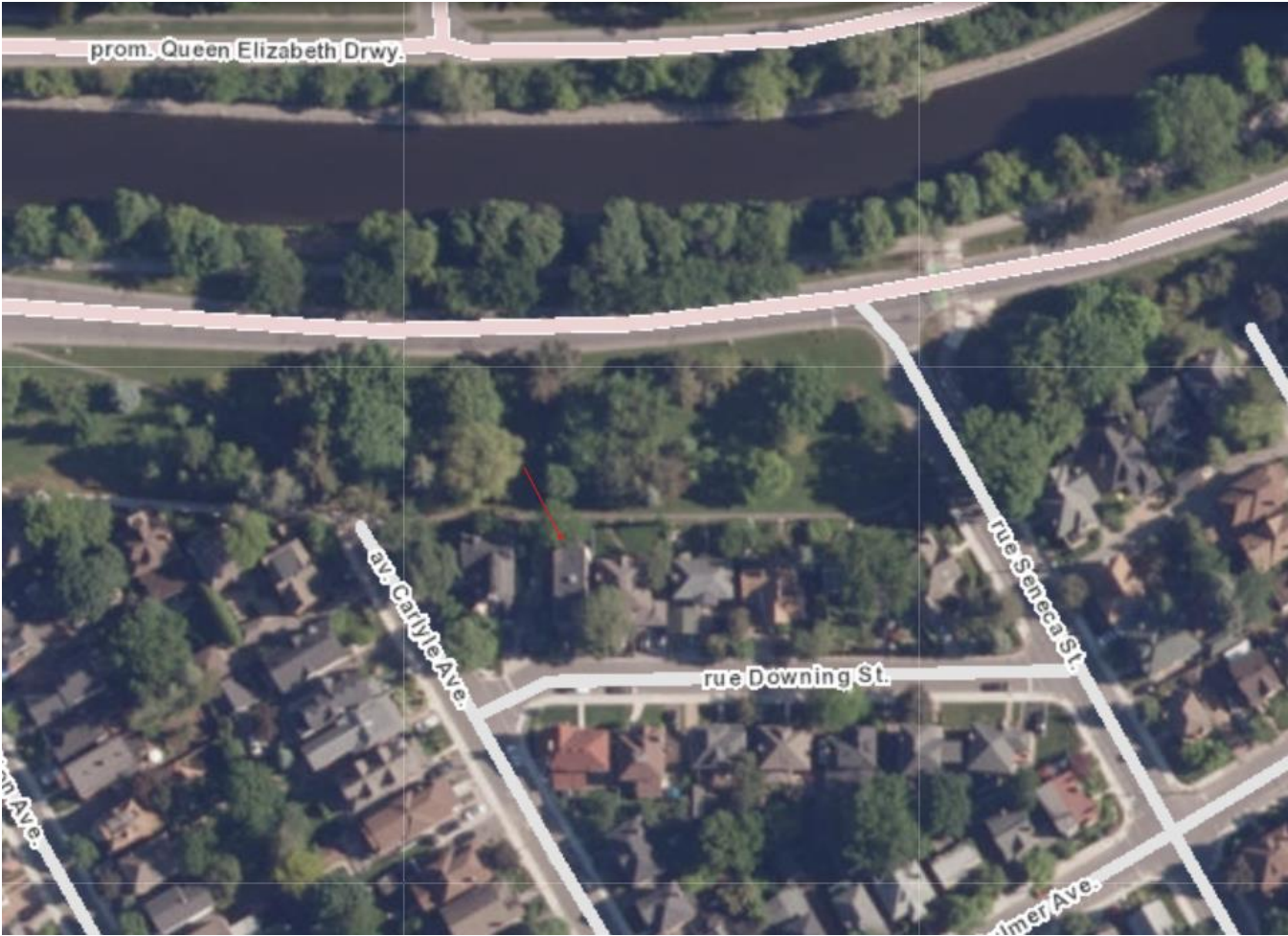


Figure 1: Aerial image of the subject property and surrounding area.



Figure 2: Street view of the subject lands in 2019, looking north from Downing.



Figure 3: Birds Eye view of the Subject Lands in 2024, looking south from Colonel By Drive



Figure 4: Street view of the Subject Lands in 2024, looking south from Colonel By Drive

2.2 Surrounding Area

The subject property is located within a block of single-detached residences that are bound by Downing Street to the south, Carlyle Avenue to the west and Seneca Street to the east. Vehicular access to this block of houses occurs from the aforementioned streets. The same block is bound to the north by a pedestrian pathway that runs east west parallel to Colonel By Drive. Between the pathway and Colonel By Drive there is an open space area that is approximately 34 metres wide where several mature trees exist. As illustrated in figures 3 and 4, the tree canopy in this open space significantly limits views of the buildings on these properties.

The remaining dwellings in the surrounding area are all single detached dwellings that range in height from 2-3 storeys. As identified in Figures 5 and 6, roof terraces exist on the house the west of the subject lands at 9 Carlyle and across the street to the south at 22 Downing. Roof terraces can also be observed at 894, 900, 910, 992 Colonel By Drive.

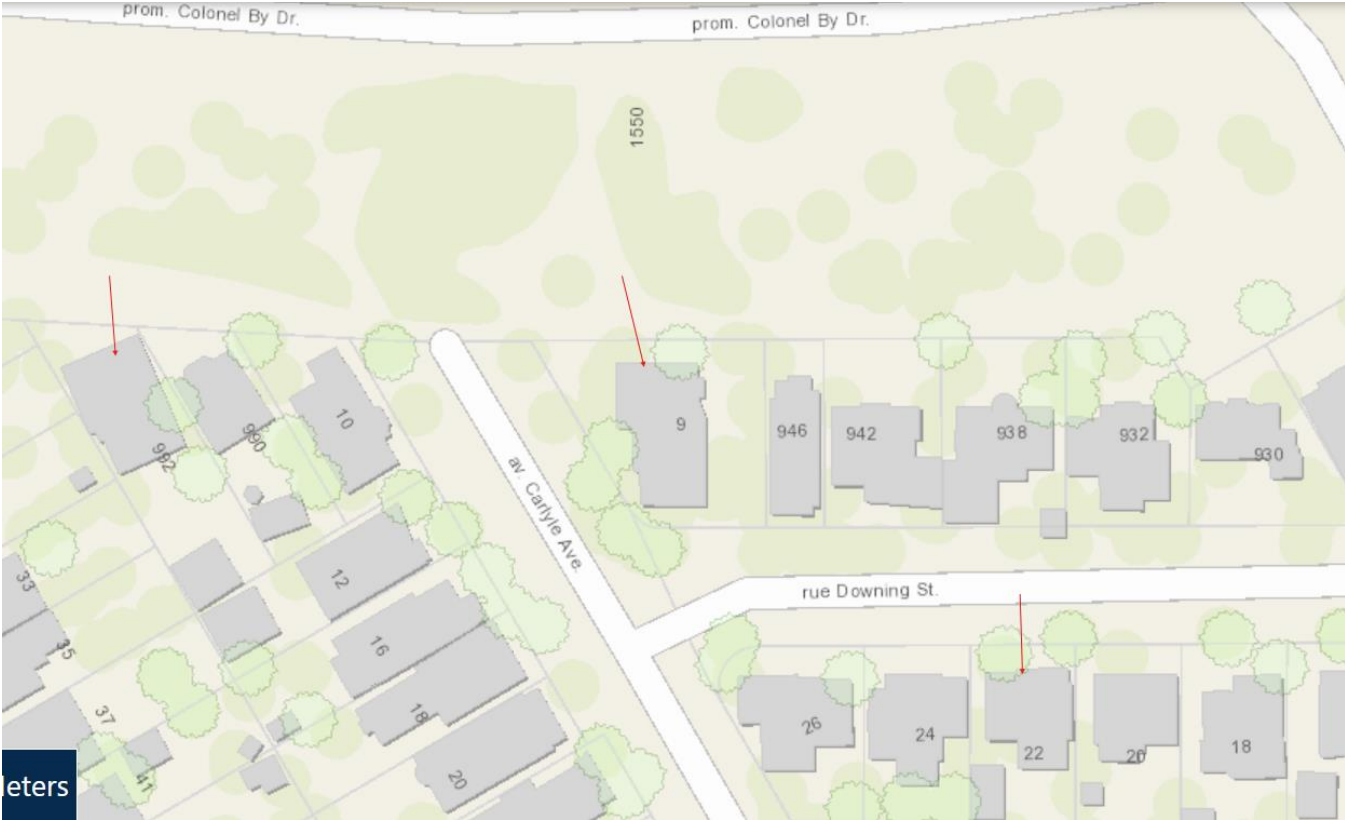


Figure 5: Image showing houses in the immediate vicinity with roof terraces



Figure 6: Image showing houses further east facing Colonel By with roof terraces

3.0 Four Tests of a Minor Variance

As per section 45(1) of the *Planning Act*, it is our professional opinion that the proposed development represents good planning and meets the four (4) tests as discussed below.

3.1 Do the Minor Variances Maintain the General Intent a Purpose of the Official Plan

As identified on Schedule B2 of the Ottawa Official Plan (Figure 7), the subject property is located in the Urban Transect and designated Rideau Canal Special District. The intent of this district is to conserve its cultural heritage landscape while encouraging new sensitive opportunities for animation that enhance experiences for residents and tourists. Policy 6.6.1 of the Official Plan requires adherence to sections 4.5 and 4.6 of the Official Plan. Section 4.5 deals predominantly with considerations for heritage however, the policies would not specifically apply to the subject or abutting lands. Section 4.6 offers design and built form transition policies that generally apply to mid and high rise development which is not proposed in this case. With respect to the first row of properties adjacent to the Rideau Canal, the intent is that new development respect and reinforce the existing physical character. Policy 6.6.2.1 (4) (a) is the most applicable to the subject lands and states that where properties are within or on the edge of established Low-rise residential areas, development will be subject to all of the following:

- i) Development will respect the existing patterns of building footprints, height, massing, scale, setback and landscape character within the associated streetscape. The associated streetscape will be determined by the existing low-rise properties on one, or if applicable, both sides of the same street, on the same block as the subject property;
- ii) In order to be consistent with nearby low-rise residential development, anticipated Secondary Plan process for the area as references in Subsection 6.6.3, Policy 1) will consider if Site Plan Control By-Law may extend within the Rideau Canal Special District; and
- iii) Carefully consider the visual relationship between the site and the Canal, including the adjacent or nearby federal parkways and the preservation of mature trees by ensuring the continuity of the existing landscape patterns, orientation of buildings and preserving views to and from the Canal;

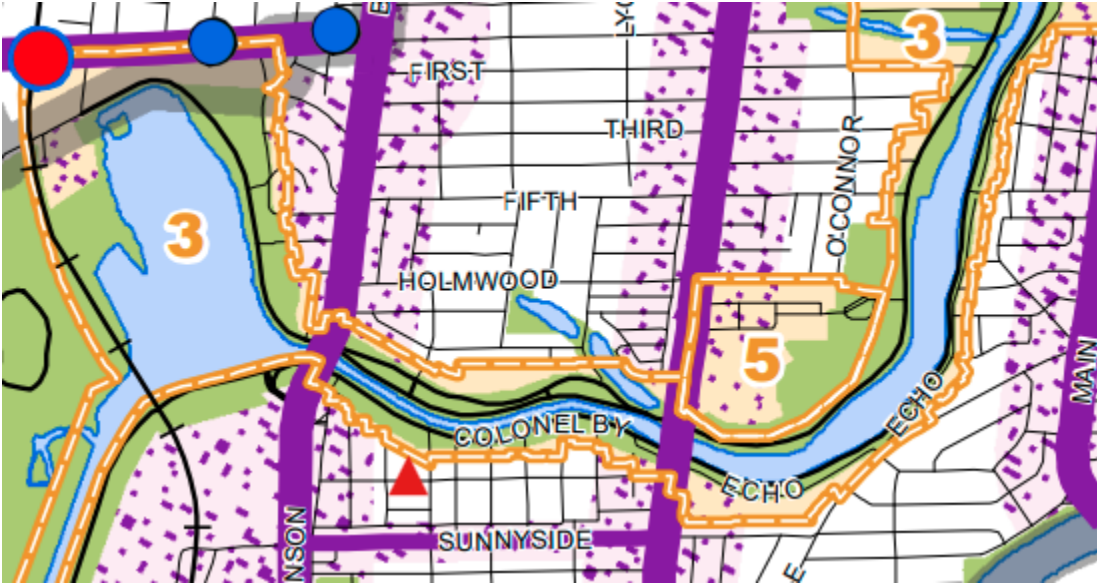


Figure 7: Subject lands at the north point of the red triangle on Schedule B2 – Inner Urban Transect, City of Ottawa Official Plan.

Relative to sub policy “i” above, the proposed variances will facilitate the addition of a partial fourth storey on the subject building that has been designed to be very minimal in size with setbacks of 4.95 m

and 5.06 m from the front and rear building facades respectively and 1.3 m from the sides of the building. Further the height of the addition has been reduced compared to the lower floors such that it is 2.74 m high. Similarly the terraces that are proposed in the front and rear of the building are designed to meet all the standard setback provisions of the Zoning By-law. As a result, these elements that are the subject of the two variances, when situated within the context of extensive mature tree canopy surrounding the subject lands will not easily be perceived within the surrounding context; especially from Colonel By and the Rideau Canal where the setback is 2.2 m from the front building face. Importantly, the subject and abutting lands have site specific zoning (discussed later in this report) that was established within a legislative and policy framework that has since changed. As a result, relative to the aforementioned policy related to respecting existing patterns of building footprints, height, massing, scale, the proposed addition is contained well within its existing footprint and the height, mass, and scale will not only be difficult to discern relative to the surrounding context, that context is planned to evolve based on the policy direction of the Official Plan as demonstrated by the first draft of the City's Zoning By-law that would permit a future built form that is illustrated in its full built potential below.

Relative to the other sub policies noted above, there is no Secondary Plan that has been created for the subject area and the extensive mature landscaping that existing between the subject lands and the canal are being maintained while the building and its addition are oriented to the canal and designed to enhance views in both directions where the vegetation will allow for such views.

Finally, it is important to note that the proposed addition on the subject lands aligns with several important core principles of the Official Plan that promote intensification in the interest of creating and enhancing 15 minute neighbourhoods. In the case of the subject property, the modest sized addition is intended to accommodate the needs of the existing family which has grown since the original building was constructed.

Based on the above discussion, it is my professional opinion that the minor variances conform with the General Intent and Purpose of the Official Plan.

3.2 Do the Minor Variances Maintain the General Intent and Purpose of the Zoning By-law?

The subject property is zoned Residential Third Density, Subzone Q – R3Q. The R3 zone allows for a variety of built forms, ranging from single detached dwellings to three-unit dwellings. The purpose of the zone is as follows:

- (1) allow a mix of residential building forms ranging from detached to townhouse dwellings in areas designated as General Urban Area in the Official Plan; (By-law2012-334)
- (2) allow a number of other residential uses to provide additional housing choices within the third density residential areas;
- (3) allow ancillary uses to the principal residential use to allow residents to work at home;
- (4) regulate development in a manner that is compatible with existing land use patterns so that the mixed dwelling, residential character of a neighbourhood is maintained or enhanced; and
- (5) permit different development standards, identified in the Z subzone, primarily for areas designated as Developing Communities, which promote efficient land use and compact form while showcasing newer design approaches.

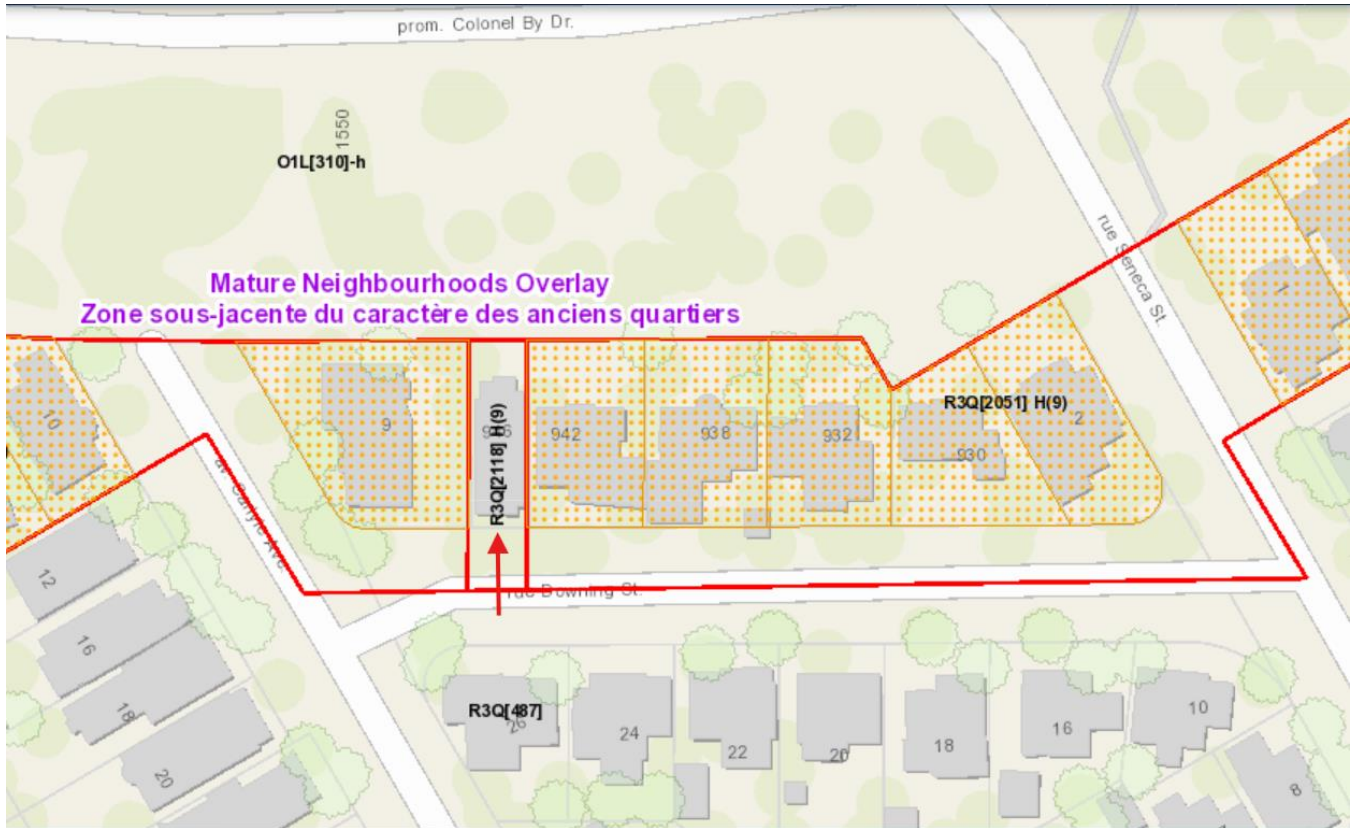


Figure 8: Zoning map of the subject property and surrounding area.

The subject property is compliant with all standard provisions of the R3Q zone including those that regulate the setbacks of a roof terrace, however the subject property and others in the same block north of Downing Street are limited to 9 m maximum heights in the zoning schedule. The subject lands are also subject to site specific exception 2118 that was established within an Ontario Municipal Board Hearing in 2016. The exception establishes a range of site-specific provisions that the proposed development also complies with, except for a restriction on roof top patios or decks. It is worth noting that the subject lands are the only lot in this block north of Downing that are not subject to a Heritage Overlay Zone which generally limits the removal of existing buildings and the location of new additions.

As a result, notwithstanding the R3Q zoning provisions, those within the applicable Mature Neighbourhoods overlay, and the site specific exception, the proposed addition requires the following two (2) minor variances:

- / To permit an increased building height of 11.74 metres, whereas the Zoning Bylaw permits a maximum building height of 9 metres.
- / To permit a rooftop patio or deck, whereas the Zoning By-law prohibits rooftop patio and decks on this property.

It is important to note that second variance is being proposed in an abundance of caution as there has been some dispute between Fotenn and City staff regarding the need for the variance given the reference to a “rooftop” patio and the patio is proposed on the rooftop of the third storey of the building and not the uppermost storey. “Rooftop” is not a defined term in the Zoning By-law and staff are interpreting this to mean a terrace upon any roof. It is also important to note, that had the new addition been designed with a roof projecting above the front and rear terrace spaces, or upon a balcony above the third-storey roof surface, the patios would not be considered “rooftop” and the variance would not be required. However, this idea was not pursued out of concern that it would generate increased visual impact.

It is also important to note that the buildings to the south of the subject lands are not only permitted 11 m heights but they are also permitted roof terraces as well as projecting roof top accesses that could not only exceed the height of the addition on the subject lands but given the larger nature of these other properties, any such roof terrace could vastly exceed those proposed on the subject lands which are generally large enough to accommodate the owner's family of four(4)

The Minor Variance application meets the general intent and purpose of the Zoning By-law. As noted above, the proposed addition and terrace areas meet an abundance of applicable zoning provisions with the exception of only two (2) provisions. The applicability of the provision related to the terrace is in question as is the general intent when it was established. The existing 9 m height limit was established under a previous PPS and Official Plan and prior to the passing of Bill 23, the More Homes Built Faster Act, 2022. Finally the variance related to building height has been limited in its height (compared to standard floor heights) and its size (about 1/3rd of the lower storeys) through the proposed design.

3.3 Are the Minor Variances Desirable for the Appropriate Development or Use of the Land?

The requested Minor Variances are desirable, as it will allow for a well-designed single detached dwelling and associated terrace that can accommodate the needs of a growing family on a smaller lot within an area where intensification is encouraged by the Official Plan and Provincial Policy statement. The variances will allow for the modest expansion of an existing structure with appropriate use of materiality, design, and scale that respects, reflects, and builds upon the existing and future character of the neighbourhood.

As illustrated on the submitted architectural materials, the addition and terraces are designed and located to be compatible with the surrounding area and to mitigate concerns of overlook.

3.4 Are Minor Variances Minor in Nature

As noted above, the proposed addition will be less than the typical 3 metre height of a storey and is setback from all four sides of the existing building, particularly the front and rear where the setbacks of 4.95 m and 5.06 m are such that the addition will be very difficult to perceive within the immediate context and therefore not generate negative impacts. Further the addition has been intentionally designed without projecting its roof over the adjacent terrace areas, or projecting its floor, both of which would have eliminated the variance that is requested to permit these terraces. Such design solutions were abandoned as they would increase the perception of the main addition and the terrace space from surrounding properties.

The roof terraces that are proposed adjacent to the roof addition are minimal in their size and capacity and meet the required setbacks from the edges of the rooftop. The required setbacks were established in the Zoning By-law to mitigate impacts related to privacy and overlook as evidenced by the architectural materials. Further the limited sizes of the terrace spaces are such that concerns related to noise generation will also be naturally mitigated by the capacity that would generally be limited to the four (4) members of the owner's family.

Based on the above-noted discussion, the proposed Minor Variances are minor in nature.

4.0 Public Comments

At the time of writing this Rationale, comments from the Planning and Development Services Department and some of the surrounding neighbours have been received. Although we understand that a substantial number of neighbours that have expressed support or a lack of concern for the minor variances, the concerns received have been generally divided into the following areas and discussed below.

4.1 Visual Impacts of the Massing of the Addition from Sides

As illustrated in the architectural package, the visibility of the addition will be limited due to its size and reduced height, and the presence of mature tree canopy from all angles except perhaps Downing Street from the Southwest. As discussed above, the most important policies in this regard relate to the Rideau Canal and Colonel By views. Furthermore, as also illustrated, the contextual built form and landscaping on adjacent lands is anticipated to continue to mature and intensify as evidenced by the City's Draft Zoning By-law. The owner of the Subject Lands would be prepared to provide a mature tree within the Downing Street ROW, southwest of the property to mitigate the only exposed public angle.

4.2 Visibility of the Roof Terrace from the Street and Canal

As illustrated in the architectural package the front and rear terraces are very small in area and barely visible for the street and canal positions due to the setbacks provided and the mature tree canopy that surround the property. In fact, the setbacks of the terrace from the front and rear face of the building are 2.2 – 2.32 metres (approximately 7 feet).

4.3 Privacy and Noise of Roof Terrace Areas

As illustrated in the architectural package, the opportunity for overlook into adjacent yards is again mitigated by the terrace setbacks and mature tree canopy surrounding the terrace. Unlike roof terraces that exist now and can be built in future on some of the surrounding buildings, the size of the subject property and the corresponding building design is such that the likelihood of having sufficient capacity to generate such noise is extremely limited.

4.4 Impact on Mature Trees

The proposed addition on the subject lands is limited entirely to the existing footprint. Furthermore, the construction proposed will be obligated to respect the City's Tree By-law in terms of construction practices so as to avoid impacts on mature trees in the immediate vicinity.

5.0

Conclusion

In conclusion, the proposed Minor Variances are considered good planning that meet the tests established under Section 45 (1) of the Planning Act.



August 08, 2024

Committee of Adjustment
101 Centrepointe Drive
Nepean, ON, K2G 5K7

Committee of Adjustment
Received | Reçu le

2024-08-12

City of Ottawa | Ville d'Ottawa
Comité de dérogation

To whom it may concern,

RE: 946 Colonel By Drive, Ottawa, ON K1S 5C9.

Please find the attached application for a minor variance regarding the property located at 946 Colonel By Drive in the Old Ottawa South neighbourhood. The property is zoned R3Q[2118]H(9).

Principals

Barry J. Hobin
OAA, FRAIC, Hon. Fellow AIA
Founding Principal

Wendy Brawley
OAA, FRAIC, Associate AIA

Douglas Brooks
Arch. Tech.

Marc Thivierge
OAA, MRAIC

Reinhard Vogel
Arch. Tech.

The existing building is a 3-storey residential dwelling located on lot 2, fronting on to Colonel By Drive, and has an accessory dwelling in the basement. The area of the house is 83.48 m² with a GFA of 310.78 m².

The proposal is to construct an addition on level 4 with an area of 37.56 m². The addition includes a front terrace of 9.52 m² and rear terrace of 9.52 m². The proposed addition is seeking relief from the existing zoning by-law for the following 2 variances:

1. To permit a building height of 11.74 m.

Whereas:

- The Zoning by law 2008-250 Part 15 Exception 2118 states that the maximum building height permitted is 9 m.

2. To permit a roof terrace that is not located on the roof of the uppermost storey.

Whereas:

- The Zoning by law 2008-250 Part 15 Exception 2118 states no roof top patios or decks are permitted.

Partners

Patrick Bisson
OAA, OAAQ, MRAIC

Dan Henhoeffler
Arch. Tech.

Rheal Labelle
M. Arch.

Melanie Lamontagne
OAA, MRAIC

Please refer to enclosed architectural drawings and planning rationale report by Hobin Architecture/Fotenn addressing the four tests of a minor variance.

Trusting the information provided sufficiently demonstrates the rationale for the proposed variances.

Sincerely,

A handwritten signature in black ink, appearing to read "Rheal Labelle", written over a circular stamp or seal.

Rheal Labelle, **Partner**
Hobin Architecture Inc.

Hobin Architecture
Incorporated

63 Pamilla Street
Ottawa, Ontario
Canada K1S 3K7

t 613-238-7200

hobinarc.com



946 COLONEL BY DRIVE

New Addition - Level 4

AUGUST 8, 2024

Committee of Adjustment
Received | Reçu le

2024-08-12

City of Ottawa | Ville d'Ottawa
Comité de dérogation

Request for Minor Variance

946 Colonel By Drive, Ottawa, ON | Zoning: R3Q[2118]H(9)

VARIANCE 1 : To permit a building height of 11.74 m.

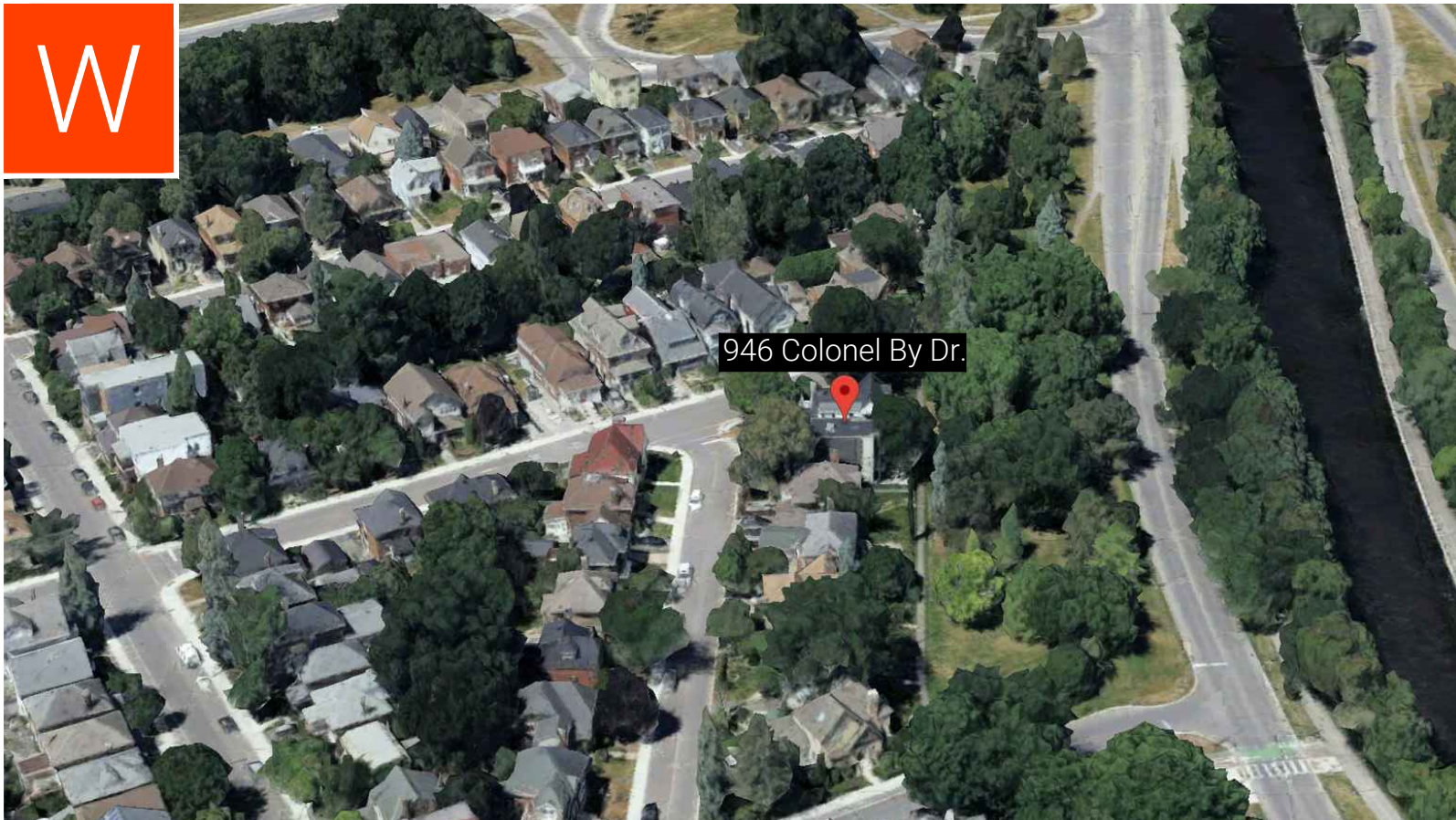
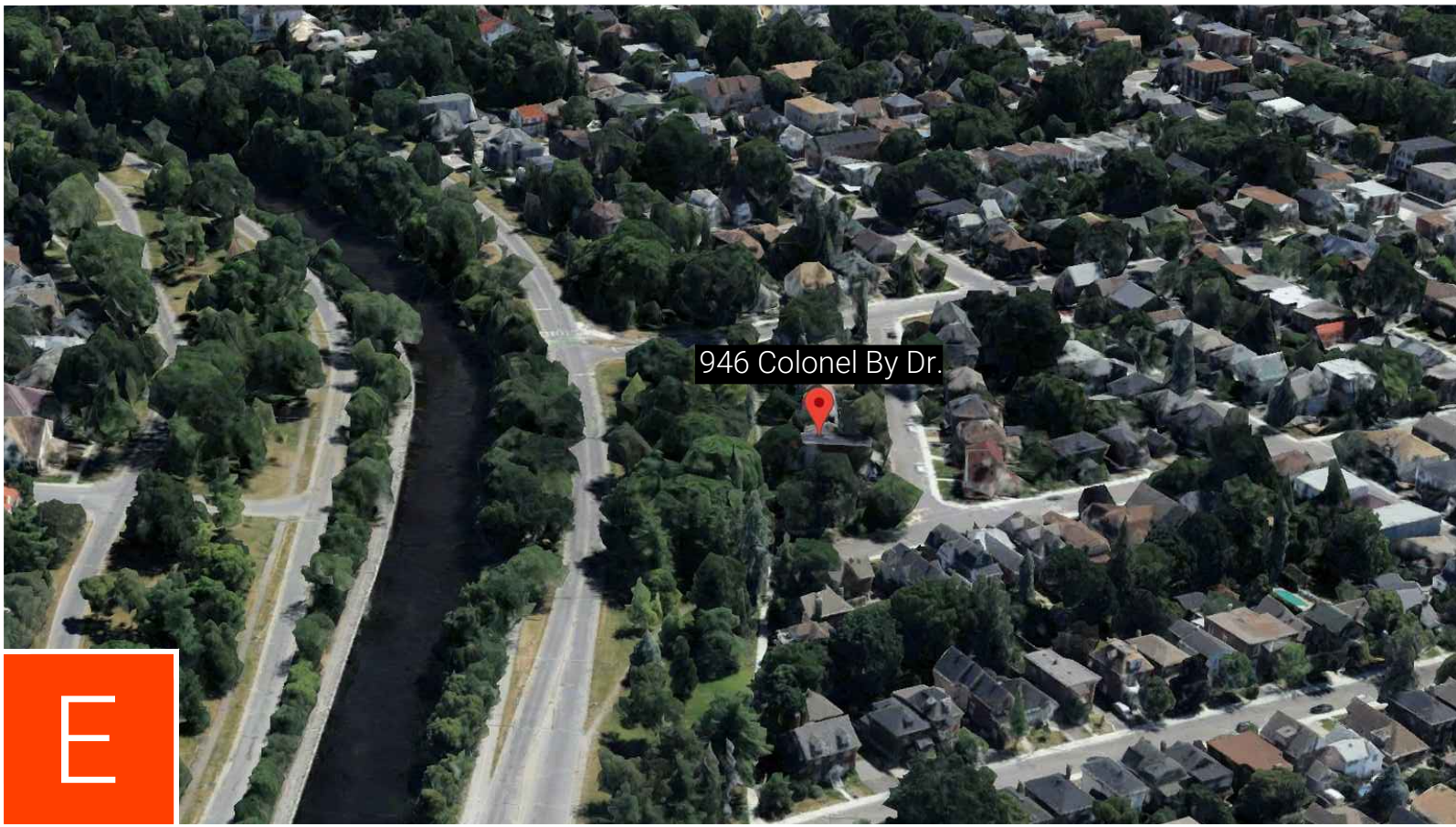
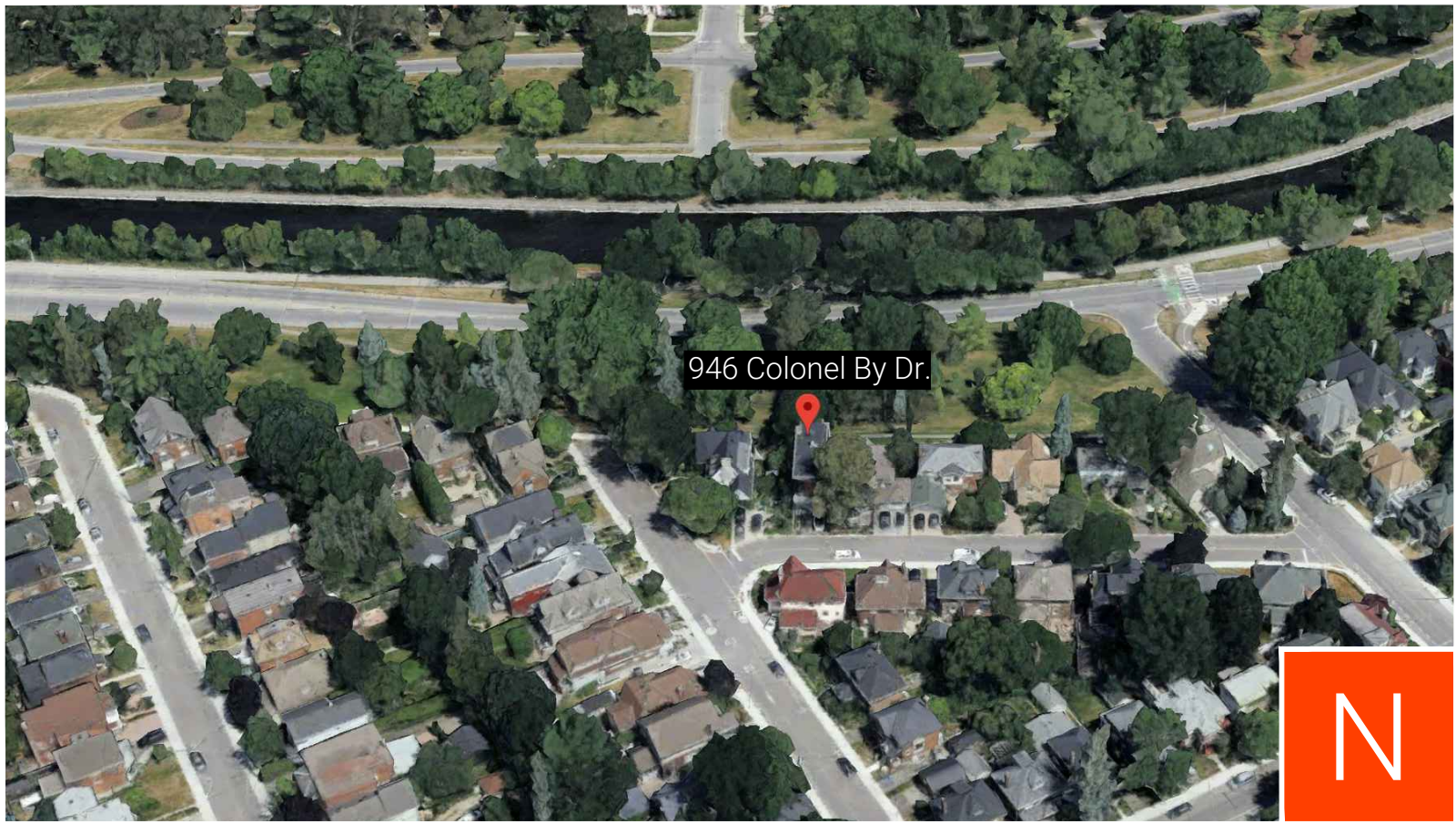
- Whereas:

The Zoning by law 2008-250 Part 15 Exception 2118 states that the maximum building height permitted is 9 m.

VARIANCE 2 : To permit a roof terrace that is not located on the roof of the uppermost storey.

- Whereas:

The Zoning by law 2008-250 Part 15 Exception 2118 Part 15 Exception 2118 states no roof top patios or decks are permitted.



946 Colonel By Dr.

New Addition - Level 4

Context Aerial

AUGUST 8, 2024



Colonel By Drive

998 Colonel By Dr.

992 Colonel By Dr.

990 Colonel By Dr.

9 Carlyle Ave.

946 Colonel By Dr.

942 Colonel By Dr.

930 Colonel By Dr.

av. Carlyle Ave.

12 Carlyle Ave.

16 Carlyle Ave.

18 Carlyle Ave.

20 Carlyle Ave.

22 Carlyle Ave.

24 Carlyle Ave.

26 Carlyle Ave.

rue Downing St.

26 Downing St.

24 Downing St.

22 Downing St.

20 Downing St.

29 Carlyle Ave.

149 Aylmer Ave.

30 Carlyle Ave.

av. Fulton Ave.

av. Carlyle Ave.

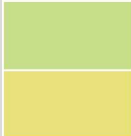
av. Aylmer Ave.

rue Seneca St.

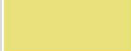


946 Colonel By Dr.

New Addition - Level 4



NO CONCERNS



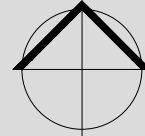
SOME CONCERNS



OPOSED

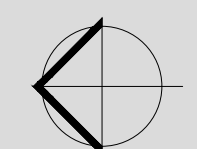
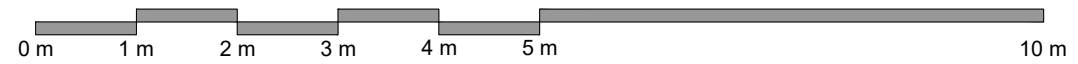
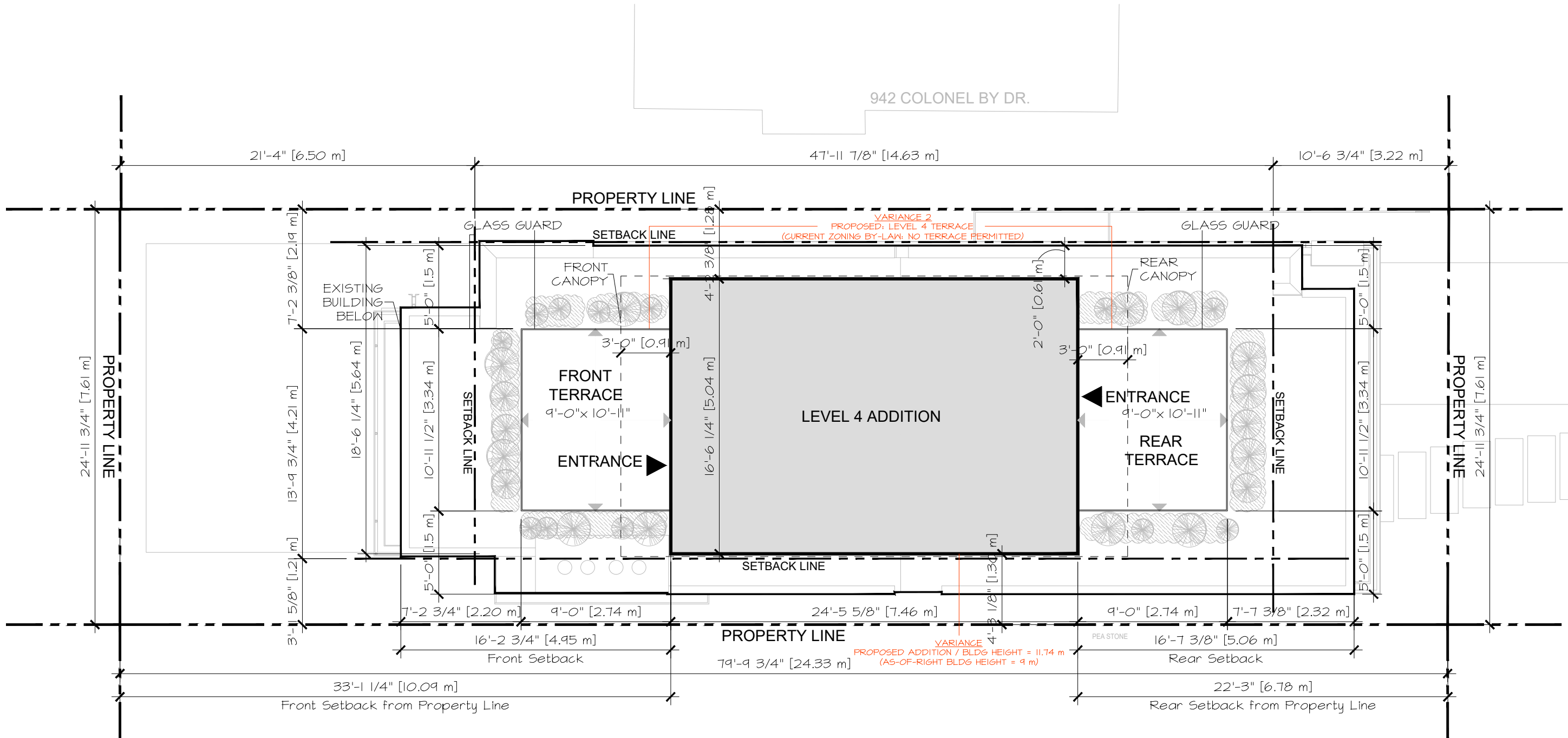


NO RESPONSE



Neighbourhood Survey Map

AUGUST 8, 2024



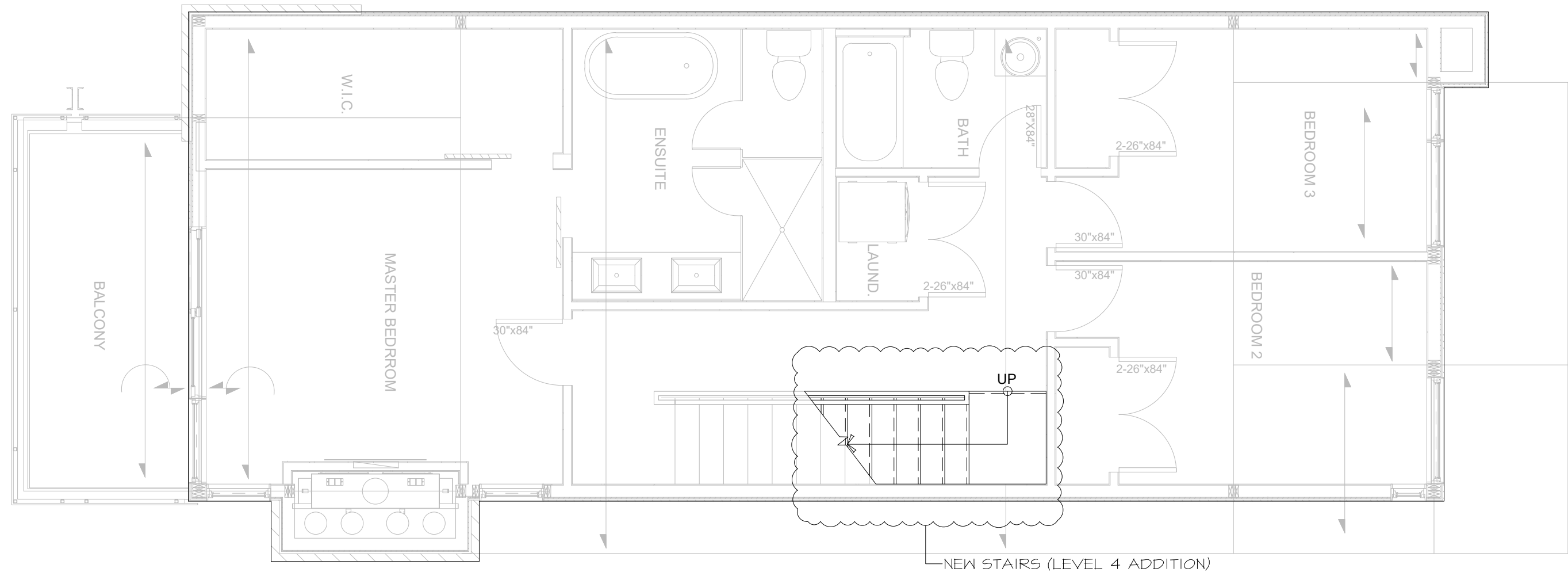
946 Colonel By Dr.

New Addition - Level 4

Site Plan

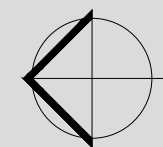
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AUGUST 8, 2024

LEVEL 3 GFA: 897 ft² [83.32 m²]



946 Colonel By Dr.

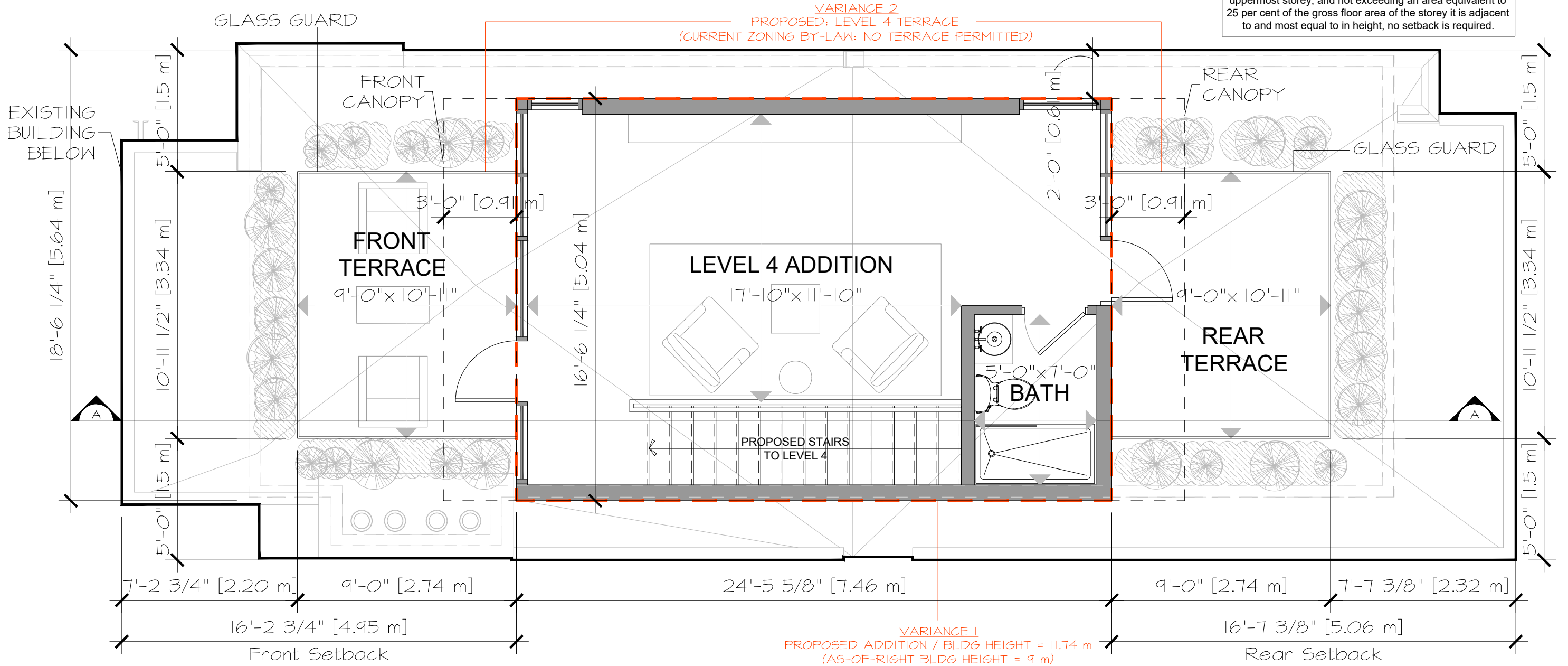
New Addition - Level 4



Level 3 Plan
SCALE : 1:50
AUGUST 8, 2024

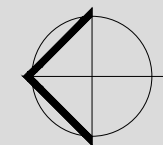
FRONT TERRACE GFA: 99 ft² [9.52 m²] = < 25% OF LEVEL 4 GFA
 REAR TERRACE GFA: 99 ft² [11.50 m²] = < 25% OF LEVEL 4 GFA
 LEVEL 4 ADDITION GFA: 404 ft² [37.56 m²]

Part 2 Section 55 Table 55 (8)(b):
 Where a roof-top terrace is not located on the roof of the uppermost storey, and not exceeding an area equivalent to 25 per cent of the gross floor area of the storey it is adjacent to and most equal to in height, no setback is required.



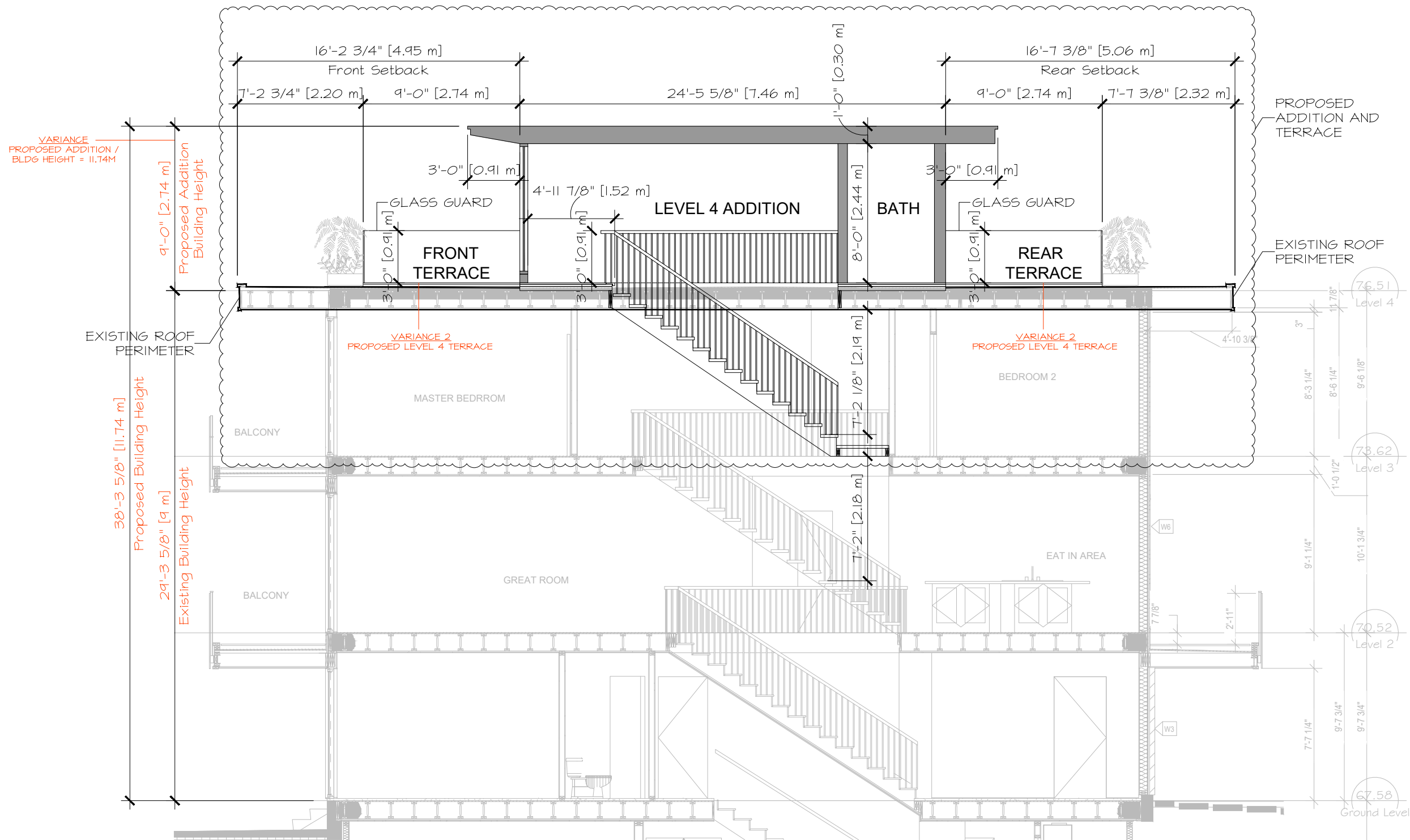
946 Colonel By Dr.

New Addition - Level 4



Level 4 Plan

SCALE : 1:50
AUGUST 8, 2024

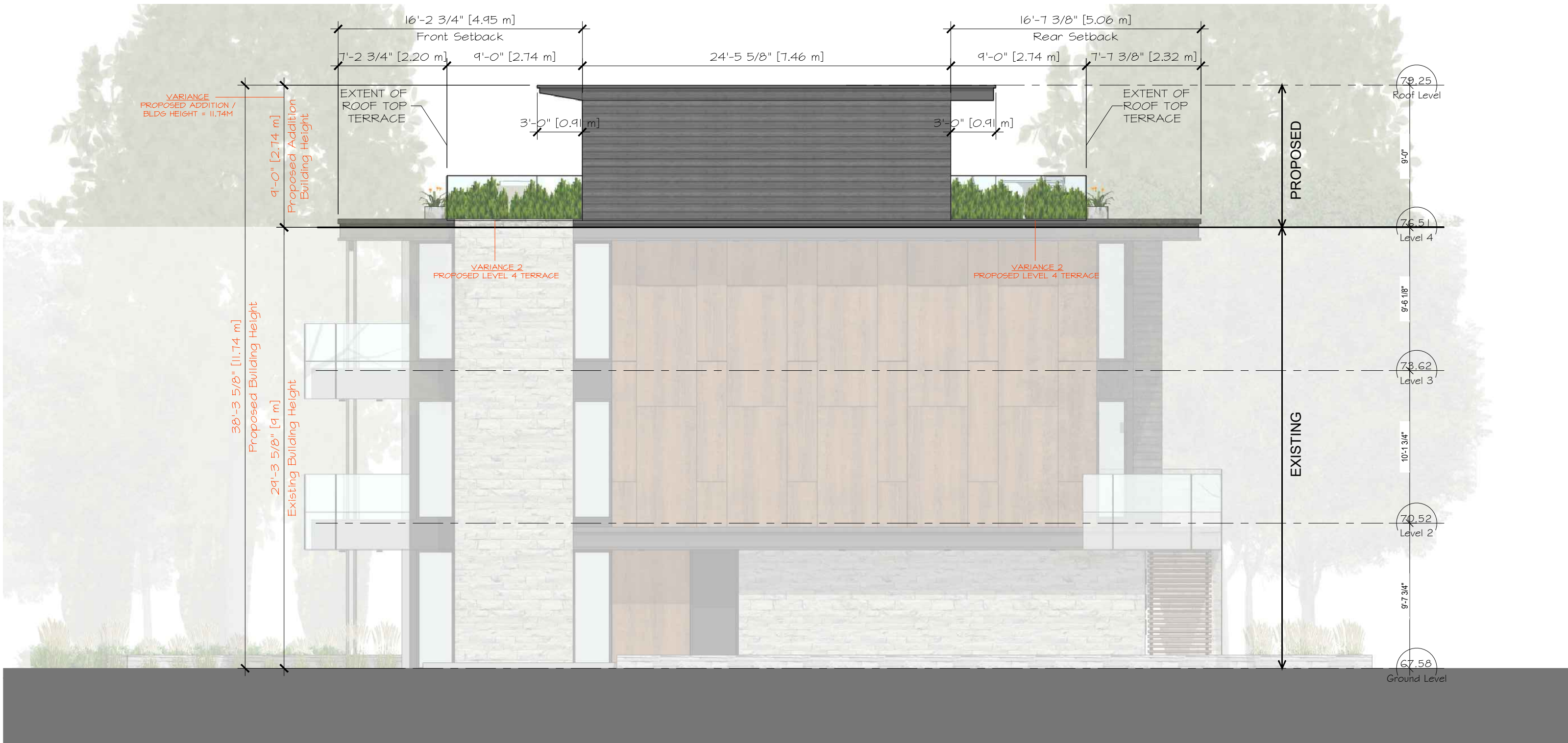


946 Colonel By Dr.

New Addition - Level 4

Section A - Proposed Stair Access to Level 4 Addition

SCALE : 1:75
AUGUST 8, 2024



946 Colonel By Dr.

New Addition - Level 4

West Elevation

SCALE : 1:75
 AUGUST 8, 2024



946 Colonel By Dr.

New Addition - Level 4

South Elevation

SCALE : 1:75

AUGUST 8, 2024



946 Colonel By Dr.

New Addition - Level 4

East Elevation

SCALE : 1:75
AUGUST 8, 2024



946 Colonel By Dr.

New Addition - Level 4

North Elevation

SCALE : 1:75
AUGUST 8, 2024



938 COLONEL BY DRIVE
FUTURE ZONING WITH HERITAGE
OVERLAY REMOVED
- Potential 3-storey built form
including rooftop terrace access.

942 COLONEL BY DRIVE
FUTURE ZONING WITH HERITAGE
OVERLAY REMOVED
- Potential 3-storey built form
including rooftop terrace access.

946 COLONEL BY DRIVE
Proposed Level 4 Addition

9 CARLYLE AVENUE
FUTURE ZONING WITH HERITAGE
OVERLAY REMOVED
- Potential 3-storey built form
including rooftop terrace access.



STREET VIEW - COLONEL BY DR.

946 Colonel By Dr.

New Addition - Level 4

ELEVATION - North West, Colonel By Dr.

AUGUST 8, 2024





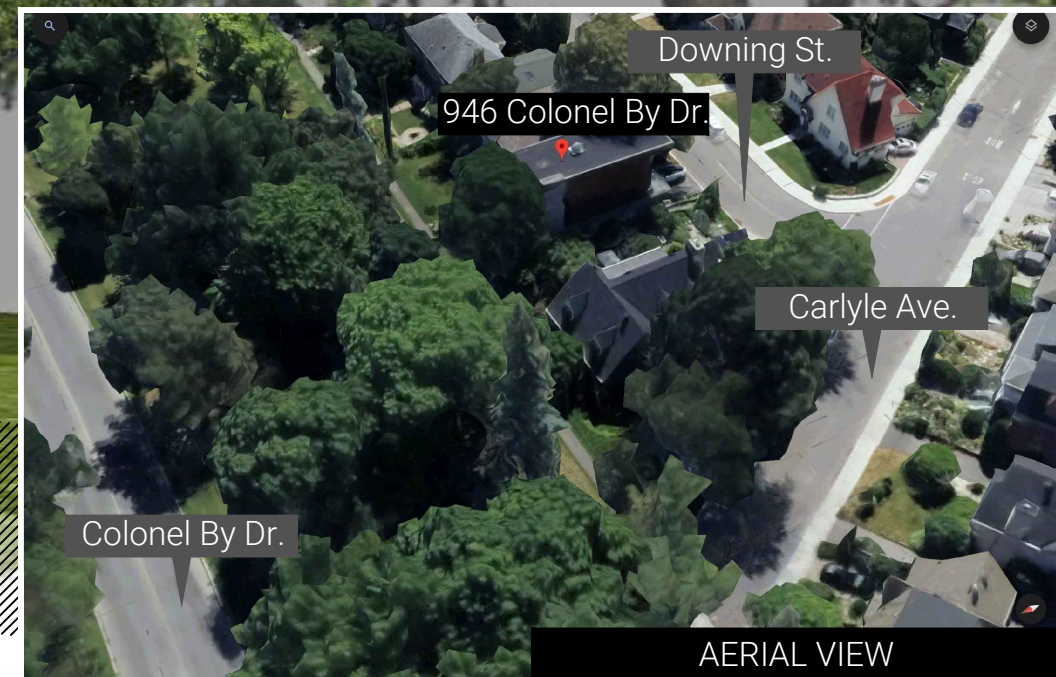
938 COLONEL BY DRIVE
FUTURE ZONING WITH HERITAGE
OVERLAY REMOVED
- Potential 3-storey built form
including rooftop terrace access.

942 COLONEL BY DRIVE
FUTURE ZONING WITH HERITAGE
OVERLAY REMOVED
- Potential 3-storey built form
including rooftop terrace access.

946 COLONEL BY DRIVE
Proposed Level 4 Addition

9 CARLYLE AVENUE
FUTURE ZONING WITH HERITAGE
OVERLAY REMOVED
- Potential 3-storey built form
including rooftop terrace access.

NCC PATHWAY



AERIAL VIEW



946 Colonel By Dr.

New Addition - Level 4

ELEVATION - North West, Colonel By Dr.

AUGUST 8, 2024



STREET VIEW - DOWNING ST.



946 Colonel By Dr.

New Addition - Level 4

ELEVATION - South West, Downing St.

AUGUST 8, 2024



946 COLONEL BY DRIVE
Proposed Level 4 Addition

942 COLONEL BY DRIVE
FUTURE ZONING WITH HERITAGE
OVERLAY REMOVED
- Potential 3-storey built form
including rooftop terrace access.

9 CARLYLE AVENUE
FUTURE ZONING WITH HERITAGE
OVERLAY REMOVED
- Potential 3-storey built form
including rooftop terrace access.

Downing St.



946 Colonel By Dr.

STREET VIEW - DOWNING ST.



946 Colonel By Dr.

New Addition - Level 4

ELEVATION - South East, Downing St.

AUGUST 8, 2024



9 CARLYLE AVENUE
FUTURE ZONING WITH HERITAGE
OVERLAY REMOVED
- Potential 3-storey built form
including rooftop terrace access.

946 COLONEL BY DRIVE
Proposed Level 4 Addition

942 COLONEL BY DRIVE
FUTURE ZONING WITH HERITAGE
OVERLAY REMOVED
- Potential 3-storey built form
including rooftop terrace access.

938 COLONEL BY DRIVE
FUTURE ZONING WITH HERITAGE
OVERLAY REMOVED
- Potential 3-storey built form
including rooftop terrace access.

Downing St.



946 Colonel By Dr.

STREETVIEW - DOWNING ST.

STREETVIEW - Downing St Looking West



946 Colonel By Dr.

New Addition - Level 4

AUGUST 8, 2024



DOWNING ST.

COLONEL BY DR.



946 Colonel By Dr.

New Addition - Level 4

AERIAL VIEW - North East

AUGUST 8, 2024



DOWNING ST.

COLONEL BY DR.

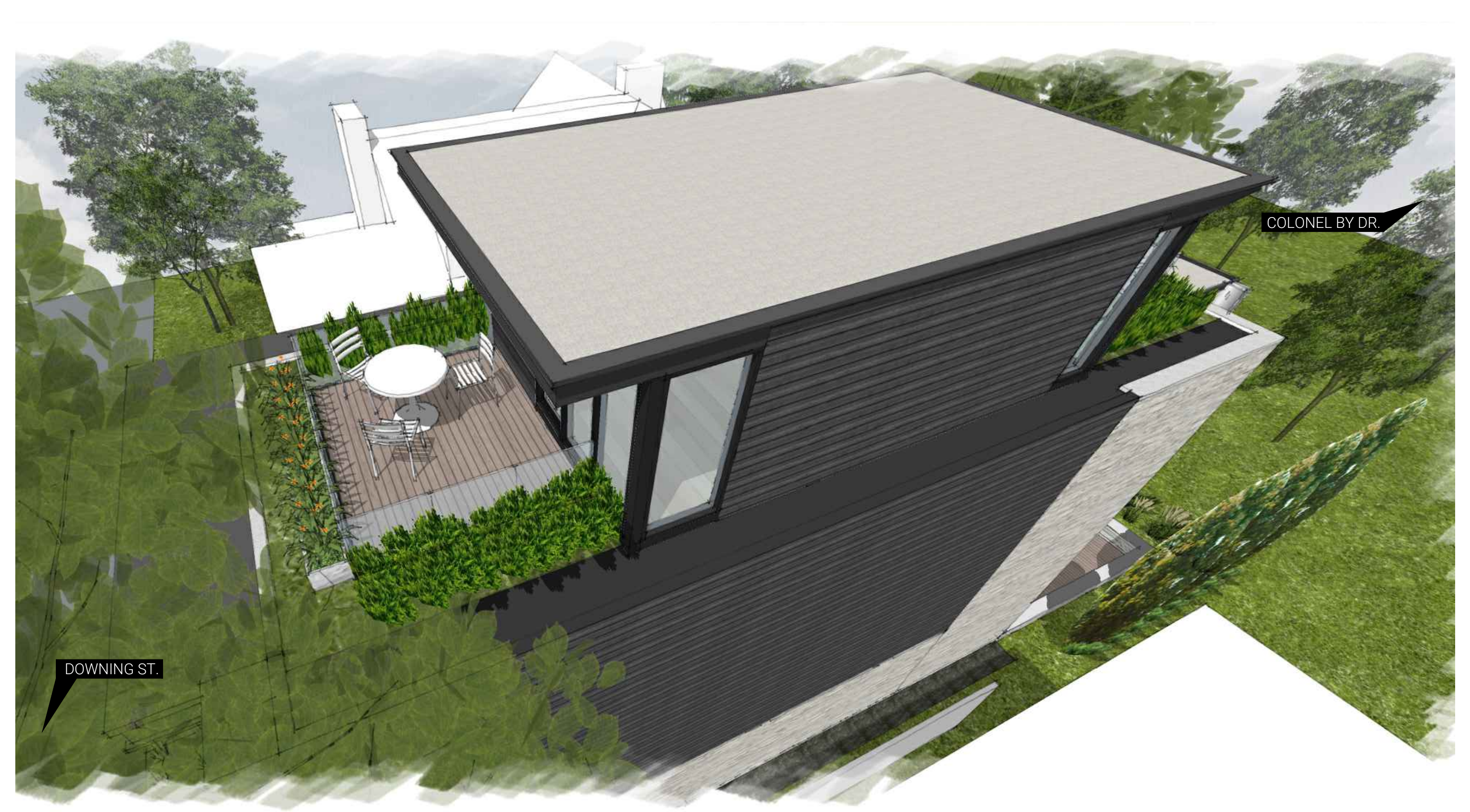


946 Colonel By Dr.

New Addition - Level 4

AERIAL VIEW - East

AUGUST 8, 2024



COLONEL BY DR.

DOWNING ST.

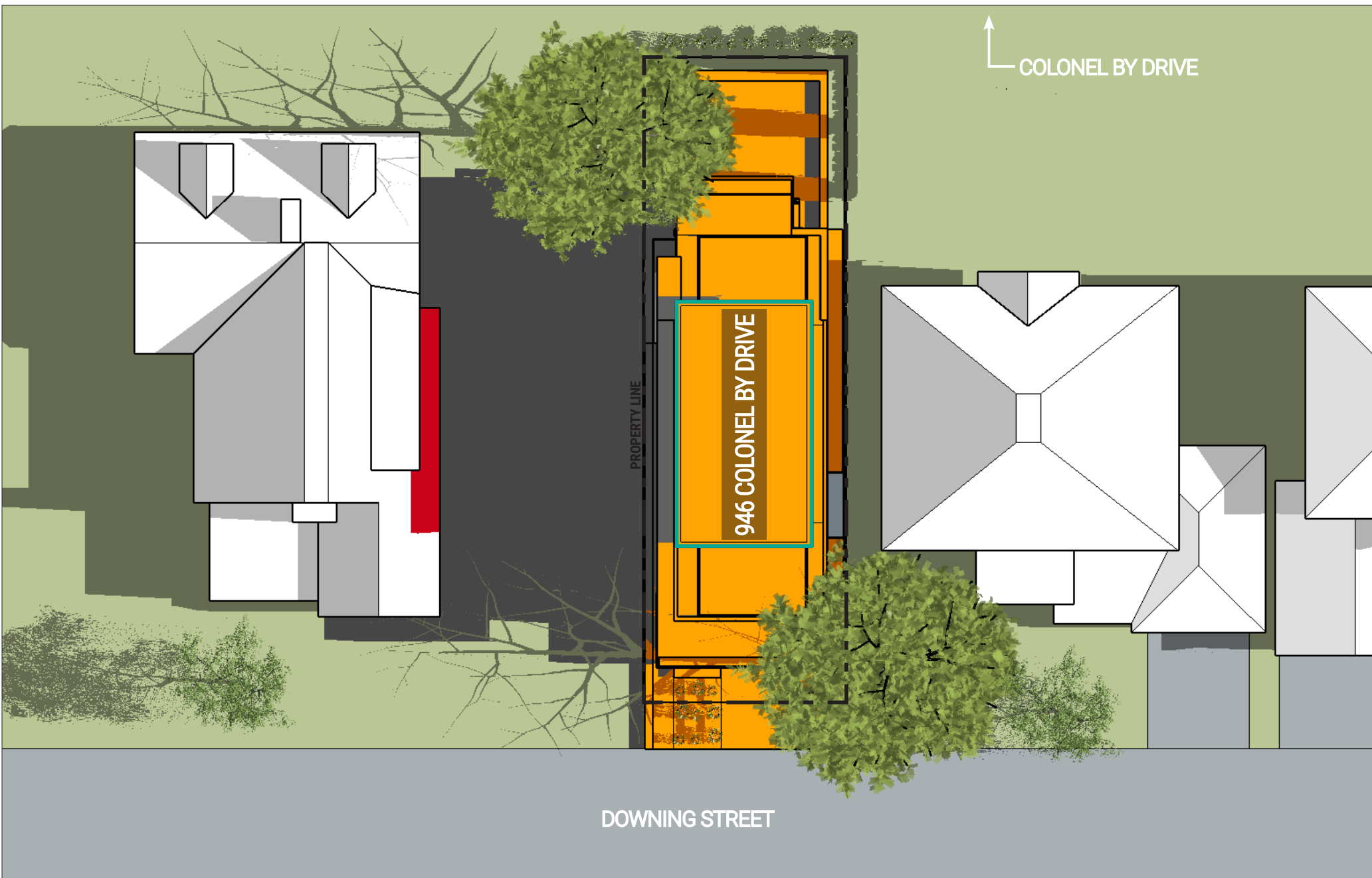


946 Colonel By Dr.

New Addition - Level 4

AERIAL VIEW - South East

AUGUST 8, 2024



- LEGEND:**
- Proposed Level 4 Addition
 - New Net Shadow
 - 946 Colonel By Drive
 - Existing Shadow

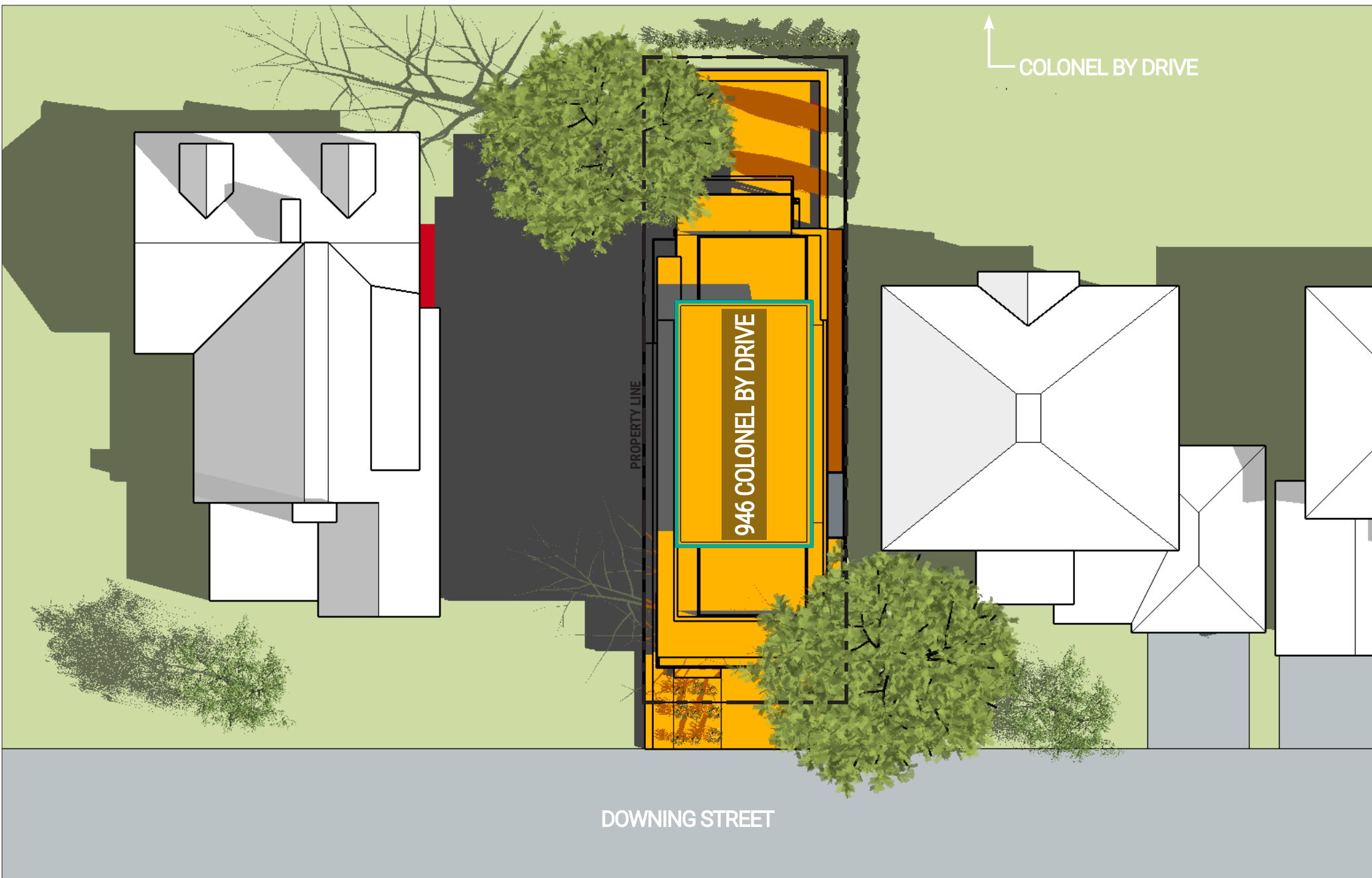


HOBIN **946 COLONEL BY DRIVE**
 New Addition - Level 4
 Top-View Shadow Analysis

Company: Hobin Architecture
Prepared by: Cristina Hoang
Date: June 05, 2024

Application No.: _____
Application Type: _____
Scale: 1/16" = 1'-0"

Figure test time:
JUNE 21 9:00am
 Eastern Daylight Time (EDT) = Universal Time, 4 hours
 Page 1 of 9



- LEGEND:**
- Proposed Level 4 Addition
 - New Net Shadow
 - 946 Colonel By Drive
 - Existing Shadow

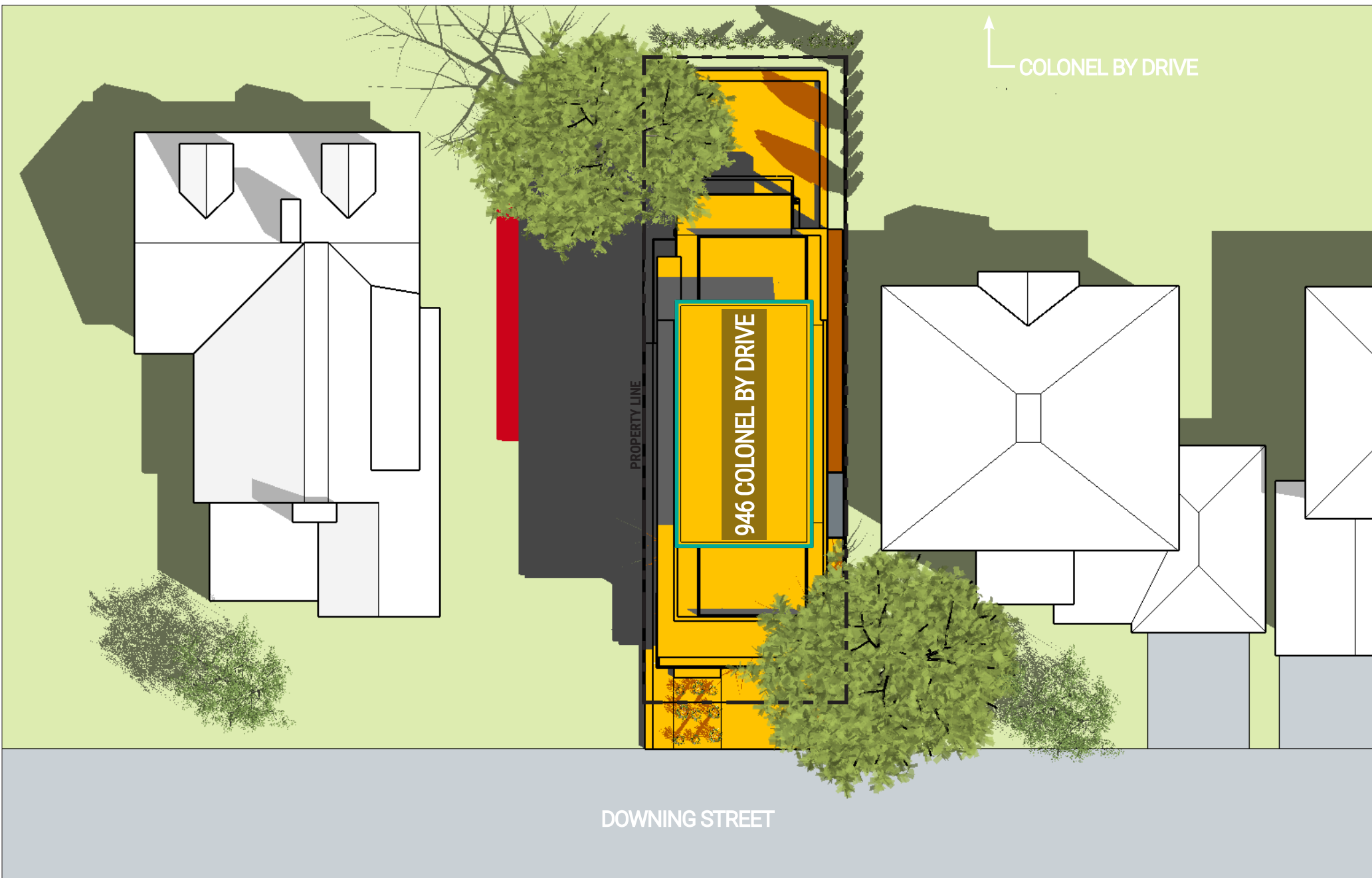


HOBIN **946 COLONEL BY DRIVE**
 New Addition - Level 4
 Top-View Shadow Analysis

Company: Hobin Architecture
Prepared by: Cristina Hoang
Date: June 05, 2024

Application No.: _____
Application Type: _____
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 Page 2 of 9



- LEGEND:**
- Proposed Level 4 Addition
 - New Net Shadow
 - 946 Colonel By Drive
 - Existing Shadow

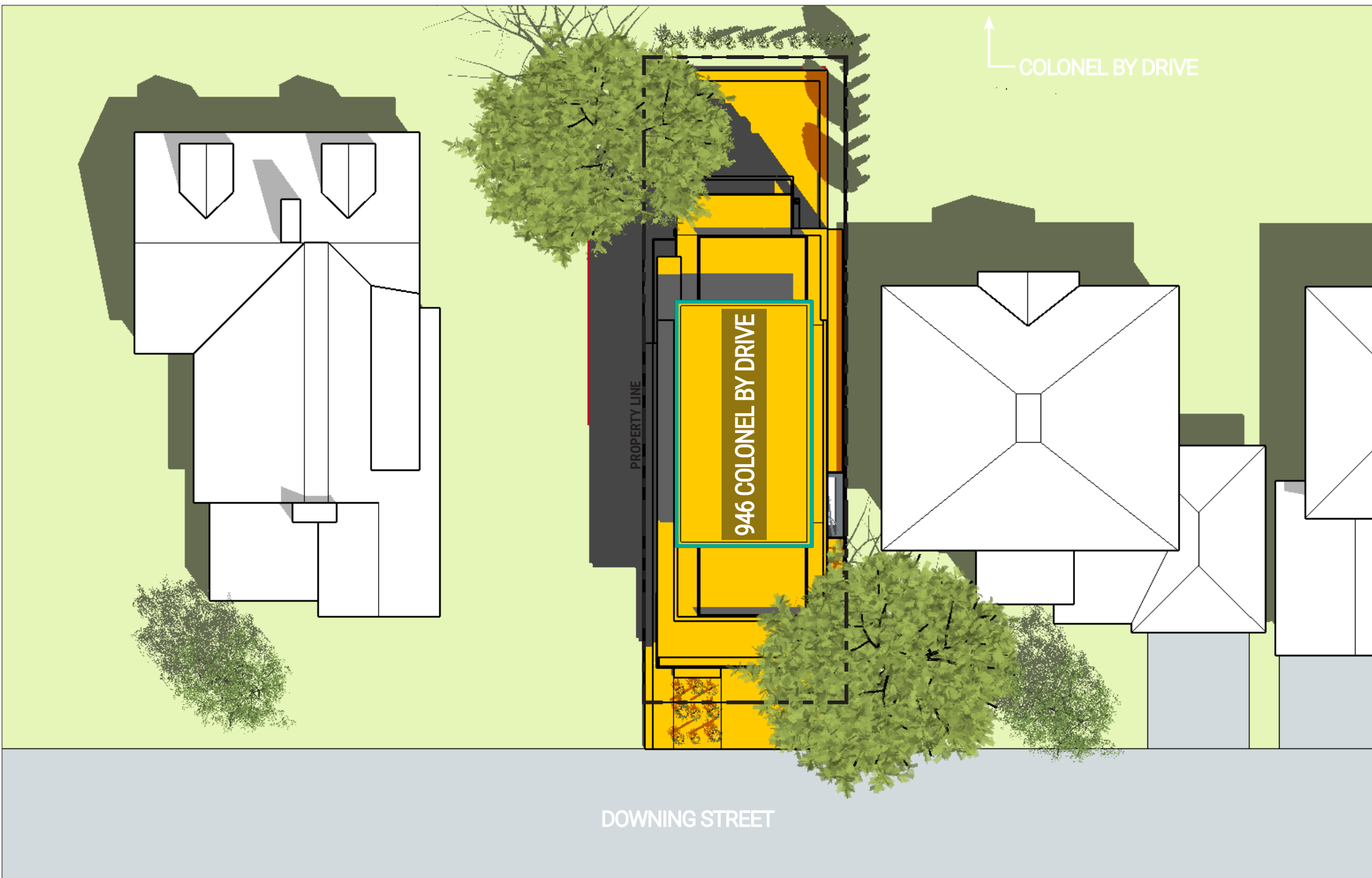


HOBIN **946 COLONEL BY DRIVE**
 New Addition - Level 4
 Top-View Shadow Analysis

Company: Hobin Architecture
Prepared by: Cristina Hoang
Date: June 05, 2024

Application No.: _____
Application Type: _____
Scale: 1/16" = 1'-0"

Figure test time:
JUNE 21 11:00am
 Eastern Daylight Time (EDT) = Universal Time, 4 hours
 Page 3 of 9



COLONEL BY DRIVE

DOWNING STREET

LEGEND:

- Proposed Level 4 Addition
- New Net Shadow
- 946 Colonel By Drive
- Existing Shadow

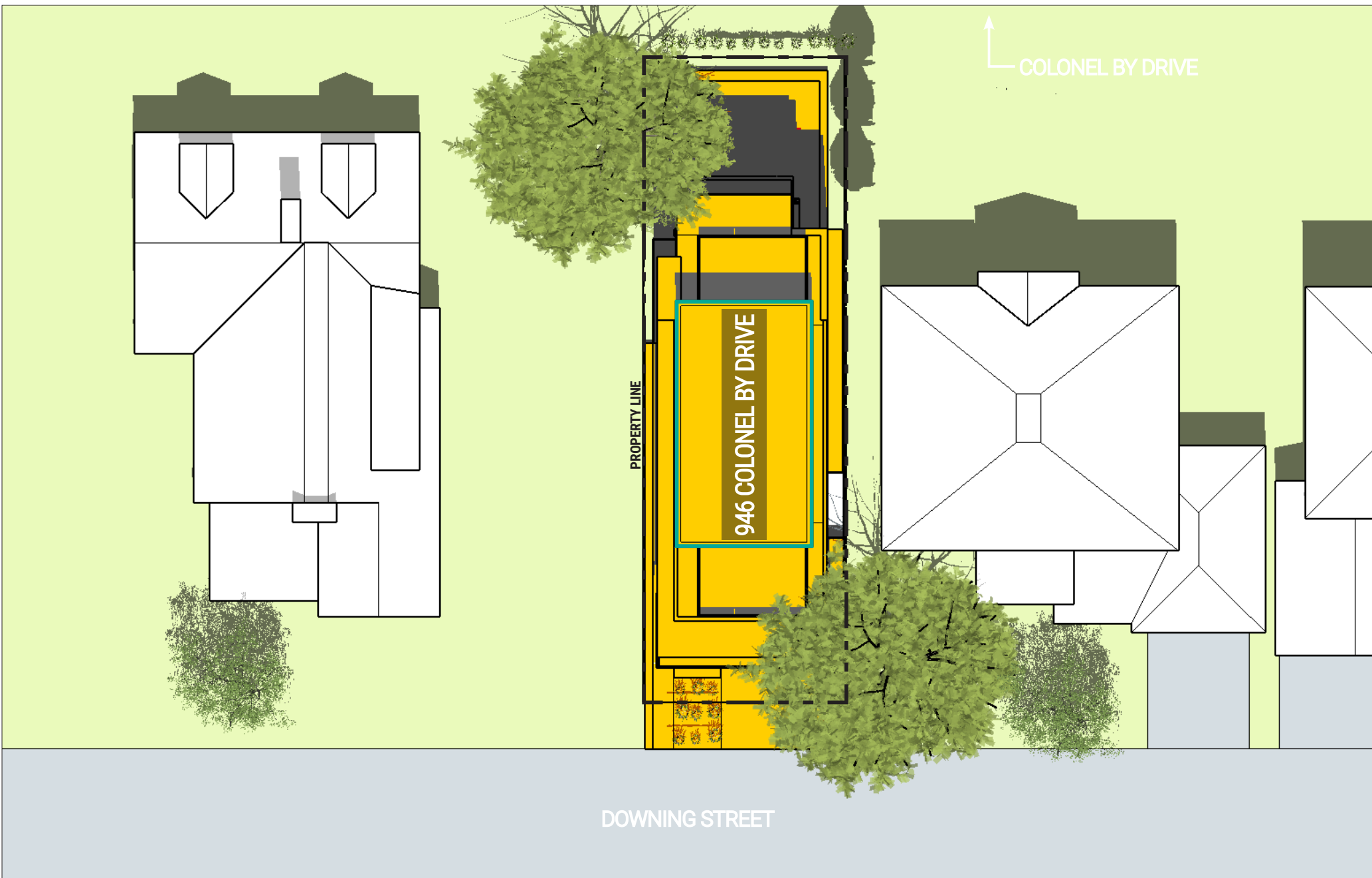


HOBIN **946 COLONEL BY DRIVE**
 New Addition - Level 4
 Top-View Shadow Analysis

Company: Hobin Architecture
Prepared by: Cristina Hoang
Date: June 05, 2024

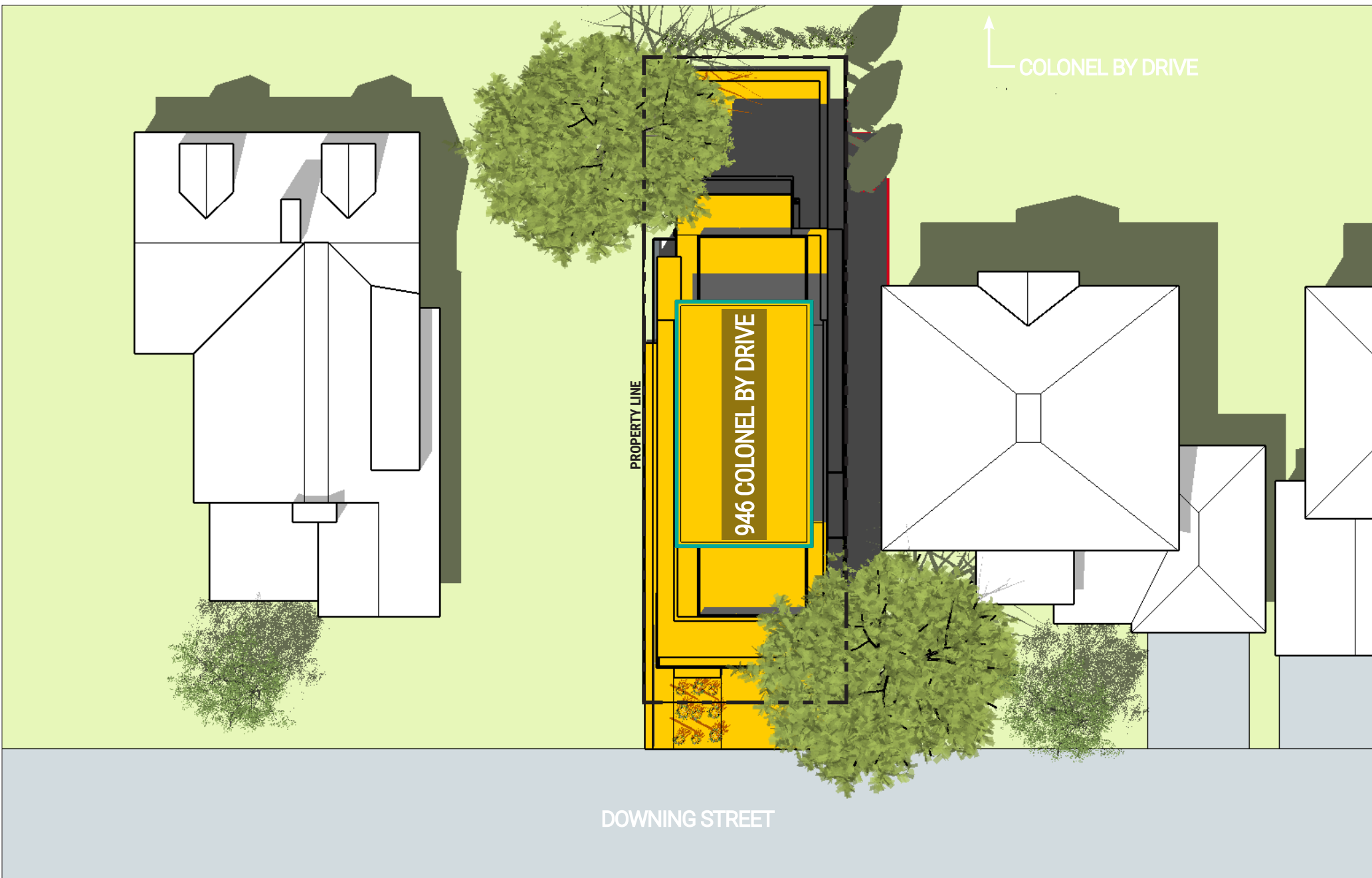
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 Page 4 of 9



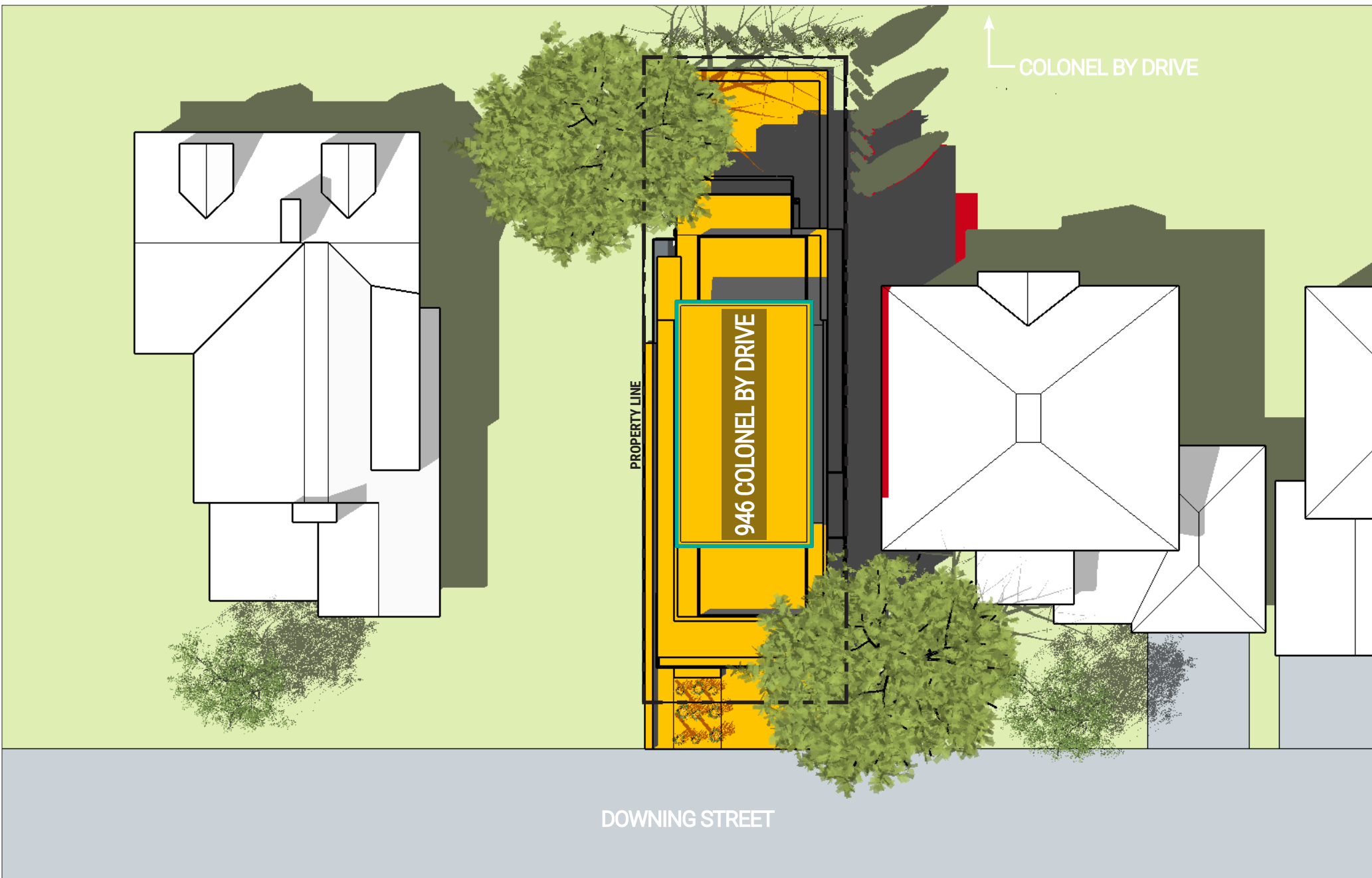
- LEGEND:**
- Proposed Level 4 Addition
 - New Net Shadow
 - 946 Colonel By Drive
 - Existing Shadow





- LEGEND:**
- Proposed Level 4 Addition
 - New Net Shadow
 - 946 Colonel By Drive
 - Existing Shadow





- LEGEND:**
- Proposed Level 4 Addition
 - New Net Shadow
 - 946 Colonel By Drive
 - Existing Shadow

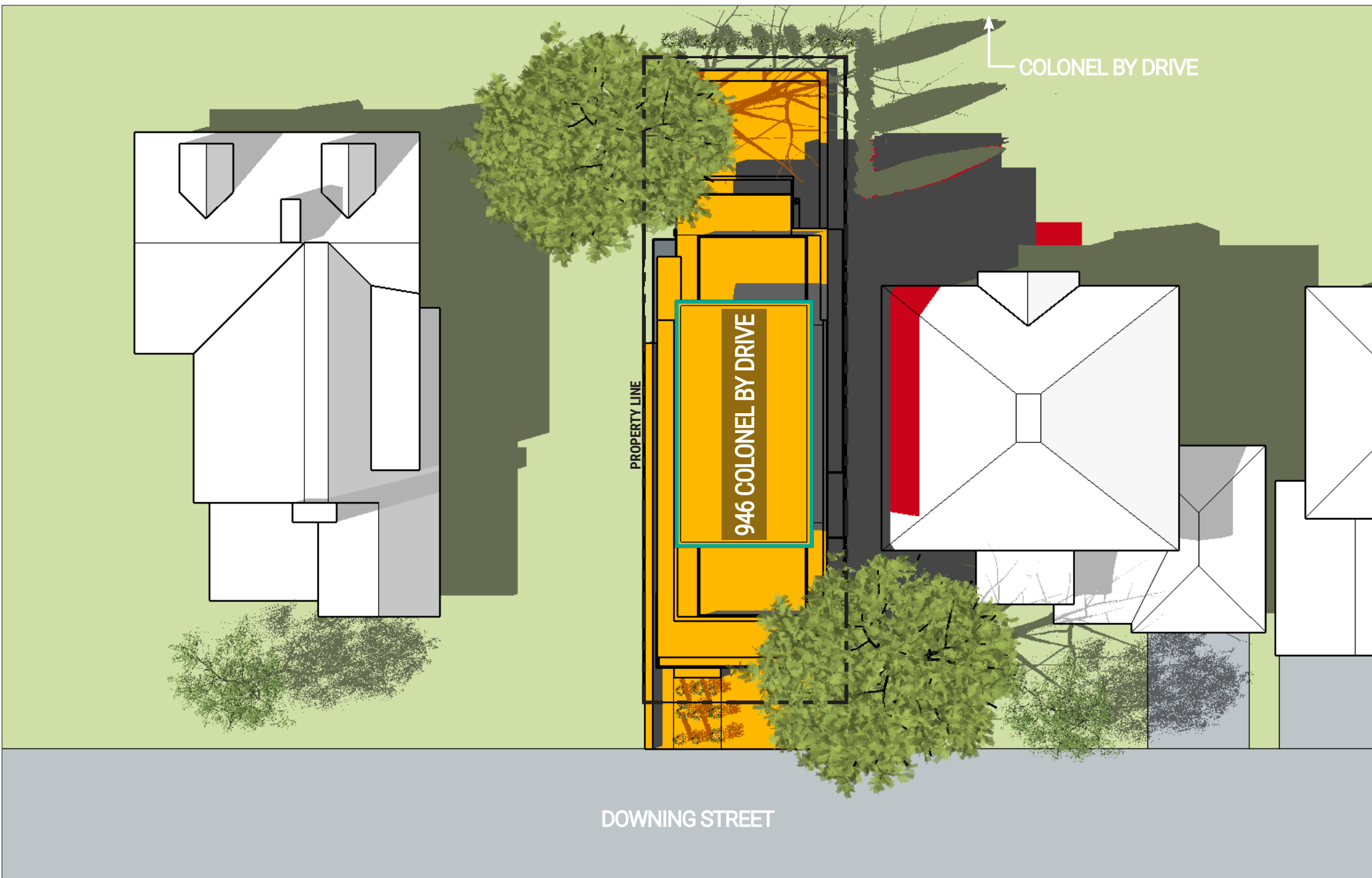


HOBIN **946 COLONEL BY DRIVE**
 New Addition - Level 4
 Top-View Shadow Analysis

Company: Hobin Architecture
Prepared by: Cristina Hoang
Date: June 05, 2024

Application No.: _____
Application Type: _____
Scale: 1/16" = 1'-0"

Figure test time:
JUNE 21 3:00pm
Eastern Daylight Time (EDT) = Universal Time, 4 hours
 Page 7 of 9



- LEGEND:**
- Proposed Level 4 Addition
 - New Net Shadow
 - 946 Colonel By Drive
 - Existing Shadow

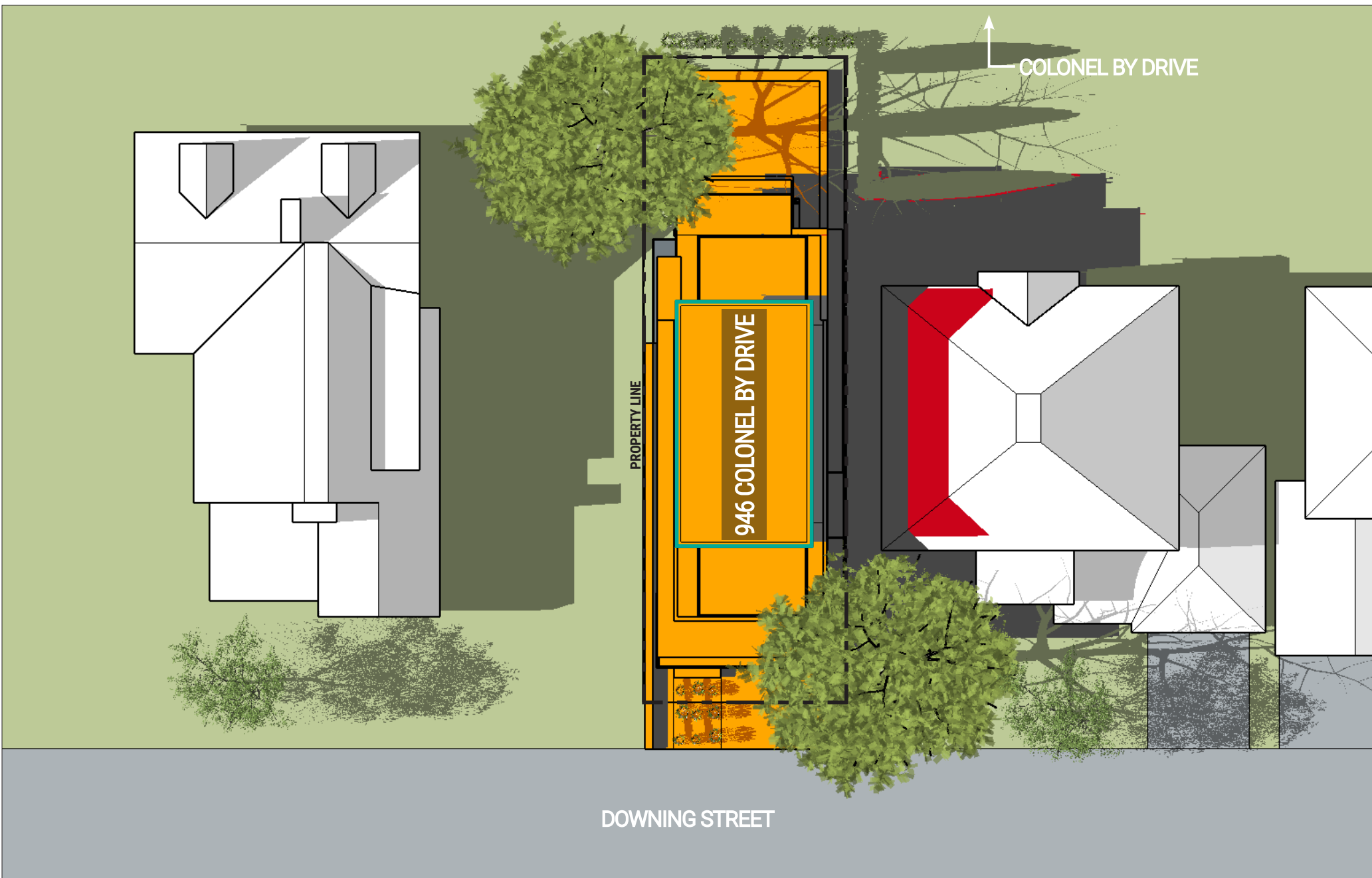


HOBIN **946 COLONEL BY DRIVE**
 New Addition - Level 4
 Top-View Shadow Analysis

Company: Hobin Architecture
Prepared by: Cristina Hoang
Date: June 05, 2024

Application No.: _____
Application Type: _____
Scale: 1/16" = 1'-0"

Figure test time:
JUNE 21 4:00pm
Eastern Daylight Time (EDT) = Universal Time, 4 hours
 Page 8 of 9



LEGEND:

- Proposed Level 4 Addition
- New Net Shadow
- 946 Colonel By Drive
- Existing Shadow



HOBIN **946 COLONEL BY DRIVE**
 New Addition - Level 4
 Top-View Shadow Analysis

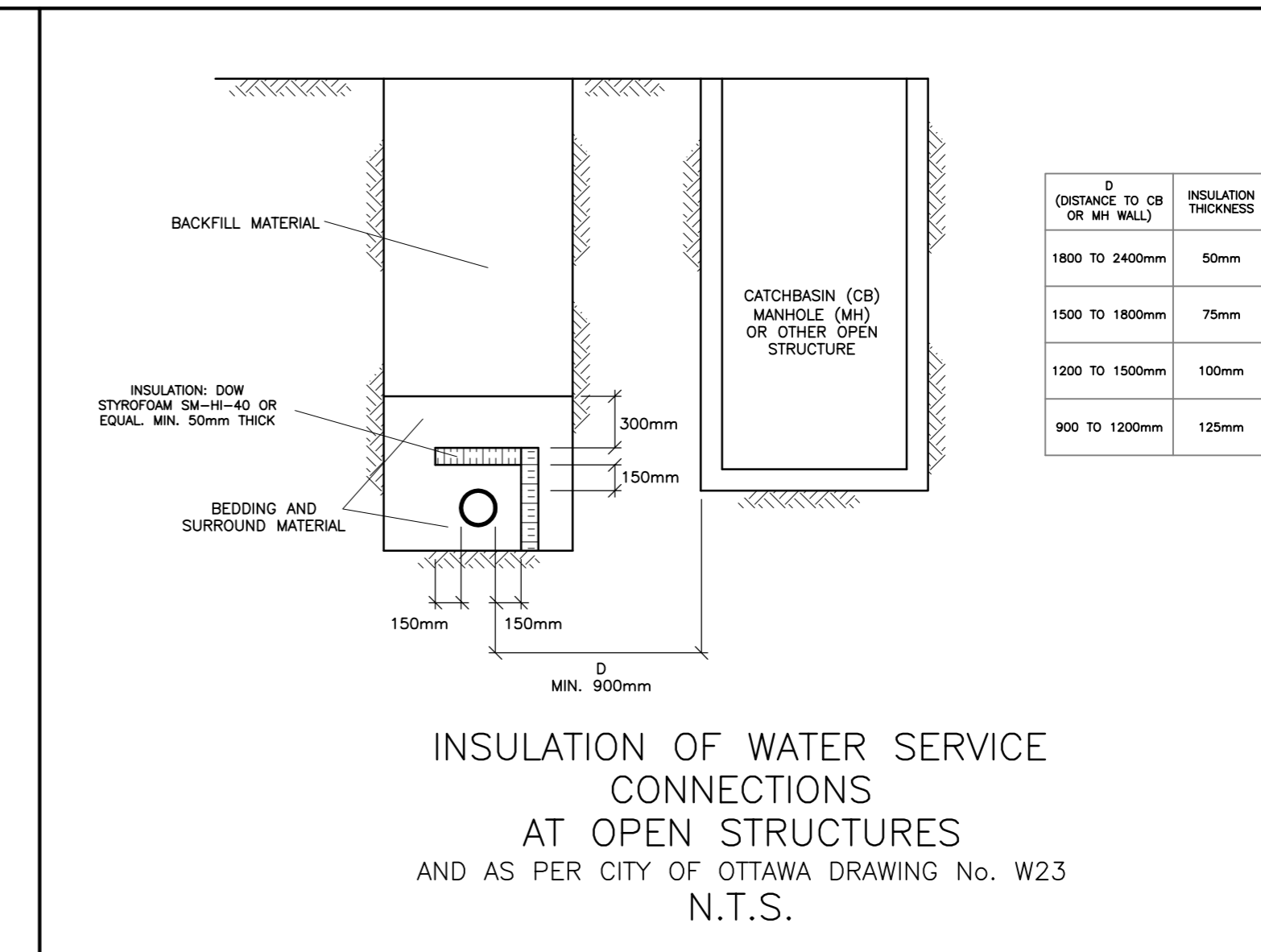
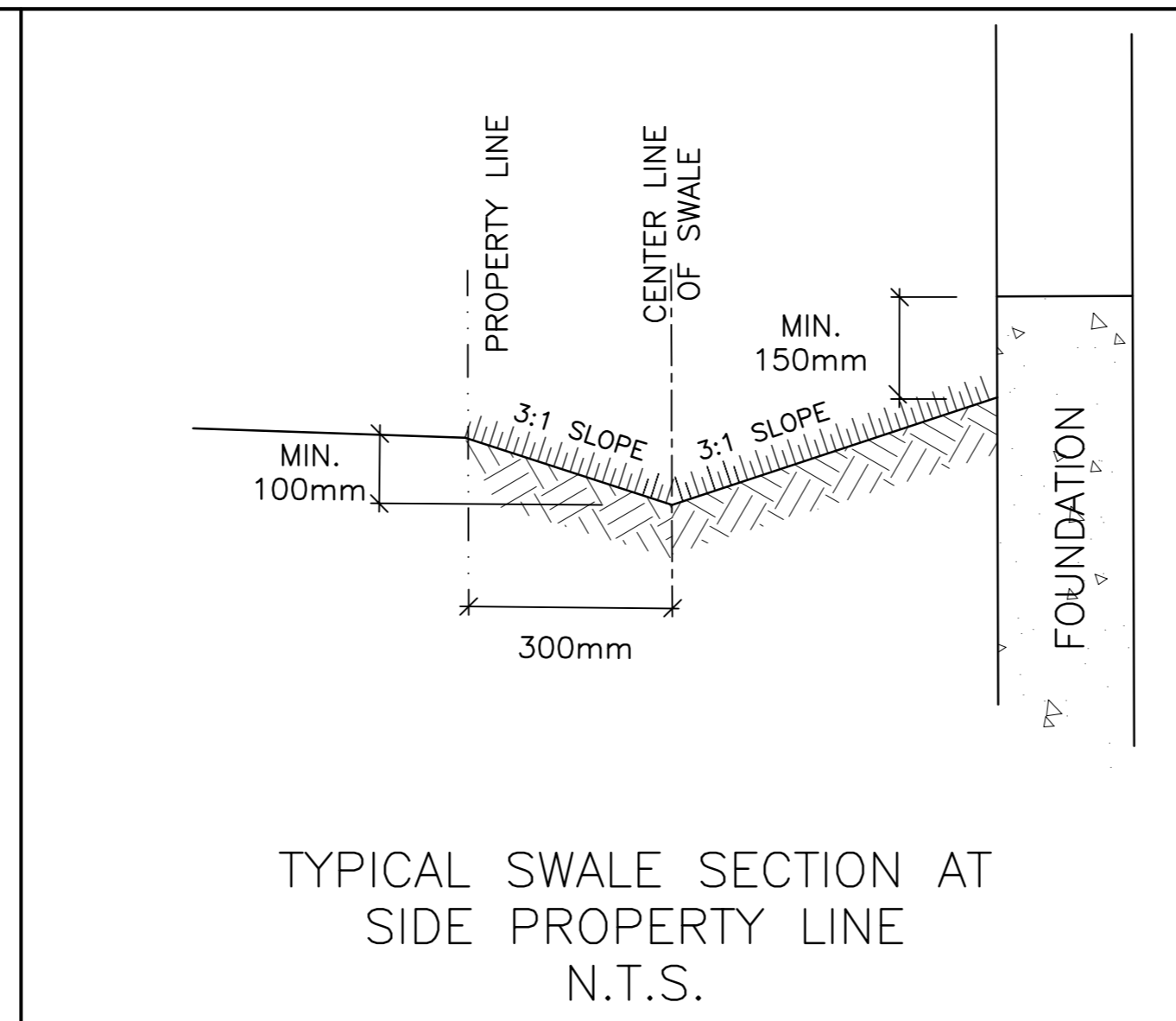
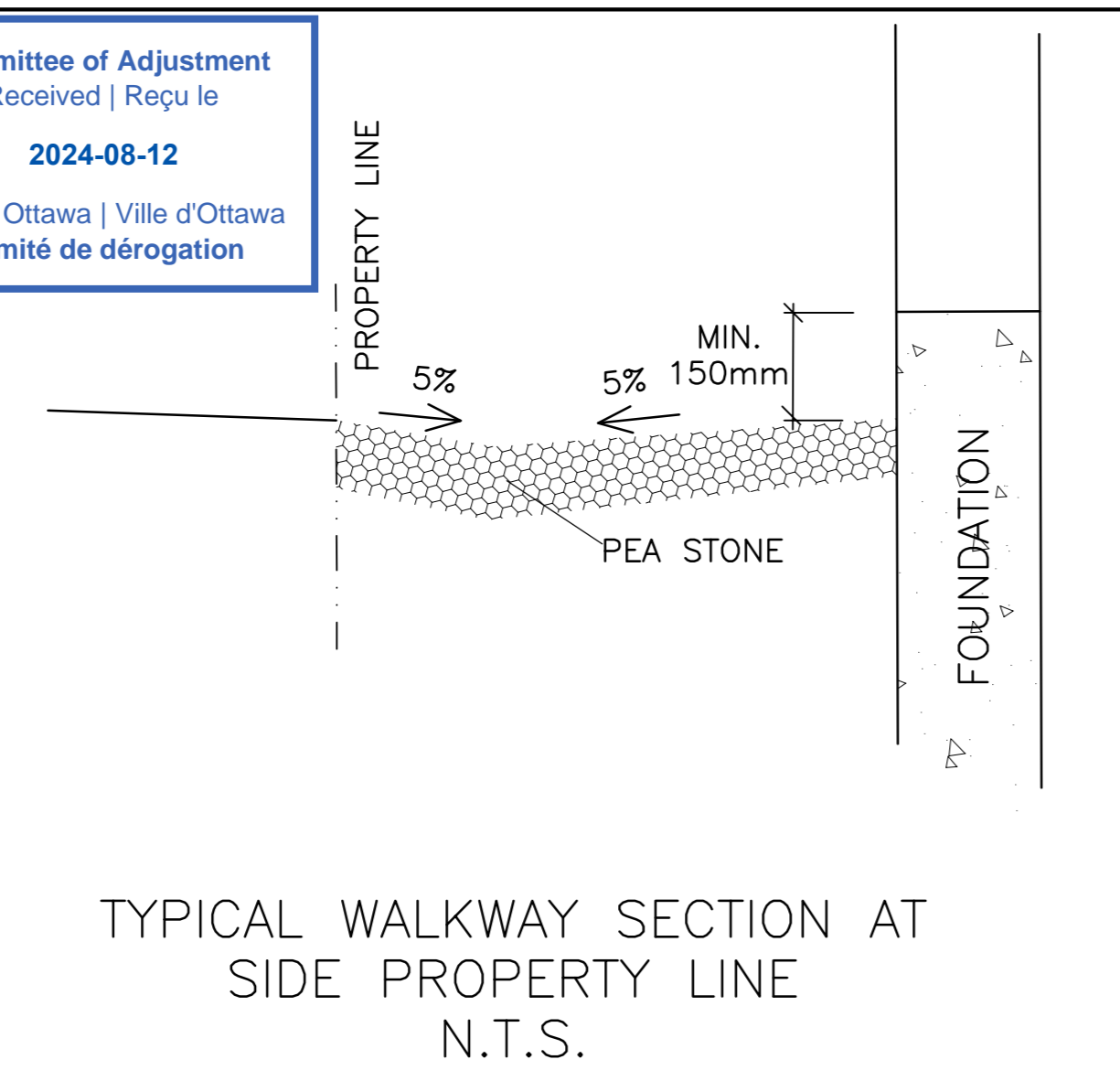
Company: Hobin Architecture
Prepared by: Cristina Hoang
Date: June 05, 2024

Application No.: _____
Application Type: _____
Scale: 1/16" = 1'-0"

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 Page 9 of 9

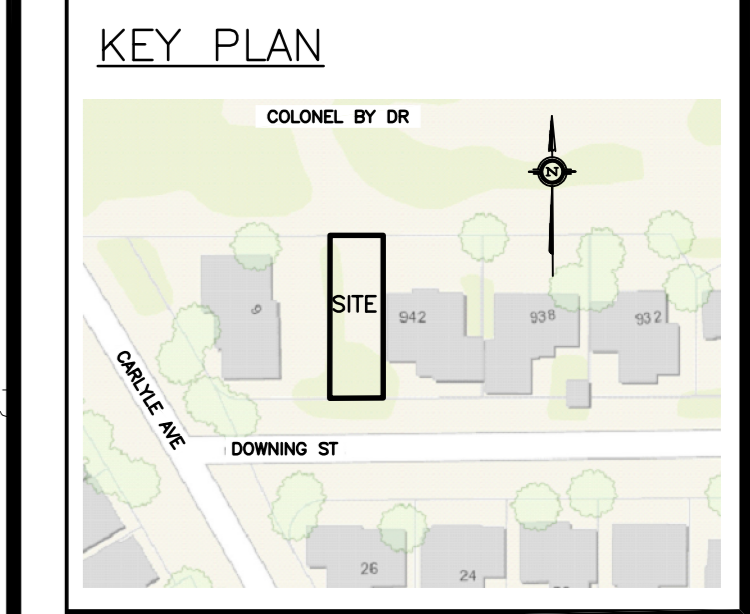
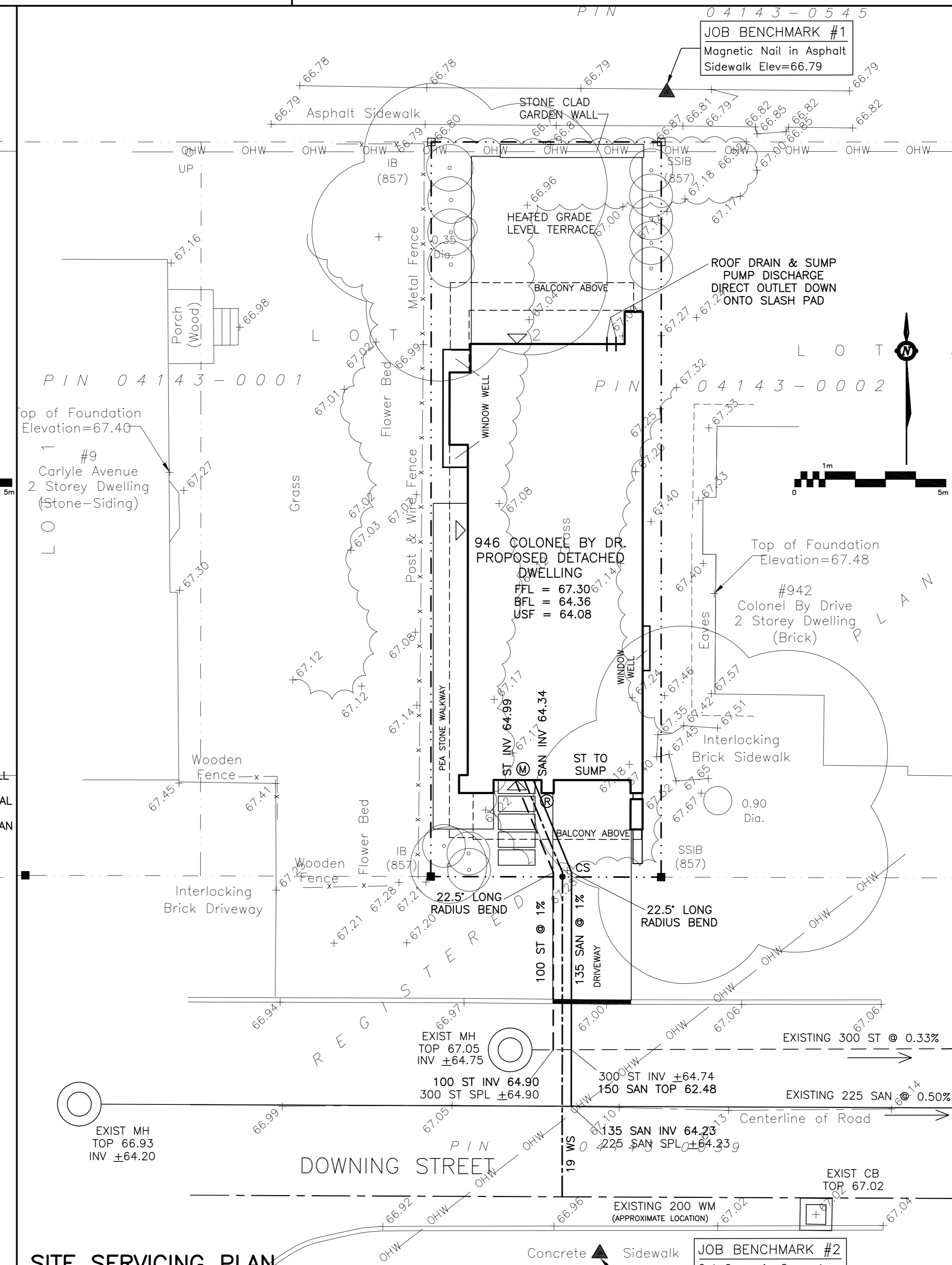
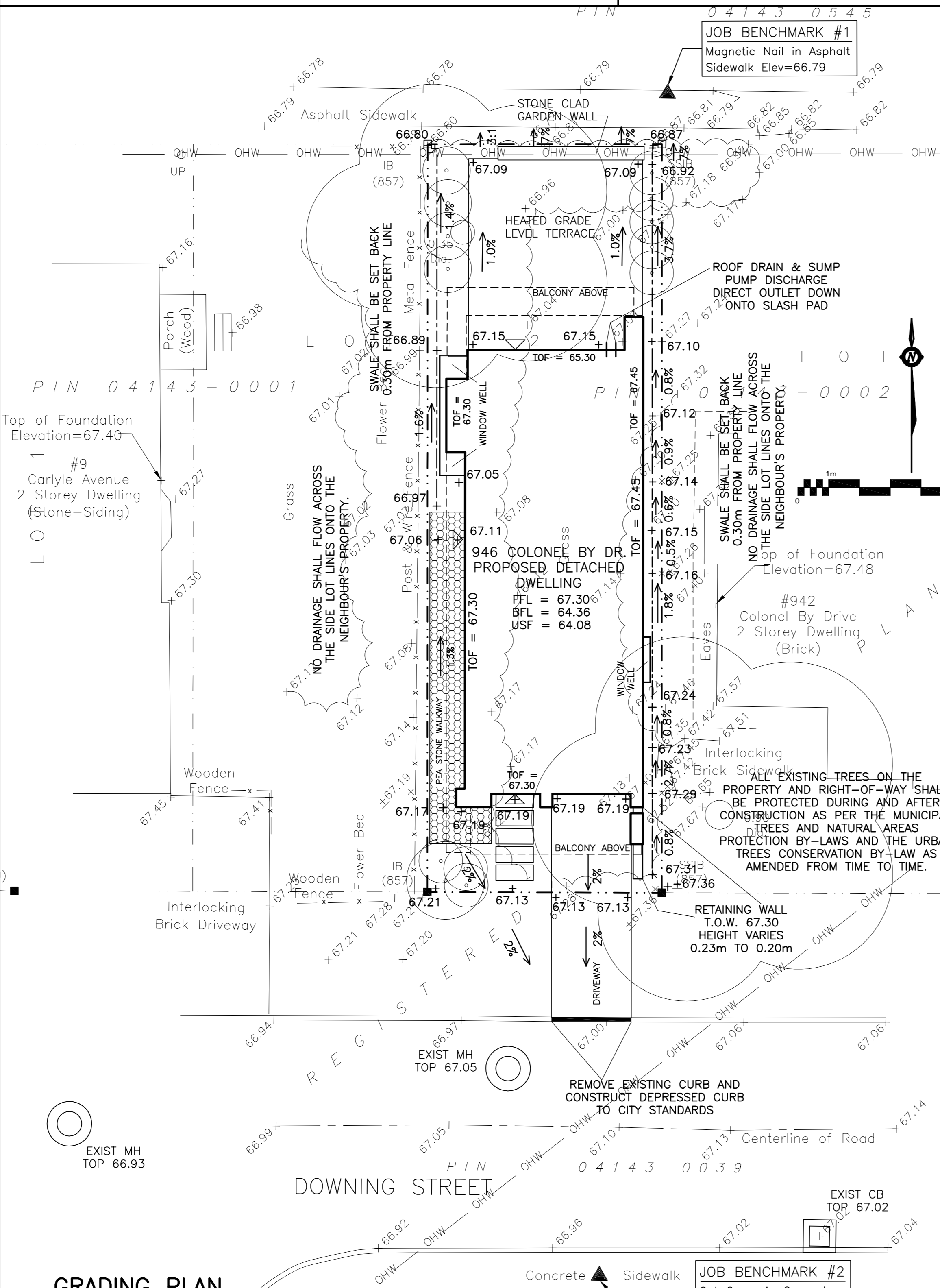
- GENERAL
 - USE BAR SCALE TO CONFIRM ACTUAL PLOT SCALE.
 - EXISTING AND NEW ELEVATIONS AND INVERTS SHOWN ARE GEODETIC AND ARE IN METERS.
 - EXISTING ELEVATIONS AND LOCATIONS, INVERTS AND SIZES OF EXISTING SERVICES ARE NOT NECESSARILY SHOWN ON PLAN AND THOSE SHOWN ARE DERIVED FROM AVAILABLE INFORMATION AND MUST BE CONFIRMED ON SITE BEFORE COMMENCING CONSTRUCTION. REPORT ANY DIFFERENCES TO ENGINEER.
 - SITE BOUNDARIES AND EXISTING GRADES AND OTHER FEATURES DERIVED FROM TOPOGRAPHIC SURVEY PREPARED BY FAIRHALL MOFFATT & WOODLAND LIMITED JOB NO. 16500.
 - REFER TO ARCHITECTURAL / LANDSCAPE SITE PLANS FOR EXACT LOCATIONS OF BUILDINGS, PAVED AREAS, SIDEWALKS ETC.
 - REINSTATE ADJACENT PROPERTIES TO PRE-CONSTRUCTION CONDITIONS.
 - REINSTATE CITY PROPERTIES TO CITY STANDARDS AND TO CITY OF OTTAWA'S SATISFACTION.
 - ALL CITY PROPERTY, DAMAGED AS A RESULT OF THIS WORK, SHALL BE REINSTATED TO THE CITY'S SATISFACTION.
 - ALL RELEVANT WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT CITY STANDARDS AND SPECIFICATIONS.
 - ONTARIO PROVINCIAL STANDARDS & SPECIFICATIONS WILL APPLY WHERE NO CITY STANDARDS ARE AVAILABLE.
 - ALL PROPOSED RETAINING WALLS SHALL BE SETBACK A MINIMUM 0.15m FROM PROPERTY LINE. ALL PROPOSED RETAINING WALLS GREATER THAN 1.0m IN HEIGHT SHALL BE DESIGN BY A PROFESSIONAL ENGINEER REGISTERED IN ONTARIO.
- EROSION AND SEDIMENT CONTROL
 - THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATER COURSE DURING CONSTRUCTION ACTIVITIES. THIS INCLUDES LIMITING THE AMOUNT OF EXPOSED SOIL USING FILTER CLOTH UNDER THE GRATE OF CATCH BASINS AND MANHOLES COVERS AND INSTALLING SILT FENCES AND OTHER EFFECTIVE SEDIMENT TRAPS.
 - PRIOR TO COMMENCEMENT OF CONSTRUCTION AT ALL MUNICIPAL CATCH BASINS ADJACENT TO THE SITE AND AT ANY MANHOLES OR CATCH BASINS THAT WILL RECEIVE DISCHARGE FROM DE-WATERING OPERATIONS AND ALL NEW CATCH BASINS AS THEY ARE INSTALLED, INSTALL SEDIMENT CAPTURE FILTER SOCK INSERTS (TERRAFIX GEOSYNTHETICS INC SILTSACK OR APPROVED EQUAL). INSPECT AT THE END OF EACH DAY AND AFTER EACH RAINFALL, REMOVE SEDIMENT AS RECOMMENDED BY THE MANUFACTURER. IMMEDIATELY REPAIR OR REPLACE ANY DAMAGED FILTER SOCK INSERTS. DO NOT REMOVE UNTIL CONSTRUCTION IS COMPLETE.
 - CONSTRUCTION IS CONSIDERED COMPLETE WHEN THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - ALL STRUCTURES HAVE BEEN BUILT.
 - ALL HARD SURFACES HAVE BEEN CONSTRUCTED.
 - ALL PROPOSED GRASSED AREAS ARE EITHER SOODED OR HAVE A FULL COVERAGE OF WELL ESTABLISHED TURF AND HAVE HAD A MINIMUM OF ONE FULL GROWING SEASON (MAY 15TH TO SEPTEMBER 15TH).
 - THERE ARE NO AREAS OF EXPOSED EARTH.
 - ALL STOCKPILED MATERIALS HAVE BEEN REMOVED.
 - REMOVE EROSION AND SEDIMENT CONTROL MEASURES WHEN CONSTRUCTION IS COMPLETE.
- GRADING & DRAINAGE
 - NEW GRADES TO MATCH EXISTING AT PROPERTY LINE. NO EXCESS DRAINAGE WILL BE DIRECTED TOWARDS THE NEIGHBOUR'S PROPERTY DURING AND AFTER CONSTRUCTION. THERE WILL BE NO ALTERATION TO EXISTING GRADE AND DRAINAGE PATTERNS ON PROPERTY LINE.
 - ALL AREAS SHALL BE GRADED TO ENSURE ADEQUATE DRAINAGE AWAY FROM BUILDINGS TO CATCH BASINS, SWALES, DITCHES AND OTHER APPROVED DISPOSAL AREAS. GRADES TO BE GRADUAL BETWEEN FINISHED SPOT ELEVATIONS SHOWN ON DRAWINGS TO PREVENT PONDING.
- SITE SERVICES
 - WATER METER SHALL BE INSTALLED AS PER CITY OF OTTAWA DWG. NO. W30. ALL WATER SERVICE MATERIALS AND CONSTRUCTION METHODS TO CITY OF OTTAWA STANDARDS AND SPECIFICATIONS.
 - PROVIDE A MINIMUM 2.4 m COVER OVER NEW WATER SERVICE CONNECTION. WHERE THE MINIMUM COVER IS NOT POSSIBLE INSULATE AS PER CITY OF OTTAWA DWG. NO. W22. PROVIDE A MINIMUM 300mm VERTICAL SEPARATION BETWEEN SEWERS AND WATER SERVICE CONNECTIONS AND BETWEEN WATERMAIN AND SEWER SERVICE CONNECTIONS.
 - CONNECTION TO WATERMAIN BY CITY OF OTTAWA, CONTRACTOR SHALL PROVIDE EXCAVATION, BACKFILL, AND REINSTATEMENT.
 - WATER SERVICE CONNECTION SHALL BE COPPER ASTM B88 TYPE "K" SOFT. WATER SERVICE CONNECTIONS SHALL BE CONSTRUCTED OF A SINGLE RUN OF PIPE WITH NO JOINTS OR FITTINGS BETWEEN THE STREET LINE OR SOURCE OF SUPPLY ON THE PROPERTY AND THE INSIDE FACE OF THE BUILDING.
 - CONNECT PROPOSED SANITARY AND STORM SEWER SERVICE CONNECTIONS TO EXISTING MUNICIPAL SEWERS USING A PRE-FABRICATED SADDLE CONNECTION.
 - SEWER MATERIAL SHALL BE PVC SDR-28 AND SHALL CONFORM TO CSA B182.2 AND SHALL HAVE A MINIMUM 2% SLOPE WITH RUBBER GASKETS.
 - BEDDING AND SURROUND MATERIAL FOR SEWERS SHALL BE OPSG GRANULAR A. BEDDING AND SURROUND MATERIAL FOR WATERMAIN AND WATER SERVICE CONNECTIONS SHALL BE OPSG GRANULAR A OR OPSG GRANULAR M. RE-CYCLED GRANULAR MATERIALS ARE NOT PERMITTED.
 - THE SANITARY BUILDING DRAIN SHALL BE INSTALLED WITH A FULL-PORT BACKWATER VALVE TO CITY OF OTTAWA STANDARDS AND TO CITY OF OTTAWA DWG. NO. S14.1.
 - THE STORM BUILDING DRAIN SHALL BE INSTALLED WITH A BACKWATER VALVE TO CITY OF OTTAWA STANDARDS AND TO CITY OF OTTAWA DWG. NO. S14.
 - TRENCH DRAIN AND AREA DRAIN SUMP & PUMP:
 - SUBMERSIBLE EFFLUENT PUMP WITH AN IMPELLER CAPABLE OF HANDLING 3/4 INCH (19mm) SOLIDS COMPLETE WITH ON/OFF FLOAT CONTROLS; 30 USgpm @ 23 FEET HEAD (115 L/MIN @ 7.0m); F. E. MYERS ME3F 1/3 HP OR EQUAL. SUMP SHALL BE A MINIMUM 600mm IN DIAMETER AND A MINIMUM 600mm DEEP. ANCHOR SUMP TO PREVENT UPLIFT FROM HYDROSTATIC PRESSURES. PROVIDE A HIGH WATER ALARM. DISCHARGE PIPE SHALL BE SELF-DRAINING. DISCHARGE OUTSIDE ONTO A CONCRETE SPLASH PAD.
 - FOUNDATION DRAIN SUMP & PUMP: SUBMERSIBLE SUMP PUMP WITH AN IMPELLER CAPABLE OF HANDLING 1/2 INCH (12mm) SOLIDS COMPLETE WITH ON/OFF & ALARM FLOAT CONTROLS; 20 USgpm @ 18 FEET HEAD (77 L/MIN @ 5.5m); F. E. MYERS MDC33 1/3 HP OR EQUAL. SUMP SHALL BE A MINIMUM 600mm IN DIAMETER AND A MINIMUM 600mm DEEP. ANCHOR SUMP TO PREVENT UPLIFT FROM HYDROSTATIC PRESSURES. PROVIDE A HIGH WATER ALARM. DISCHARGE PIPE SHALL BE SELF-DRAINING. DISCHARGE OUTSIDE ONTO A CONCRETE SPLASH PAD.
- CONSTRUCTION
 - PRIOR TO COMMENCING WORK:
 - OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FROM THE AUTHORITIES.
 - SIZE, DEPTH AND LOCATION OF EXISTING UTILITIES AND STRUCTURES AS INDICATED ARE FOR GUIDANCE ONLY. EXISTING UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON PLANS. COMPLETENESS AND ACCURACY ARE NOT GUARANTEED. NOTIFY ALL APPLICABLE OWNERS, UTILITY COMPANIES AND AUTHORITIES HAVING JURISDICTION OF PROPOSED WORK AND LOCATE AND CLEARLY IDENTIFY ALL EXISTING SERVICES, UTILITIES AND STRUCTURES ON AND ADJACENT TO SITE. CONFIRM LOCATIONS OF BURIED SERVICES AND UTILITIES BY CAREFUL TEST EXCAVATIONS AND REPORT ANY DIFFERENCES TO THE ENGINEER.
 - COORDINATE AND SCHEDULE WORK WITH THE AUTHORITIES AND OTHER TRADES.
 - MAINTAIN AND PROTECT FROM DAMAGE, SERVICES, UTILITIES AND STRUCTURES ENCOUNTERED.
 - PROTECT EXISTING BUILDINGS, TREES AND OTHER PLANTS, LAWN, FENCING, SERVICE POLES, WIRES, PAVEMENT, SURVEY BENCH MARKS AND MONUMENTS AND OTHER SURFACE FEATURES FROM DAMAGE WHILE WORK IS IN PROGRESS. DO NOT DISTURB SOIL WITHIN BRANCH SPREAD OF TREES OR SHRUBS THAT ARE TO REMAIN.
 - PROVIDE TRAFFIC CONTROL AND SAFETY MEASURES INCLUDING ANY NECESSARY PERSONNEL AND THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNAGE AND BARRIERS.
 - SHORE AND BRACE EXCAVATIONS, PROTECT SLOPES AND BANKS AND PERFORM ALL WORK IN ACCORDANCE WITH OCCUPATIONAL HEALTH AND SAFETY ACT AND OTHER AUTHORITIES HAVING JURISDICTION.
 - CUT PAVEMENT AND / OR SIDEWALK NEATLY ALONG LIMITS OF PROPOSED EXCAVATION IN ORDER THAT SURFACE MAY BREAK EVENLY AND CLEANLY.
 - MAINTAIN RECORD DRAWINGS AND RECORD ACCURATELY DEVIATIONS FROM THE ORIGINAL CONTRACT DOCUMENTS CAUSED BY SITE CONDITIONS AND CHANGES MADE BY CHANGE ORDER OR ADDITIONAL INSTRUCTION. RECORD DRAWINGS SHALL INCLUDE BUT NOT NECESSARILY LIMITED TO CHANGES OF DIMENSION AND DETAIL, AND HORIZONTAL AND VERTICAL LOCATIONS OF UNDERGROUND UTILITIES AND APPURTENANCES REFERENCED TO A PERMANENT SURFACE STRUCTURE.
 - REINSTATE PAVEMENTS AND SIDEWALKS DISTURBED BY EXCAVATION TO THICKNESS, STRUCTURE AND ELEVATION WHICH EXISTED BEFORE EXCAVATION.
 - CLEAN AND REINSTATE AREAS AFFECTED BY THE WORK.

Committee of Adjustment
Received | Reçu le
2024-08-12
City of Ottawa | Ville d'Ottawa
Comité de dérogation



DRAWING LEGEND

- CB [] CATCH BASIN
- MH () MANHOLE
- CB/MH () CATCH BASIN/MANHOLE
- WS/WM [] WATER SERVICE / WATERMAIN
- SAN [] SANITARY SEWER
- ST [] STORM SEWER
- CS [] CURB STOP
- FH [] FIRE HYDRANT
- W [] WATER METER
- RM [] REMOTE WATER METER READOUT
- UP [] UTILITY POLE
- EXISTING GRADE ELEVATION
- + 93.79 PROPOSED GRADE ELEVATION
- 0.5% EXISTING SLOPE OF GRADE
- 0.5% SLOPE OF GRADE
- SWALE/DITCH (CENTERLINE)
- PROPERTY LINE
- FFL FIRST FLOOR ELEVATION
- TOF TOP OF FOUNDATION ELEVATION
- BFL BASEMENT FLOOR ELEVATION
- USF UNDERSIDE OF FOOTING ELEVATION



No.	Date	REVISION
3	MAY 6-16	RE-ISSUED FOR APPROVAL
2	JUN 29-15	ISSUED FOR APPROVAL
1	JUN 26-15	ISSUED FOR CLIENT REVIEW

D. B. GRAY ENGINEERING INC.
Stormwater Management - Grading & Drainage - Storm & Sanitary Sewers - Watermain
700 Long Point Circle Tel: 613-425-8044
Ottawa, Ontario K1T 4E9 dgray@rogers.com

Project
PROPOSED SINGLE DWELLING
946 COLONEL BY DRIVE
OTTAWA, ONTARIO

Drawing Title
SITE SERVICING & GRADING PLAN

Engineer's Seal
D.B. GRAY
17016502
MAY 6-16
PROVINCE OF ONTARIO
NOT VALID UNLESS SIGNED & DATED

Drawn D.B.G.
Hor. Scale 1:100
Vert. Scale
Date JUN 26-15
Job 14080
Drawing No. **C-1 of 1**

NOTICE OF HEARING

Pursuant to the Ontario *Planning Act*

Consent Application

Panel 1

Wednesday, September 18, 2024
1 p.m.

Ben Franklin Place, Main Floor Chamber, 101 Centrepointe Drive
and by videoconference

Owners of neighbouring properties within 60 metres of the property address below are receiving this notice in case they want to comment on the application(s) and/or participate at the hearing.

The hearing can also be viewed on the Committee of Adjustment [YouTube](#) page.

Simultaneous interpretation in both official languages, accessible formats and communication supports are available for any specific agenda item by contacting the Committee of Adjustment at least 72 hours before the hearing.

File No.: D08-01-24/B-00149
Application: Consent under section 53 of the *Planning Act*
Applicants: Mike Robinson and Linda Uniac
Property Address: 173 Riverdale Avenue
Ward: 17 - Capital
Legal Description: Lot 123 Registered Plan 283252
Zoning: R3P
Zoning By-law: 2008-250

APPLICANTS' PROPOSAL / PURPOSE OF THE APPLICATION:

The Applicants want to subdivide their property into two separate parcels of land to create separate ownership for each half of an existing semi-detached dwelling.

CONSENT IS REQUIRED FOR THE FOLLOWING:

The Applicants requires the Committee's consent for Conveyances. The property is shown as Parts 1 & 2 on a draft 4R-plan filed with the application and the separate parcels will be as follows:

The severed land, shown as Part 1 on the draft 4R-Plan, will have a frontage of 6.85 metres, a depth of 32.02 metres, and an area of 221 square metres. This lot known municipally as 169 Riverdale Avenue.

The retained land, shown as Part 2 on said plan, will have a frontage of 8.37 metres on Riverdale Avenue and 7.62 metres on Avenue Road, a depth of 27.87 metres, and an area of 237 square metres. This lot is known municipally as 173 Riverdale Avenue.

The property is not the subject of any other current application under the *Planning Act*.

FIND OUT MORE ABOUT THE APPLICATION(S)

For more information about this matter, contact the Committee of Adjustment at the address, email address, website or QR code below.

Visit **[Ottawa.ca/CommitteeofAdjustment](https://ottawa.ca/CommitteeofAdjustment)** and follow the link to **Next hearings** to view panel agendas and application documents, including **proposal cover letters, plans, tree information, hearing notices, circulation maps, and City planning reports**. Written decisions are also published once issued and translated.

If you don't participate in the hearing, you won't receive any further notification of the proceedings.

If you want to be notified of the decision following the hearing, and of any subsequent appeal to the Ontario Land Tribunal, send a written request to the Committee.

HOW TO PARTICIPATE

Submit written or oral comments before the hearing: Email your comments to cofa@ottawa.ca at least 24 hours before the hearing to ensure they are received by the panel adjudicators. You may also call the Coordinator at 613-580-2436 to have your comments transcribed.

Register to Speak at the hearing at least 24 hours before by contacting the Committee Coordinator at 613-580-2436 or at cofa@ottawa.ca. You will receive details on how to participate by videoconference. If you want to share a visual presentation, the Coordinator can provide details on how to do so. Presentations are limited to five minutes, and any exceptions are at the discretion of the Chair.

Hearings are governed by the Committee of Adjustment's *Rules of Practice and Procedure* accessible online.

ALL SUBMITTED INFORMATION BECOMES PUBLIC

Be aware that, in accordance with the *Planning Act*, the *Municipal Act* and the *Municipal Freedom of Information and Privacy Act*, all information presented to the Committee of Adjustment is considered public information and can be shared with any interested individual. Information you choose to disclose in your correspondence and during the hearing, including your personal information, will become part of the public record, and shared with Committee Members, the Applicant(s) or their agent and any other interested individual, and potentially posted online and become searchable on the Internet.

COMMITTEE OF ADJUSTMENT

The Committee of Adjustment is the City of Ottawa's quasi-judicial tribunal created under the Ontario *Planning Act*. Each year, it holds hearings on hundreds of applications under the *Planning Act* in accordance with the Ontario *Statutory Powers Procedure Act*, including consent to sever land and minor variances from the zoning requirements.

DATED: August 30, 2024



Ce document est également offert en français.

Committee of Adjustment
 City of Ottawa
 101 Centrepointe Drive
 Ottawa ON K2G 5K7
Ottawa.ca/CommitteeofAdjustment
cofa@ottawa.ca
 613-580-2436



Comité de dérogation
 Ville d'Ottawa
 101, promenade Centrepointe
 Ottawa ON K2G 5K7
Ottawa.ca/Comitedederogation
cded@ottawa.ca
 613-580-2436

AVIS D'AUDIENCE

Conformément à la *Loi sur l'aménagement du territoire de l'Ontario*

Demande d'autorisation

Groupe 1

Mercredi 18 septembre 2024

13 h

Place-Ben-Franklin, salle Chamber, 101, promenade Centrepointe, et par vidéoconférence

Les propriétaires des biens-fonds situés dans un rayon de 60 mètres de l'adresse indiquée ci-dessous reçoivent le présent avis afin d'avoir la possibilité de formuler des observations sur la ou les demandes et de participer à l'audience s'ils le souhaitent.

L'audience pourra être visionnée sur la chaîne [YouTube](#) du Comité de dérogation.

Les participants pourront bénéficier d'une interprétation simultanée dans les deux langues officielles et de formats accessibles et d'aides à la communication pour toute question à l'ordre du jour s'ils en font la demande auprès du Comité au moins 72 heures à l'avance.

Dossier : D08-01-24/B-00149
Demande : Autorisation en vertu de l'article 53 de la *Loi sur l'aménagement du territoire*
Propriétaires/requérants : Mike Robinson et Linda Uniac
Adresse de la propriété : 173, avenue Riverdale
Quartier : 17 – Capitale
Description officielle : Lot 123, plan enregistré 283252
Zonage : R3P
Règlement de zonage : 2008-250

PROPOSITION DU REQUÉRANT ET OBJET DE LA DEMANDE :

Les requérants souhaitent lotir leur propriété en deux parcelles afin d'établir un titre de propriété distinct pour chaque moitié d'une habitation jumelée existante.

AUTORISATION REQUISE :

Les requérants sollicitent l'autorisation du Comité en vue de cessions. La propriété est représentée par les parties 1 et 2 sur le plan 4R préliminaire qui accompagne la demande. Les parcelles distinctes sont décrites ci-après:

Le terrain morcelé est représenté par la partie 1 sur le plan 4R déposé avec la demande. Il aura une façade de 6,85 mètres, une profondeur de 32,02 mètres et une superficie de 221 mètres carrés. Ce lot porte pour adresse municipale le 169, avenue Riverdale.

Le terrain conservé est représenté par la partie 2 dudit plan. Il aura une façade de 8,37 mètres sur l'avenue Riverdale et une façade de 7,62 mètres sur le chemin Avenue, une profondeur de 27,87 mètres et une superficie de 237 mètres carrés. Ce lot porte pour adresse municipale le 173, avenue Riverdale.

La propriété ne fait l'objet d'aucune autre demande en cours en vertu de la *Loi sur l'aménagement du territoire*.

POUR EN SAVOIR PLUS SUR LA DEMANDE

Pour obtenir plus de renseignements à ce sujet, communiquez avec le Comité de dérogation via l'adresse, le courriel, le site Web ou le code QR ci-dessous.

Visitez le site **Ottawa.ca/Comité de dérogation** et suivez le lien **Prochaines audiences** pour consulter l'ordre du jour du Comité et les documents relatifs aux demandes, y compris les **lettres d'accompagnement des propositions, les plans, l'information sur les arbres, les avis d'audience, les cartes de diffusion et les rapports d'urbanisme de la Ville**. Les décisions écrites sont également publiées une fois rendues et traduites.

Si vous ne participez pas à l'audience, vous ne recevrez pas d'autre avis à ce sujet.

Si vous souhaitez recevoir un avis de la décision prise à l'issue de l'audience et de tout appel ultérieur interjeté devant le Tribunal ontarien de l'aménagement du territoire, faites-en la demande par écrit au Comité.

COMMENT PARTICIPER

Présentez vos observations écrites ou orales avant l'audience : Veuillez faire parvenir vos observations par courriel à cded@ottawa.ca au moins 24 heures avant l'audience afin de vous assurer que les membres des groupes chargés du rendu des décisions les ont bien reçues. Vous pouvez également téléphoner au coordonnateur ou à la coordonnatrice au numéro 613-580-2436 pour demander que vos observations soient transcrites.

Inscrivez-vous au moins 24 heures à l'avance en communiquant avec le coordonnateur ou la coordonnatrice du Comité au numéro 613-580-2436 ou à l'adresse à cded@ottawa.ca. Vous recevrez des détails sur la façon de participer par vidéoconférence. Si vous souhaitez faire une présentation visuelle, le coordonnateur ou la coordonnatrice sera en mesure de vous fournir des détails sur la façon de procéder. Les présentations sont limitées à cinq minutes et toute exception est laissée à la discrétion du président ou de la présidente.

Les audiences sont régies par les *Règles de pratique et de procédure* du Comité de dérogation et sont accessibles en ligne.

TOUS LES RENSEIGNEMENTS PRÉSENTÉS DEVIENNENT PUBLICS

Sachez que, conformément à la Loi sur l'aménagement du territoire, à la *Loi sur les municipalités* et à la *Loi sur l'accès à l'information municipale et la protection de la vie privée*, les observations écrites adressées au Comité de dérogation sont considérées comme des renseignements publics et peuvent être communiquées à toute personne intéressée. Les renseignements que vous choisissez de divulguer dans votre correspondance, notamment vos renseignements personnels, seront versés au dossier public et communiqués aux membres du Comité, au(x) requérant(s) ou à l'agente ou agent, ainsi qu'à toute autre personne intéressée et pourront éventuellement être affichés en ligne et faire l'objet d'une recherche sur Internet.

COMITÉ DE DÉROGATION

Le Comité de dérogation est le tribunal quasi judiciaire de la Ville d'Ottawa créé en vertu de la *Loi sur l'aménagement du territoire* de l'Ontario. Chaque année, il tient des audiences sur des centaines de demandes en vertu de la *Loi sur l'aménagement du territoire*, conformément à la *Loi sur l'exercice des compétences légales* de l'Ontario, y compris des demandes d'autorisation de morcellement de terrain et de dérogation mineure aux exigences en matière de zonage.

FAIT le 30 août 2024



This document is also available in English.

Committee of Adjustment

City of Ottawa

101 Centrepointe Drive

Ottawa ON K2G 5K7

Ottawa.ca/CommitteeofAdjustment

cofa@ottawa.ca

613-580-2436



Comité de dérogation

Ville d'Ottawa

101, promenade Centrepointe

Ottawa ON K2G 5K7

Ottawa.ca/Comitedederogation

cded@ottawa.ca

613-580-2436

Terri-Anne Boehme, BOEMAC
1760 Dunrobin Road
Kanata, Ontario K2K1X7

July 31, 2024

City of Ottawa
Committee of Adjustment
Ben Franklin Place, 4th Floor
101 Centerpointe Drive
Ottawa, Ontario, K2G 5K7

Committee of Adjustment
Received | Reçu le

2024-08-12

City of Ottawa | Ville d'Ottawa
Comité de dérogation

Re: 169 & 173 Riverdale Ave - Request for Severance of Constructed Semi-Dwelling

Dear Planner,

I am writing to formally request a severance for a semi-dwelling located at 169 & 173 Riverdale Ave. The Owners would like to subdivide their property into two parcels of land to create separate ownerships for each half of the semi-detached dwelling built.

Details of the Request:

1. Property Description:

- o Address: 169 and 173 Riverdale Ave, Ottawa, Ontario
- o Legal Description: Lot 124, Reg. Plan 283252
- o Zoning: R3P
- o Ward: 17 – Capital

2. Supporting Documents:

- o 1 copy of the completed Application Form
- o 1 copy of this cover letter prepared by Terri-Anne Boehme, BOEMAC
- o 1 copy of the Minor Variance D08-02-19/A-00013 Decision
- o 1 full-sized copy and 1 reduced copy of the Draft Plan of Survey showing each of the severed and retained lots, prepared by Monument-Urso Surveying Ltd. Ontario Land Surveyors
- o 1 full-sized copy and 1 reduced copy of the Site Plan and Elevation Drawings prepared by Precision Home Design.
- o 1 full-sized copy and 1 reduced copy of the approved Lot Grading & Servicing Plan prepared by T. L Mak Engineering Consultants Ltd.
- o 1 copy of the Tree Information Report
- o A cheque payable to the City of Ottawa, and a copy of the Parcel Register showing ownership

3. Planning Act

- o The proposed severance does not require a Plan of Subdivision; as the proposal is intended to facilitate the creation of one additional residential lot which complies with the underlying zone and minor variance approval March 29, 2019. The semi-detached dwellings complied with the appropriate performance standards as per the approved building permit, site servicing and lot/grading plan. The units were developed in a proper manner to coordinate with the approved semi-design, street character and municipality requirements for each unit to be separate.

4. Pre-Consultations

- o Planning Forester Nancy Young and Jason Chiquen confirmed that the original TIR filed for Building Permit was valid as no trees were removed during construction
- o Hydro Ottawa confirmed that the utility layout was completed for dedicated separate meters along with an upgraded transformer to power both units
- o All infrastructure (ROW, Water, Road Cut permits) have all been completed to provide separate services to each dwelling
- o Minor Variance provided the neighbors and neighborhood association with the understanding a semi was to be constructed; along with land planning, street character analysis and land intent; the severance application request is to solidify the independence of each dwelling land parcel

I am committed to ensuring that this process complies with all relevant regulations and standards and am open to discussing any modifications or additional requirements you might have.

Thank you for considering my request.

Sincerely,

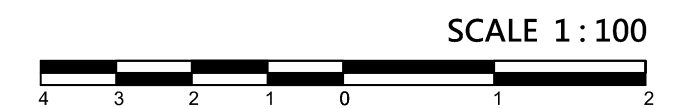
A handwritten signature in black ink, appearing to read 'TAB', enclosed within a large, loopy circular flourish.

Terri-Anne Boehme

Committee of Adjustment
Received | Reçu le
2024-08-12
City of Ottawa | Ville d'Ottawa
Comité de dérogation

SCHEDULE			
PART	LOT	PLAN	PIN
1	ALL OF 123	283252	ALL OF 04129-0004
2			

DRAFT PLAN OF SURVEY OF
LOT 123
REGISTERED PLAN 283252
CITY OF OTTAWA
MONUMENT-URSO SURVEYING LTD.



The intended plot size of the plan is 610 mm in width by 457 mm in height when plotted at a scale of 1:100.

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE XXTH DAY OF JULY, 2024.

DATE: _____ J.E. ANDERSON
ONTARIO LAND SURVEYOR

This plan of survey relates to AOLS Plan Submission Form Number V-XXXX

LEGEND

SYMBOL	DENOTES	FOUND SURVEY MONUMENT
■	"	FOUND SURVEY MONUMENT
□	"	PLANTED SURVEY MONUMENT
IB	"	IRON BAR
SIB	"	STANDARD IRON BAR
SSIB	"	SHORT STANDARD IRON BAR
CC	"	CUT CROSS
(WIT)	"	WITNESS
ACC.	"	ACCEPTED
MEAS.	"	MEASURED
(1476)	"	MONUMENT-URSO SURVEYING LTD.
(P1)	"	(AOG) PLAN DATED DECEMBER 10, 2021

BEARING NOTES

BEARINGS ARE MTM GRID, DERIVED FROM CAN-NET REAL-TIME NETWORK GPS OBSERVATIONS AND ARE REFERRED TO THE CENTRAL MERIDIAN (76°30' WEST LONGITUDE) OF MTM ZONE 9 NAD83 (CSRS) (2010.0).

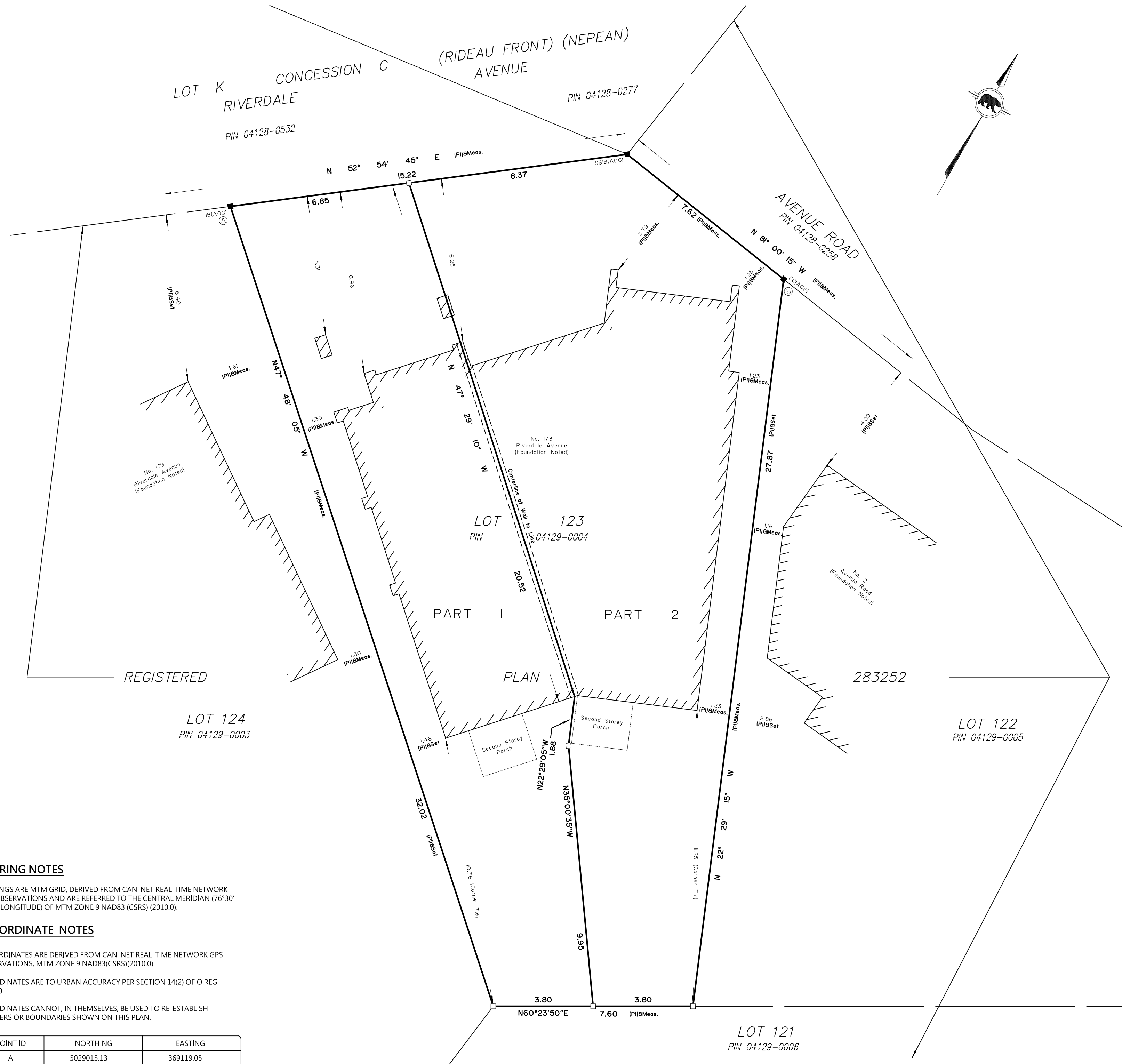
CO-ORDINATE NOTES

CO-ORDINATES ARE DERIVED FROM CAN-NET REAL-TIME NETWORK GPS OBSERVATIONS, MTM ZONE 9 NAD83(CSRS)(2010.0).

COORDINATES ARE TO URBAN ACCURACY PER SECTION 14(2) OF O.REG 216/10.

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

POINT ID	NORTHING	EASTING
A	5029015.13	369119.05
B	5029023.12	369138.72



Monument-Urso Surveying Ltd.
Ontario Land Surveyors | Canada Land Surveyors
1755 WOODWARD DRIVE
OTTAWA ON, K2C 0P9
536 C FOURTH LINE EAST
SAULT STE. MARIE ON, P6A 6J8

TEL: (613) 800-1583
TEL: (705) 254-7851
FAX: (705) 254-5571

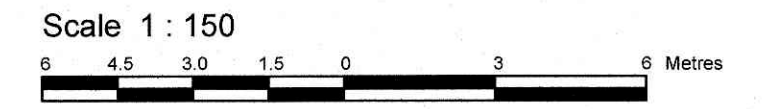
DRAWN: JA
PROCESSED: XX

FIELD: XX/XX
CHECKED: XX

FILE No: 24-0086 C1

**SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of**

**LOT 123
REGISTERED PLAN 283252
CITY OF OTTAWA**
Surveyed by Annis, O'Sullivan, Vollebek Ltd.



Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 25th day of November, 2021.

December 10, 2021
Date
Andrew J. Broxham
Ontario Land Surveyor

PART 2
1. REGISTERED RIGHTS-OF-WAY/EASEMENTS
No rights-of-way or easements were found to be registered against the subject property.
2. PROPERTY IMPROVEMENTS
Not applicable. This is a foundation survey only; future structures above foundation level and future site improvements cannot be commented on.
3. COMPLIANCE WITH MUNICIPAL ZONING BYLAWS
Compliance is not certified by this report.
4. ADDITIONAL REMARKS
The building ties are to the untargeted concrete foundation walls.

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to MICHAEL ROBINSON & LINDA UNIAC, ("The Client"), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

Notes & Legend

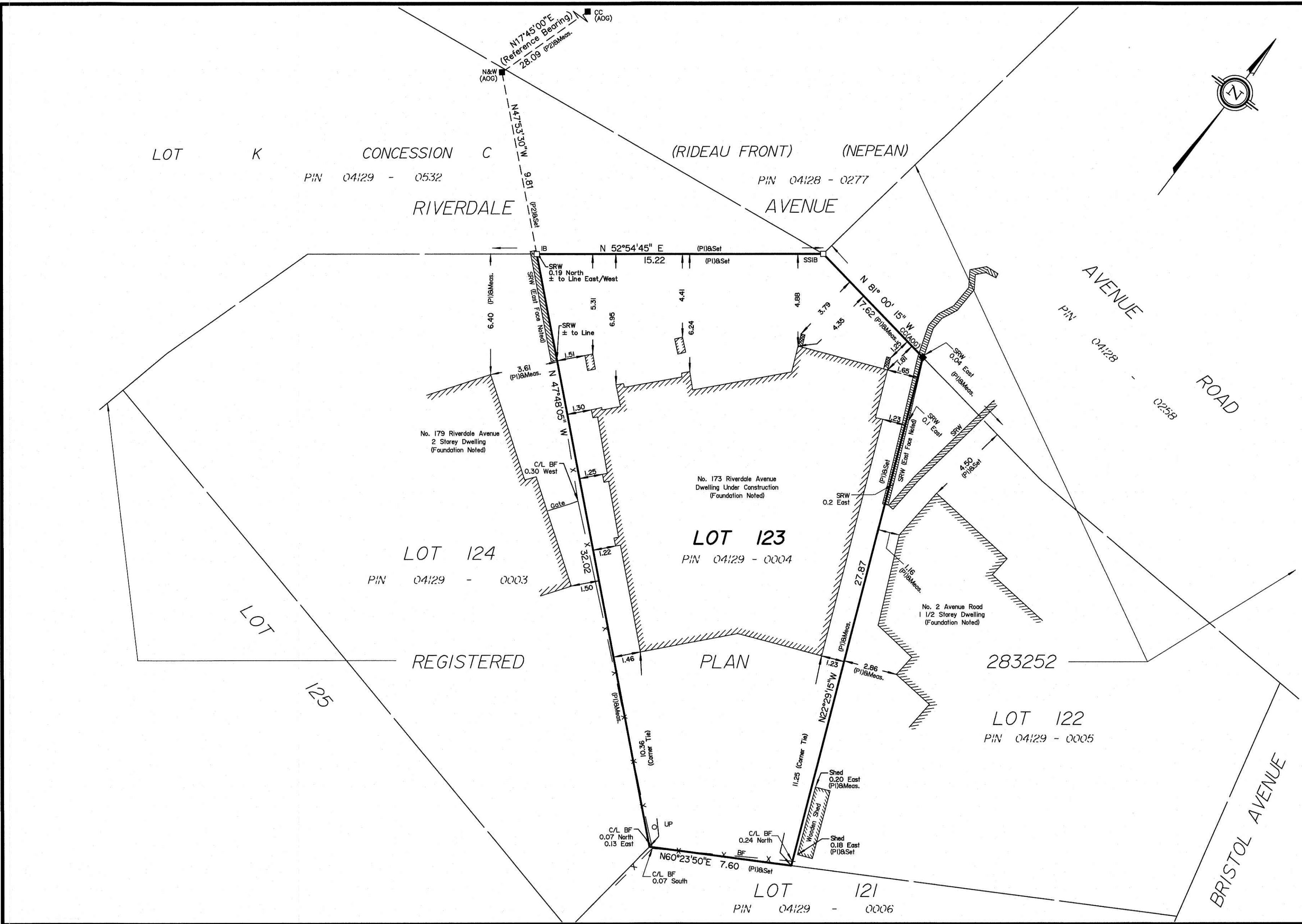
□	Denotes	Survey Monument Planted
■	"	Survey Monument Found
SIB	"	Standard Iron Bar
SSIB	"	Short Standard Iron Bar
IB	"	Iron Bar
CC	"	Cut Cross
N&W	"	Nail & Washer
(WIT)	"	Witness
(AOG)	"	Annis, O'Sullivan, Vollebek Ltd.
Meas.	"	Measured
C/L	"	Centreline
BF	"	Board Fence
SRW	"	Stone Retaining Wall
UP	"	Utility Pole
(P1)	"	(AOG) Plan dated May 23, 2018
(P2)	"	Records by (AOG), Ref. No. 17940-18

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-19579

THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL
COPY ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29 (3).

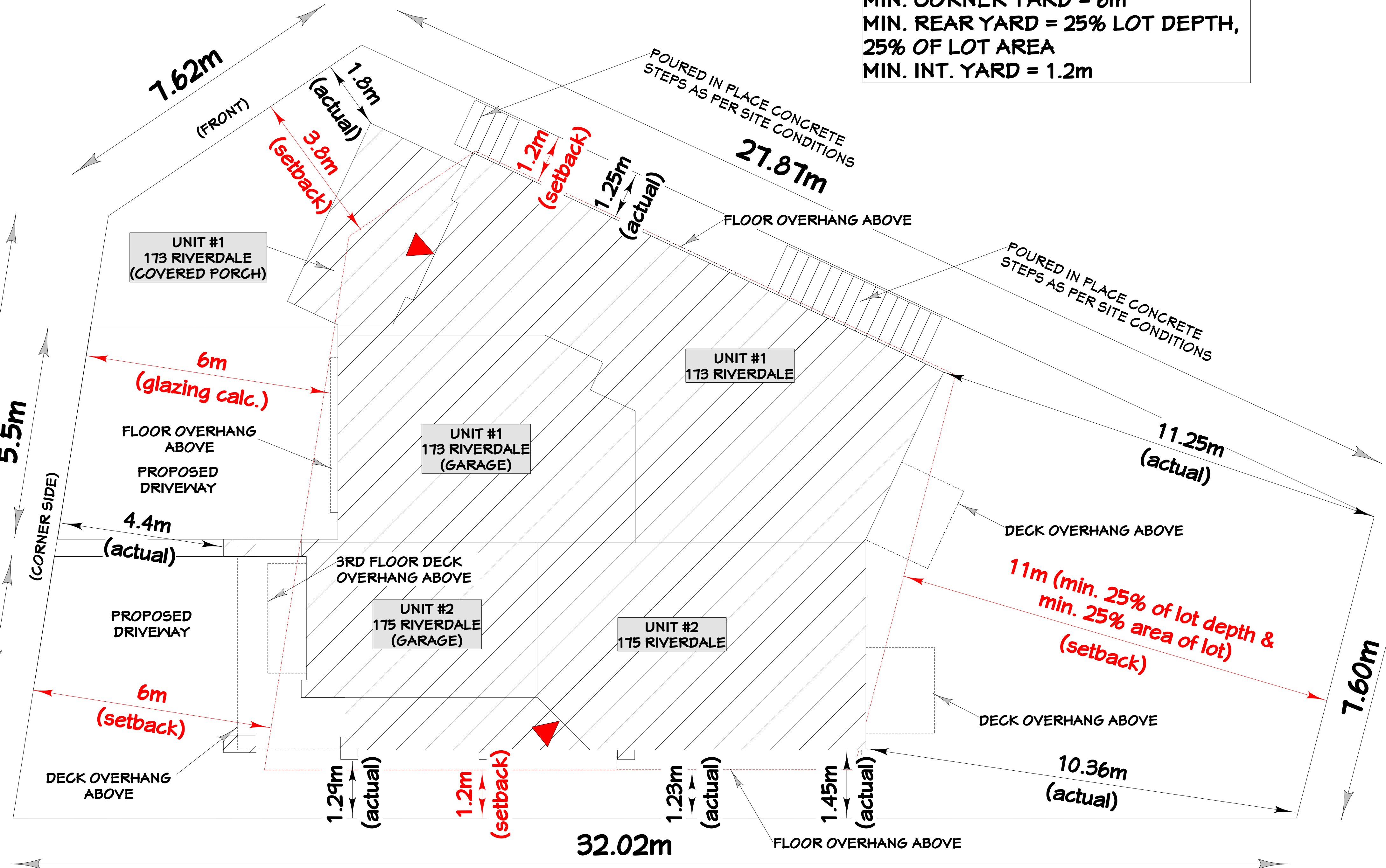
Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

© Annis, O'Sullivan, Vollebek Ltd. 2021. "THIS PLAN IS PROTECTED BY COPYRIGHT"
ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: Nepean@aovtld.com
Ontario Land Surveyors Job No. 17940-18 Robinson Lt 123 PL 283252 DUC F MF

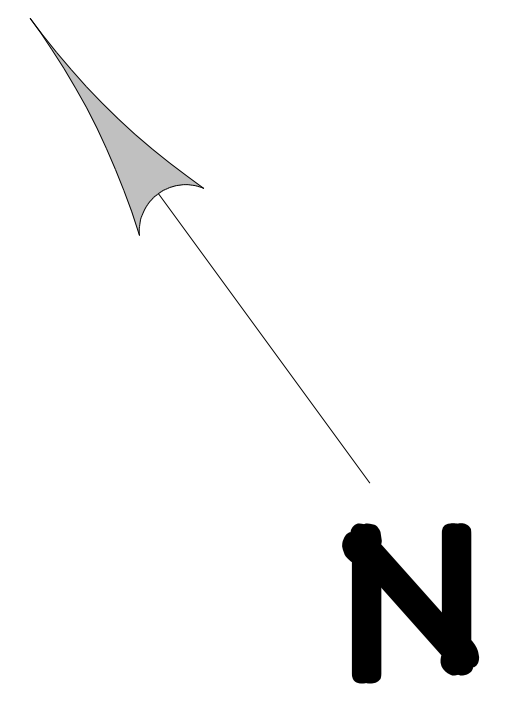


173 & 175 RIVERDALE AVE.

15.22m
5.5m
3m
3.5m
(CORNER SIDE)



R3P ZONE
 MIN LOT WIDTH = 12m
 MIN LOT AREA = 360 sq.m.
 MAX. BLDG. HEIGHT = 11m
 MIN. FRONT YARD = 3.8m
 MIN. CORNER YARD = 6m
 MIN. REAR YARD = 25% LOT DEPTH,
 25% OF LOT AREA
 MIN. INT. YARD = 1.2m



PROPOSED BUILDING:
 -3 STOREYS ABOVE GRADE w/ REAR WALKOUT + 4TH FLOOR ROOF DECK
 -SINGLE GARAGE FOR EACH OF 2 MAIN FLOOR UNITS

LOT AREA = 458 SQ.M.
 25% OF AREA = 114.5 SQ.M.
 ACTUAL REAR YARD AREA = 114.8 SQ.M.



Please note that renderings are for illustration purposes only and may not reflect exact choices & inclusions in project.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code. Qualification Information:

Jeremy McMullen  22021
 Precision Home Design 113690

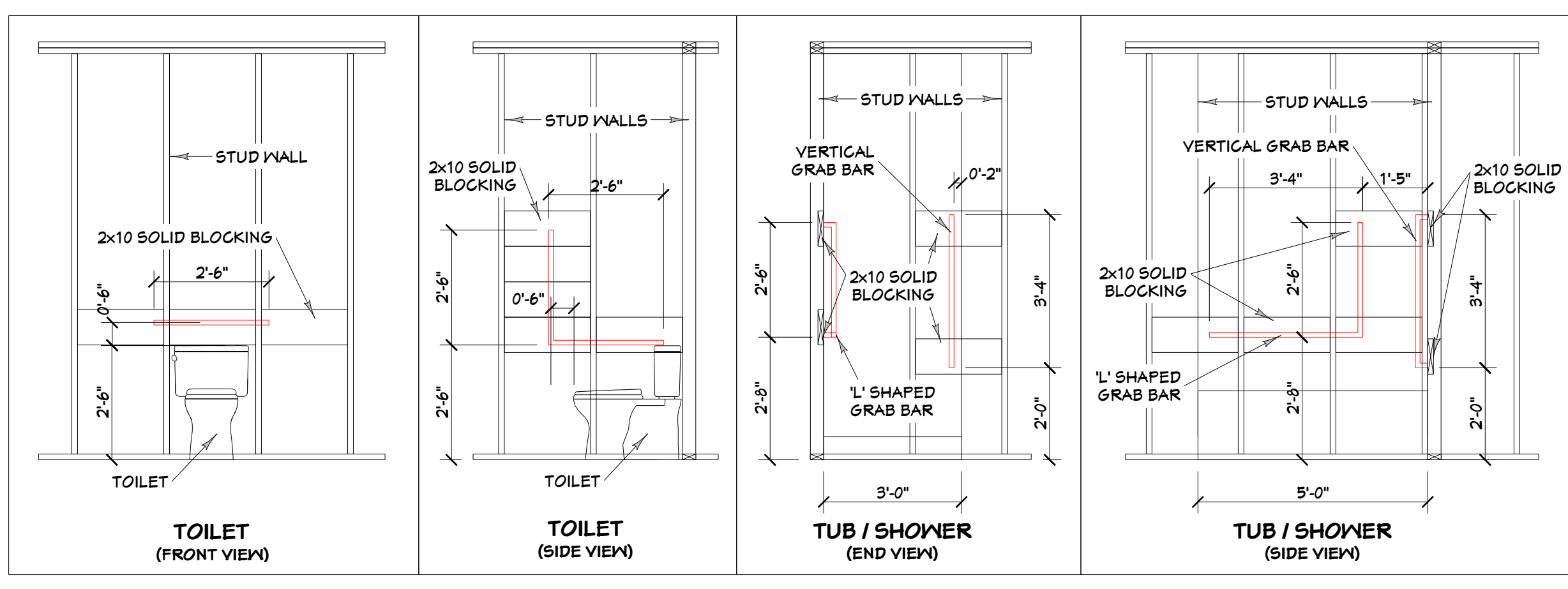
CUSTOMER:
ROBINSON RESIDENCE
 173 & 175 RIVERDALE AVE
 OTTAWA, ON

SHEET TITLE:
SITE PLAN

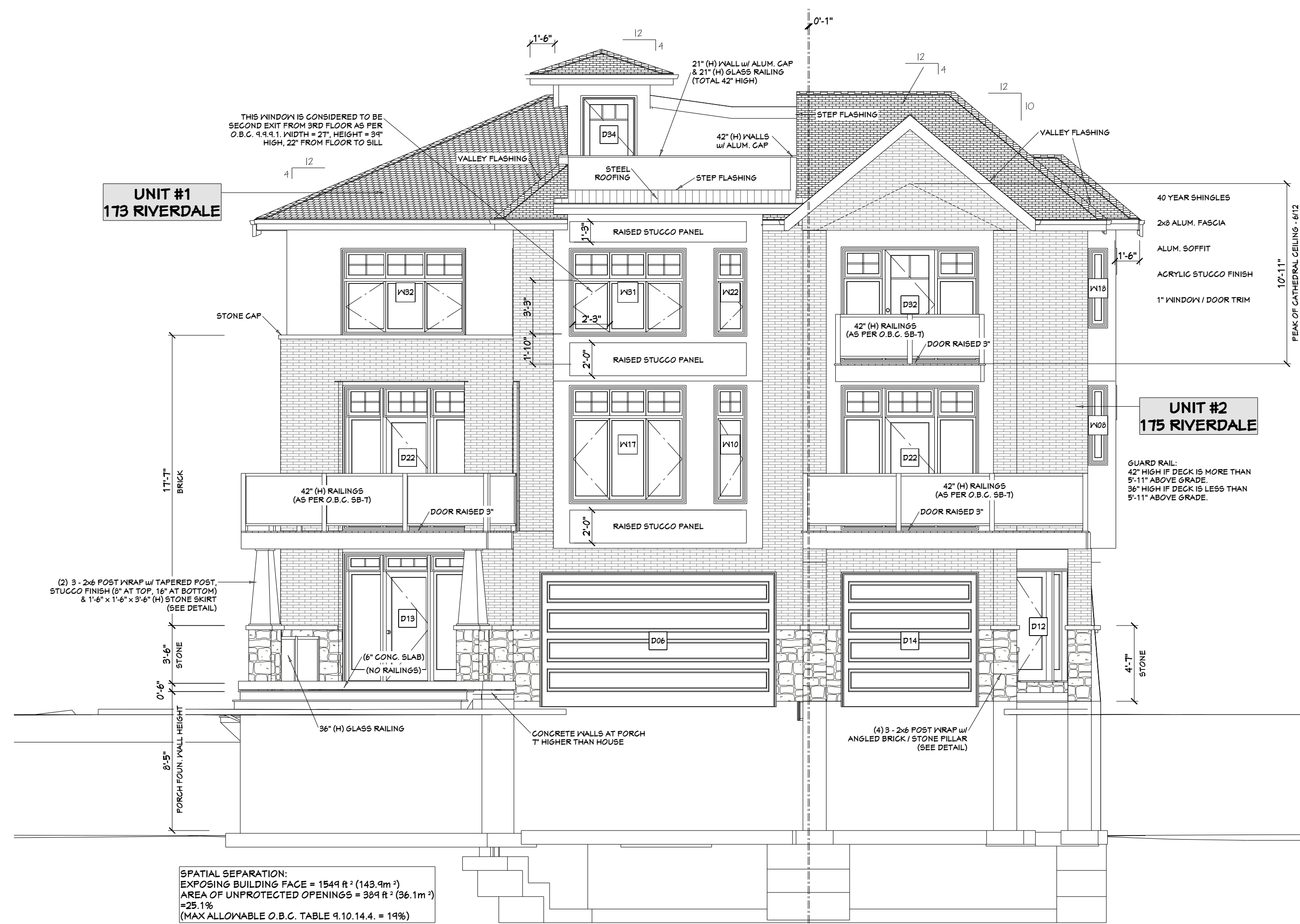
DATE:
 (REV. 12)
 JUNE 13, 2020

SCALE:

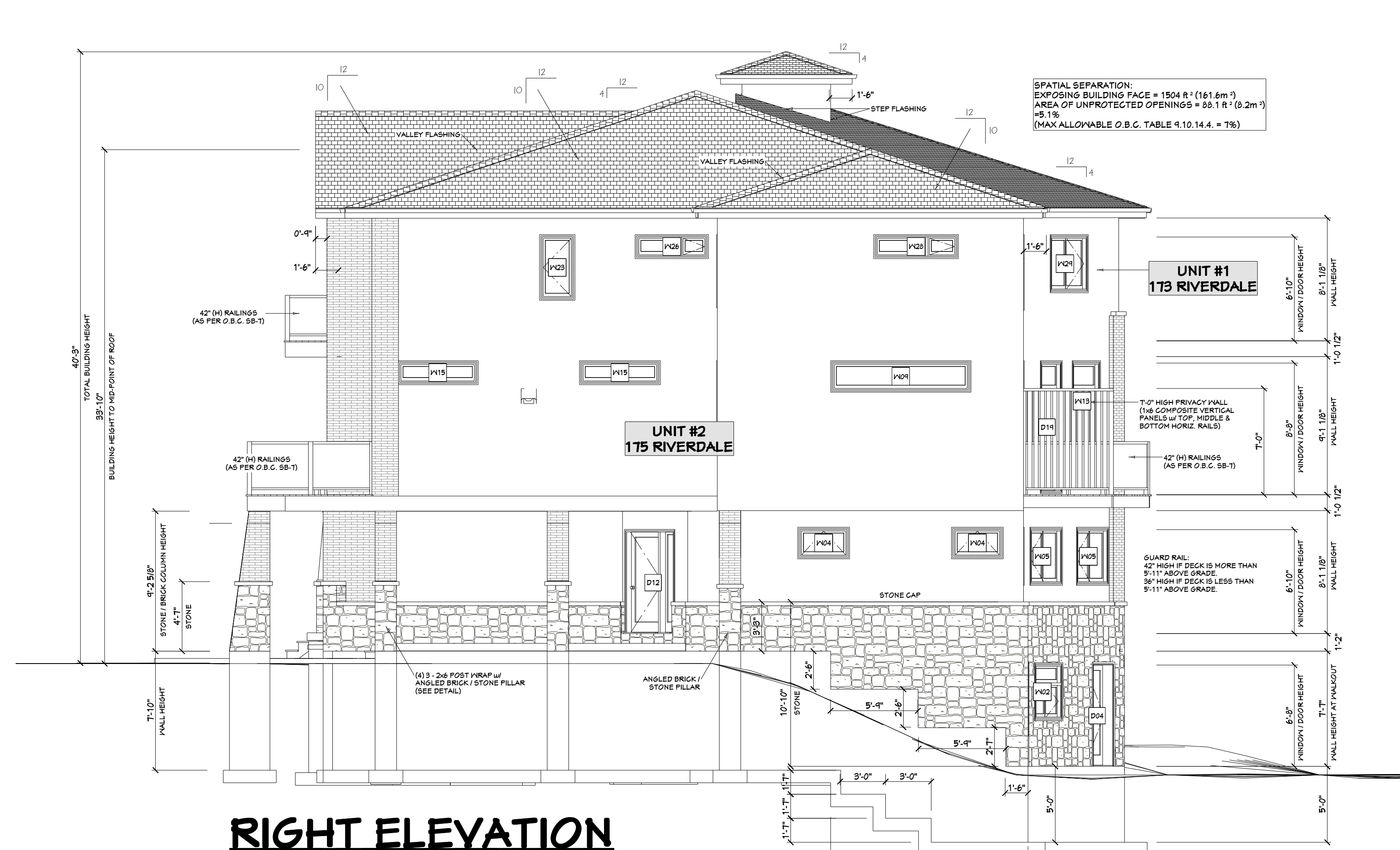
SHEET:
A-10



TYPICAL GRAB BAR BLOCKING (MIN DIA. OF GRAB BARS = 1 1/8")



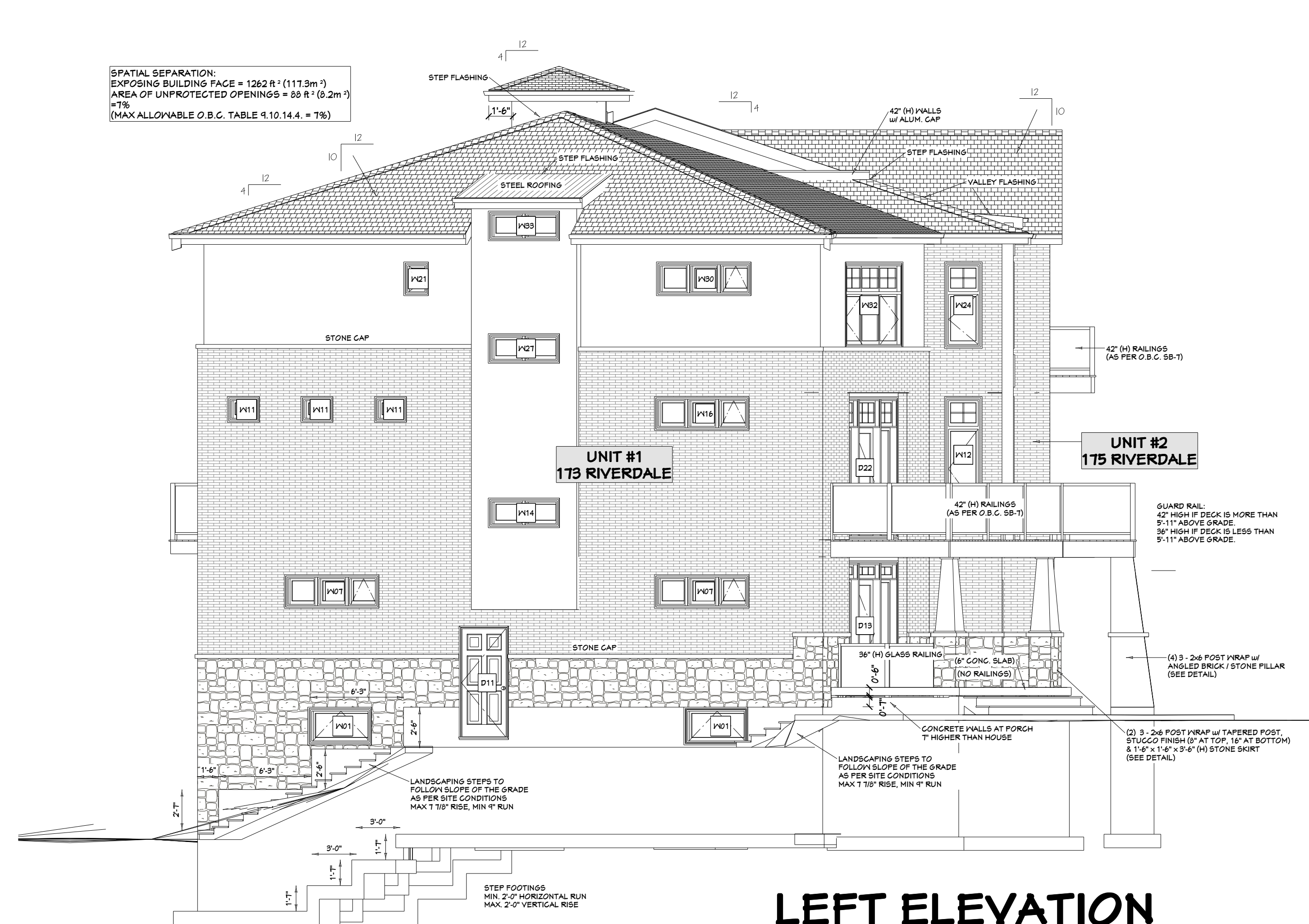
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



Please note that renderings are for illustration purposes only and may not reflect exact choices & inclusions in project.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code. Qualification Information:

Jeremy McMullen *Signature* 22021
PRECISION HOME DESIGN 113690

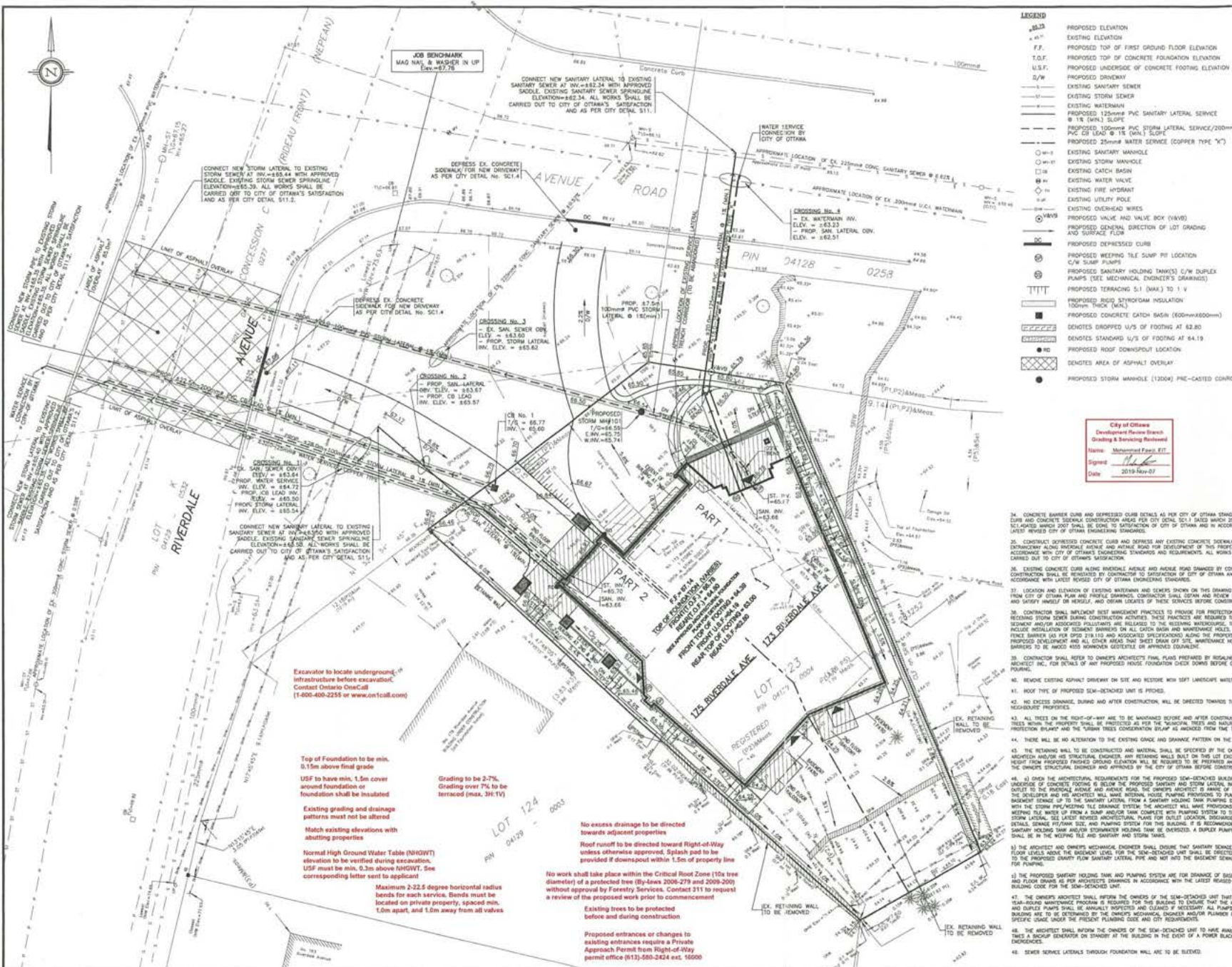
CUSTOMER:
ROBINSON RESIDENCE
173 & 175 RIVERDALE AVE
OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DATE:
**(REV. 12)
JUNE 13, 2020**

SCALE:
3/16" = 1'-0"

SHEET:
A-7



- NOTES**
- EXISTING SERVICES AND UTILITIES SHOWN ON THIS DRAWING WERE TAKEN FROM THE BEST AVAILABLE RECORDS. THE MECHANICAL CONTRACTOR IS REQUESTED TO CHECK IN THE FIELD FOR LOCATION AND ELEVATION OF PIPES, AND CHECK WITH ADJACENT AND UTILITIES TO BE ON THE SAME SIDE OF THE STREET.
 - CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS AS DEEMED NECESSARY BEFORE POURING OF CONCRETE FOOTING AND FOUNDATION. THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR ENSURING THAT THE SUBGRADE ON THIS LOT IS SUFFICIENT TO SUPPORT PROPOSED RESIDENTIAL BUILDING.
 - DETAILS FOR PROPOSED DWELING ARE PROVIDED BY REGINA J. HALL ARCHITECT INC. AS DETAILED ON THEIR PLAN #18-100. 20' PITCH #1807 SHOWN ON THIS PLAN IS PROVIDED IN ACCORDANCE WITH 2016 BUILDING ELEVATIONS FRONT AND REAR THAT ARE SHOWN (TOP OF FINISHED FLOOR, TOP OF FOUNDATION, AND TOP OF FOOTING) ARE REFERENCED FROM FINISHED SIDE ELEVATION (FINISHED SIDE ELEVATION) OF LOT 124.
 - EXISTING HORIZONTAL AND VERTICAL SURFACE DATA SHOWN ON THIS PLAN INCLUDING SITE BENCHMARK, ROAD ELEVATIONS, SEWER LOCATIONS, AND TOPOGRAPHICAL INFORMATION OF THE LOT WERE PROVIDED BY ANNS DILLON WILSON INC. FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON (2016). THE MAIN ENGINEERING CONSULTANTS LTD. DOES NOT HAVE ANY RESPONSIBILITY FOR THE SURVEY INFORMATION PROVIDED FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. WATER MAIN LOCATION AND SIZE, CONTRACTOR SHALL ALSO REFER TO CITY OF OTTAWA PLAN AND PROFILE DRAWINGS LISTED HEREIN. WATER MAIN FROM ON BEHOLD TO HOUSE FROM LOT 124 SHEET # OF CONTRACT #8-23. ALSO SEE PLAN AND PROFILE OF AVENUE ROAD (PLAN #140 SHEETS 3 OF 10) CONTRACT #8-23.
 - ALL GRADING SHALL BE DONE TO THE SATISFACTION OF CITY OF OTTAWA.
 - ALL GRADES SHOWN ARE GEODETIC AND METRIC.
 - ALL WATER MAINS SHALL BE CONSTRUCTED TO CITY OF OTTAWA LATEST REVISED STANDARDS AND APPROVAL. PROFILE OF OTTAWA CITY OF OTTAWA RESOURCES 6.34- MINIMUM CLEARANCE BETWEEN EXISTING WATER MAIN AND PROPOSED SANITARY LATERAL.
 - CONTRACT ALL SANITARY AND STORM PIPES IN ACCORDANCE WITH CITY OF OTTAWA CURRENT ENGINEERING STANDARDS AND AS PER CITY OF OTTAWA REQUIREMENTS.
 - ALL WORKS CONSTRUCTED BY CONTRACTOR SHALL MEET CITY OF OTTAWA CURRENT ENGINEERING STANDARDS AND AS PER CITY OF OTTAWA REQUIREMENTS.
 - CONTRACTOR SHALL CONDUCT AND DOCUMENT THAT THE 20mm WATER SERVICE ON THIS LOT SHALL HAVE A MINIMUM 1.4m OF COVER OVER EXISTING SERVICE. MINIMUM 1.4m COVER SHALL BE MAINTAINED THROUGHOUT THE ENTIRE PROJECT. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING SERVICES AND CITY DETAIL. WATER SERVICE INSTALLATION SHALL BE COVERED TYPE A AND CONSTRUCTED IN ACCORDANCE WITH LATEST CITY OF OTTAWA REQUIREMENTS.
 - THIS LOT GRADING DESIGN PLAN WAS PREPARED FOR THE OWNERS FOR BUILDING PERMIT PURPOSES. ALL CONTRACTOR REQUIREMENTS, THE GRADING PLAN SHALL NOT BE USED FOR BUILDING CONSTRUCTION PURPOSES. NOTIFY TO THE MECHANICAL CONTRACTOR TO VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON.
 - WHERE ROOF OVERHEADS ARE INSTALLED, ROOF DOWNSPOUTS SHALL BE DIRECTED TO OUTLET DRAINAGE TO FRONT AND REAR YARDS ONLY, WHERE POSSIBLE, AND NOT TO SIDE YARD.
 - ALL WATER MAIN SERVICE AND FITTINGS SHALL CONFORM TO APPROVED ANNA AND/OR CSA STANDARDS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS TO COMPLETE THE WORK.
 - EXISTING LOCATION OF FUTURE SIDE AND REAR WATER MAIN, STORM AND SANITARY SEWERS SHOWN ON THIS PLAN ARE FOR INFORMATION ONLY. CONTRACTOR SHALL VERIFY IN THE FIELD TO CORROBORATE LOCATION BEFORE EXCAVATION (SEE NOTE 24).
 - PROPOSED SIDEWALK SHALL BE 2% MAXIMUM. WHERE THE GRADING DROPS OFF STEEPLY, REDUCE THE GRADING TO 2% MAXIMUM TO 1% IF NECESSARY TO MEET CITY OF OTTAWA ENGINEERING REQUIREMENTS.
 - WATER SERVICE CONNECTION ON RIVERDALE AVENUE AND AVERAGE ROAD SHALL BE DONE BY CITY OF OTTAWA. ALL CONNECTIONS AND OTHER RELATED WORKS TO WATER MAIN SHALL BE DONE BY CITY OF OTTAWA. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON.
 - IF WATER SERVICE IS LESS THAN 2.4m FROM EXISTING MANHOLE, ON GATCH ROAD, CONTRACTOR IS REQUESTED TO INSULATE BETWEEN THEM WITH SWM INSULATION (AS PER CITY DETAIL #22 AND #23).
 - PIPE SIZES SHOWN ON THIS PLAN ARE METRIC.
 - WATER SERVICE AND WATER MAIN TRENCH SIZES AS PER CITY WIT DETAIL.
 - PROPOSED SANITARY AND STORM SERVICE LATERALS SHALL BE PVC DR-28 OR EQUIVALENT.
 - SANITARY AND STORM SERVICE TRENCHES AND RISERS USED MUST BE CONFORMANT TO CITY OF OTTAWA STANDARDS.
 - DESIGN FOR SEWER AND WATER MAIN INSTALLATION SHALL BE TYPE B CONFINED TO 100% DRY PRECAST. DENSITY FOR SEWER LATERALS, USE 20mm THICK APPROVED GRANULAR COVER MATERIAL, COMPACT TO 90% DRY PROCTOR DENSITY. TRENCH BACKFILL WITH METRIC SAND. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. FROST PROTECTORS ARE TO BE USED AS INDICATED IN SERVING TRENCHES.
 - DETAILS OF EXISTING SERVICE AND WATER MAIN SHOWN ON INDIVIDUAL AVENUE AND AVERAGE ROAD FROM THE CITY OF OTTAWA SHALL BE CORRECT. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON.
 - FOR DEVELOPMENT OF THIS LOT, CONTRACTOR MUST FIRST CONSTRUCT UNDERGROUND SANITARY, STORM, AND WATER SERVICES FROM SEWER AND WATER MAIN TO THE PROPERTY. BEFORE HOUSE CONSTRUCTION, CONTRACTOR SHALL VERIFY SEWER DEPTH TO PROPERTY THAT UNDERSTANDS HOW TO MAINTAIN A SLOPE OF 1% MINIMUM AND SHALL BE BELOW PROPOSED UNDERGRADE OF CONCRETE FOOTING ELEVATION. IF THIS IS FOUND TO BE THE PROPOSED UNDERGRADE, CONTRACTOR SHALL CONDUCT CHECKS AND USE OF SEWER PROTECTORS IN ORDER TO ADJUST HOUSE FOUNDATION BEFORE CONCRETE POURING.
 - INSTALL HOUSE SERVICE LATERALS WITH PRIVATE PROPERTY AND ROAD RIGHT OF WAY UNDER GROUND COVER FOR FRONT PROPERTY. IF LESS THAN 2.4m FROM WATER SERVICE AND 2.4m FROM SANITARY AND STORM SERVICES, MINIMUM GROUND COVER OVER HOUSE SERVICE PIPES SHALL NOT BE LESS THAN 2.4m. EXACT ISOLATION TRENCHES SHALL BE CONSTRUCTED BY CITY OF OTTAWA. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON.
 - WHERE FROST COVER FROM UNDERGRADE OF HOUSE CONCRETE FOOTING IS PROPOSED FINISHED GROUND ELEVATION IS LESS THAN 1.5m, IT IS RECOMMENDED THAT INSULATION BE INSTALLED AT BUILDING FOOTING AND FOUNDATION OF HOUSE TO PREVENT SUFFICIENT FROST. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON.
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 - EXISTING HOUSE LATERALS AND WATER SERVICES PIPING HAVE BEEN AND/OR SHALL BE APPROVED. WATER SERVICE SHALL BE BLANKED AND CAPPED AS THE MIN AS PER CITY OF OTTAWA REQUIREMENTS. SEWER LATERALS SHALL BE CAPPED AND BLANKED AS PER CITY OF OTTAWA DETAIL #11-1 FOR CAPPING SERVICES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REINSTATEMENT OF ALL AREAS DISTURBED DURING CONSTRUCTION, AND CONTRACTOR MUST BE IN ACCORDANCE WITH CURRENT CITY OF OTTAWA STANDARDS AND SPECIFICATIONS.
 - UPON COMPLETION OF NEW SERVICE LATERALS FOR PROPOSED DWELING AND NEW SANITARY, CONTRACTOR SHALL REMOVE EXISTING PROTECTORS. REINSTATE EXISTING SIDEWALKS AND DRIVEWAYS TO ORIGINAL SURFACE. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON. CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY ANNS DILLON WILSON.
 - AT THE TIME OF CONSTRUCTION OF DRIVEWAY FOR NEW HOUSE, REDUCE DRIVEWAY TO ORIGINAL SURFACE TO OUTLET AND EXISTING STORM DRAIN TO CITY OF OTTAWA SATISFACTION AND REQUIREMENTS.
 - CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES REGARDING LOCATION OF EXISTING OVERHEAD UTILITY WIRES FOR RELOCATION AND POSSIBLE CONFLICT CLEARANCE BEFORE CONSTRUCTION.

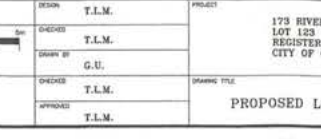
- LEGEND**
- PROPOSED ELEVATION
 - EXISTING ELEVATION
 - PROPOSED TOP OF FIRST GROUND FLOOR ELEVATION
 - PROPOSED TOP OF CONCRETE FOUNDATION ELEVATION
 - PROPOSED UNDERGRADE OF CONCRETE FOOTING ELEVATION
 - PROPOSED DRAINAGE
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - EXISTING WATER MAIN
 - PROPOSED 125mm PVC SANITARY LATERAL SERVICE @ 1% (MAX.) SLOPE
 - PROPOSED 150mm PVC STORM LATERAL SERVICE/200mm PVC CH LEAD @ 1% (MAX.) SLOPE
 - PROPOSED 25mm WATER SERVICE (COPPER TYPE "C")
 - EXISTING SANITARY MANHOLE
 - EXISTING STORM MANHOLE
 - EXISTING CATCH BASIN
 - EXISTING WATER VAULT
 - EXISTING FIRE HYDRANT
 - EXISTING UTILITY POLE
 - EXISTING OVERHEAD WIRES
 - PROPOSED VALVE AND VALVE BOX (VAVB)
 - PROPOSED GENERAL DIRECTION OF LOT GRADING AND SURFACE FLOW
 - PROPOSED DEPRESSURED CURB
 - PROPOSED WEEDING TILE SUMP PIP LOCATION C/W SUMP PUMPS
 - PROPOSED SANITARY HOLDING TANKS/C/W DUPLEX PUMPS (SEE MECHANICAL ENGINEER'S DRAWINGS)
 - PROPOSED TERRACING 5:1 (MAX.) TO 1:1
 - PROPOSED RIGID STYROFOAM INSULATION
 - PROPOSED CONCRETE CATCH BASIN (600x600x600mm)
 - DENOTES DROPPED 1/2" OF FOOTING AT 62.80
 - DENOTES STANDARDS 1/2" OF FOOTING AT 64.19
 - DENOTES ROOF DOWNSPOUT LOCATION
 - DENOTES AREA OF ASPHALT OVERLAY
 - PROPOSED STORM MANHOLE (1200x4 PRE-CAST CONCRETE)

City of Ottawa
Development Services Branch
Grading & Sewering (Revised)
Name: Mohammed Ezz, ET
Signed: [Signature]
Date: 2019-Nov-07

During major storm events, depressed driveways & below-grade parking areas may be subject to flooding due to drainage from the road allowance. The City of Ottawa will not take responsibility for flooding claims in the future. Depressed driveways & below-grade parking areas are to be designed and constructed as per latest City of Ottawa Standards and Guidelines.

Road Cut and/or Water Permits required. Development Review will submit permit applications to:
• Right-of-Way Dept. (613-580-2424 x 16000)
• Water Dept. (613-580-2424 x 22220)
Tree protection and Forestry permitting requirements must be resolved prior to the issuance of permits.
Sloped services required under retaining walls / footings / decks, and are recommended under porches, decks, and similar structures.

NO.	REVISION	DATE	BY
4	REVISIONS AS PER CITY REVIEW COMMENTS OF OCTOBER 11, 2019	11/06/19	T.M.
3	REVISIONS AS PER CITY REVIEW COMMENTS OF OCTOBER 11, 2019	08/24/19	S.M.
2	REVISIONS AS PER ARCHITECT'S COMMENTS OF JULY 26, 2019	07/21/19	S.M.
1	ISSUE FOR REVIEW BY THE OWNER AND OWNER'S REPRESENTATIVES	07/23/19	T.M.



DESIGN: T.L.M. PROJECT: 173 RIVERDALE AVENUE LOT 123 REGISTERED PLAN 283502 CITY OF OTTAWA

DRAWN BY: G.U. DATE: FEBRUARY 2019

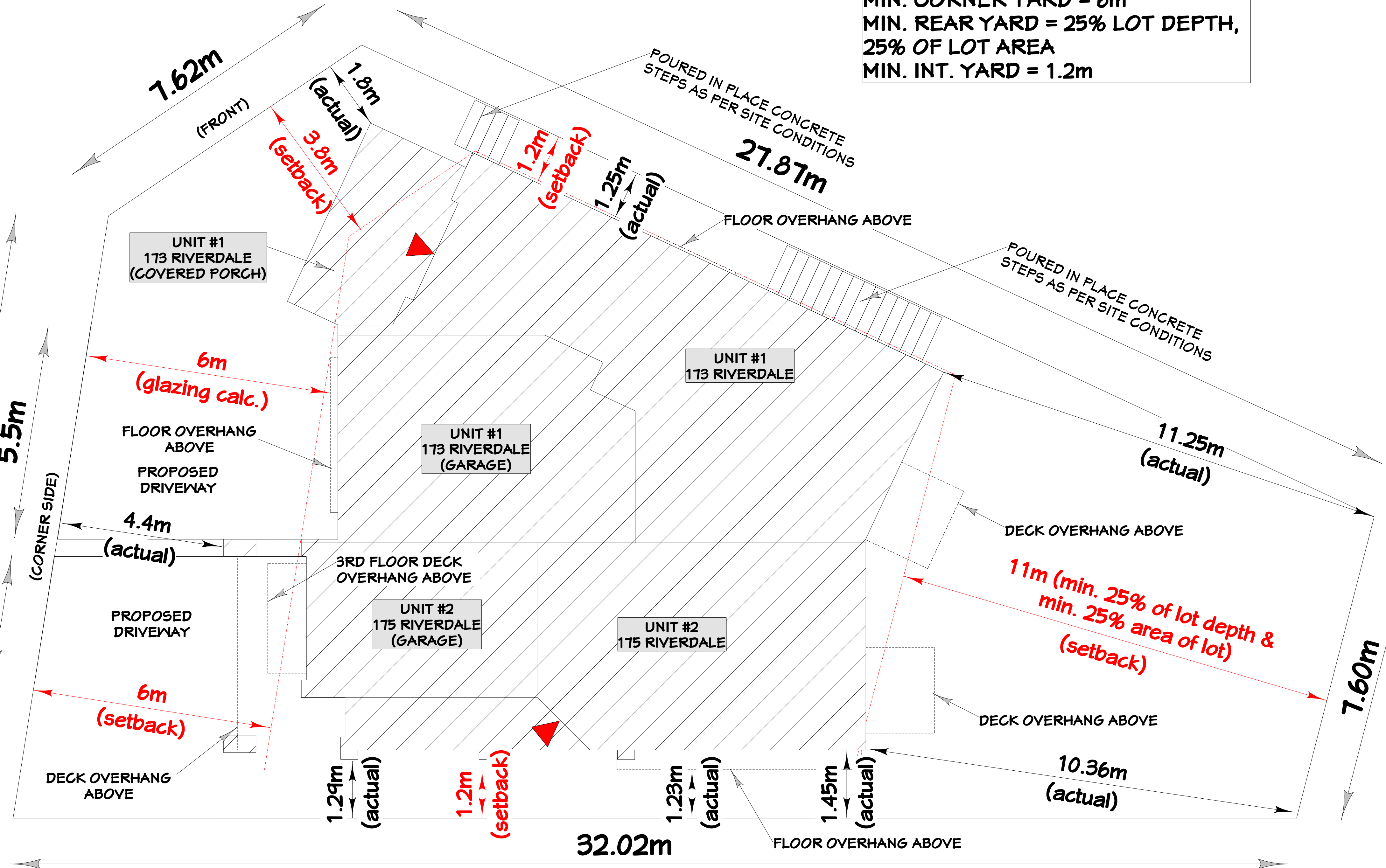
CHECKED: T.L.M. PROJECT NO.: 919-2 DATE: FEBRUARY 2019

APPROVED: T.L.M. SHEET NO.: G-1

T.L. MAX ENGINEERING CONSULTANTS LTD. CONSULTING ENGINEERS City of Ottawa

173 & 175 RIVERDALE AVE.

15.22m
5.5m
3m
3.5m
(CORNER SIDE)



Please note that renderings are for illustration purposes only and may not reflect exact choices & inclusions in project.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code. Qualification Information:

Jeremy McMullen *Signature* 22021
 Precision Home Design 113690

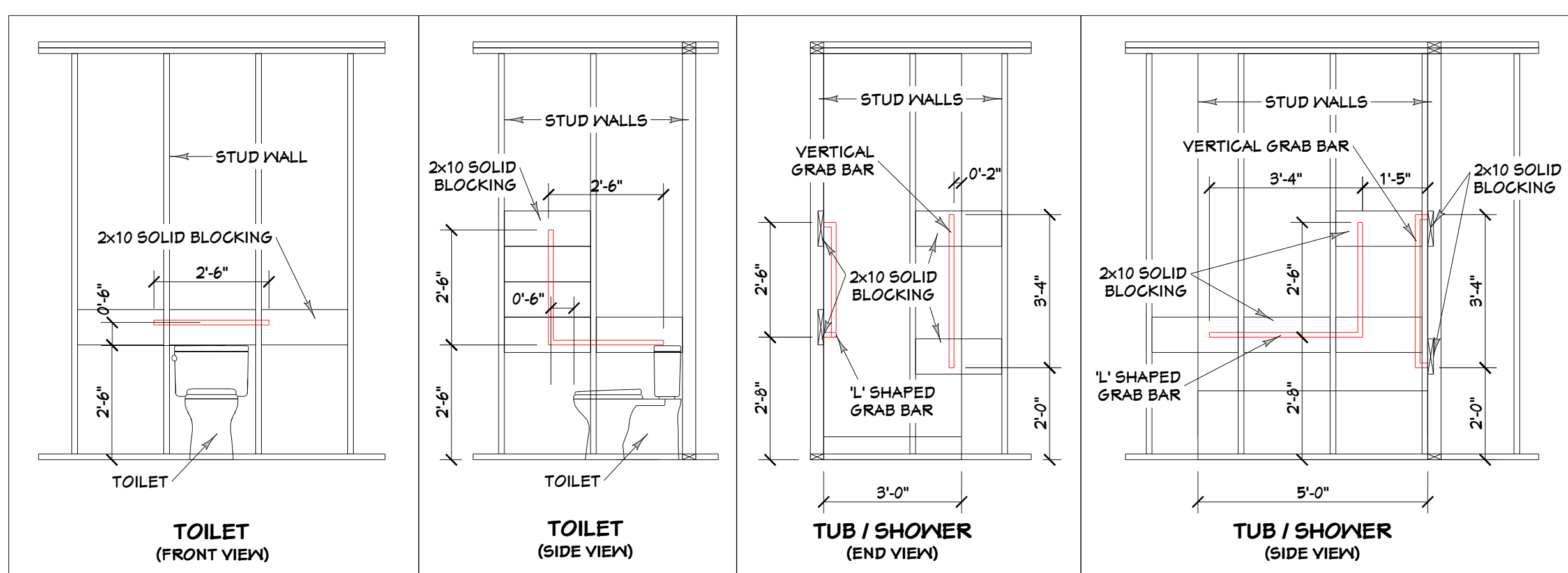
CUSTOMER:
ROBINSON RESIDENCE
 173 & 175 RIVERDALE AVE
 OTTAWA, ON

SHEET TITLE:
SITE PLAN

DATE:
 (REV. 12)
 JUNE 13, 2020

SCALE:

SHEET:
A-10





September 23, 2019

Terri-Anne Boehme
Boemac Construction
1760 Dunrobin Road
Ottawa, ON
K2K 1X7

RE: TREE DISCLOSURE REPORT – 173 RIVERDALE AVENUE

This report details pre-construction tree disclosure information for the above noted property in Ottawa. The need for this report is related to trees protected under the Urban Tree Conservation By-law 2009-200 and the Municipal Trees and Natural Areas Protection By-law 2006-279. The work proposed for the subject property consists of the demolition of an existing single family dwelling and construction of semi-detached dwellings.

Tree disclosure reports are to include assessments of all impacted distinctive trees on the subject and adjacent private properties. Distinctive trees are identified as having diameters of 50 cm or greater. No such trees were found to be present. All city-owned trees of any diameter are also to be included in disclosure reports. Five such trees were found on city property bordering Riverdale Avenue and Avenue Road (please see accompanying plans). Field work for this report was completed on July 15, 2019.

TREE SPECIES, SIZE, OWNERSHIP, CONDITION AND STATUS

Table 1 below details the species, size (diameter), ownership, condition and status of the trees in proximity to the proposed construction.

Table 1. Tree disclosure information for 173 Riverdale Avenue

Tree No.	Tree Species	DBH ¹ (cm)	CRZ ² (m)	Ownership	Tree Condition, age class and Status (to be removed or preserved and protected)
1	Norway maple (<i>Acer platanoides</i>)	39.3	3.9	City	Fair; mature; multiple girdling and bindings roots; crown thinning – in early decline; introduced invasive species; to be preserved and protected

¹ diameter at breast height, or 1.4m from grade (unless otherwise noted); ² critical root zone - established as being 10 centimetres from the trunk of a tree for every centimetre of trunk diameter at breast height

Pictures 1 and 2 on pages 3 and 4 show the five city owned trees adjacent to 173 Riverdale Avenue.



Table 1. Con't

Tree No.	Tree Species	DBH ¹ (cm)	CRZ ² (m)	Ownership	Tree Condition, age class and Status (to be removed or preserved and protected)
2	Sugar maple (<i>Acer saccharum</i>)	24.2	2.4	City	Good; mature; co-dominant stems at 4m from grade with weak union; dense crown of deeply-coloured leaves; native species; to be preserved and protected
3	Sugar maple	40.2	4.0	City	Fair; mature; multiple competing stems arising at 2m – broad, dense crown; primary union weak; native species; to be preserved and protected
4	Sugar maple	9.7	1.0	City	Poor; juvenile; tree is half dead; native species; to be preserved and protected
5	Hackberry (<i>Celtis occidentalis</i>)	20.6	2.0		Fair; maturing; co-dominant stems at 2.5m from grade with strong union; previously topped by Hydro; native species; to be preserved and protected (although a red 'X' on trunk indicates planned future removal by City)

TREE PRESERVATION AND PROTECTION MEASURES

Preservation and protection measures intended to prevent damage during construction will be applied for all trees to be preserved adjacent to the subject property. The following measures are the minimum recommended to ensure tree survival during and following construction:

1. Erect a fence as close as possible to the CRZ of the tree. At a minimum this fence should be constructed of plastic snow fencing supported by metal t-bars and wooden top rails (see City of Ottawa tree protection specifications for more detail).
2. Attach signs to the fence indicating the area within is a protected space (do not attach any signs, notices or posters to the tree).
3. Do not place any material or equipment within the CRZ of the tree.
4. When possible do not raise or lower the existing grade within the CRZ.
5. Tunnel or bore instead of digging or trenching within the CRZ.
6. Do not damage the root system, trunk or branches of the tree – if damage does occur cut the wound cleanly and, especially in the case of roots, seal the wound with bees wax or sealing paint before reburial.
7. Ensure that exhaust fumes from all equipment are not directed towards the tree's crown.
8. To ensure the future subgrade remains viable for root growth and development, the material used as backfill should either be CU-structural soil (if supporting a weight-bearing surface) or a good quality topsoil. This will replace the rooting volume lost through soil excavation and will serve as a future rooting medium allowing the trees to recover from the loss of roots.

I trust this report satisfies your requirements. Please do not hesitate to contact me with any questions you may have.

This report is subject to the attached Limitations to which the reader's attention is directed.

Yours,

Andrew Boyd

Andrew K. Boyd, B.Sc.F, R.P.F. (#1828)
ISA Certified Arborist #ON-0496A and TRAQualified
Consulting Urban Forester



Picture 1. Trees #3, 4 and 5 (right to left) adjacent to 173 Riverdale Ave.



Picture 2. Trees #1 and 2 (right to left) adjacent to 173 Riverdale Ave.

LIMITATIONS OF TREE ASSESSMENTS & LIABILITY

GENERAL

It is the policy of *IFS Associates Inc.* to attach the following clause regarding limitations. We do this to ensure that our clients are clearly aware of what is technically and professionally realistic in assessing trees for retention.

This report was carried out by *IFS Associates Inc.* at the request of the client named above. The information, interpretation and analysis expressed in this report are for the sole benefit and exclusive use of the client. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the client to whom it is addressed. Unless otherwise required by law, neither all or any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through public relations, news or other media, without the prior expressly written consent of the author, and especially as to value conclusions, identity of the author, or any reference to any professional society or institute or to any initialed designation conferred upon the author as stated in his qualifications.

This report and any values expressed herein represent the opinion of the author; his fee is in no way contingent upon the reporting of a specified value, a stipulated result, nor upon any finding to be reported.

Details obtained from photographs, sketches, *etc.*, are intended as visual aids and are not to scale. They should not be construed as engineering reports or surveys.

Although every effort has been made to ensure that this assessment is reasonably accurate, the tree(s) should be reassessed at least annually.

The assessment presented in this report is valid at the time of the inspection only.

The loss or alteration of any part of this report invalidates the entire report.

LIMITATIONS

The information contained in this report covers only the tree(s) in question and no others. It reflects the condition of the assessed tree(s) at the time of inspection and was limited to a visual examination of the accessible portions only. *IFS Associates Inc.* has prepared this report in a manner consistent with that level of care and skill ordinarily exercised by members of the forestry and arboricultural professions, subject to the time limits and physical constraints applicable to this report. The assessment of the tree(s) presented in this report has been made using accepted arboricultural techniques. These include a visual examination of the above-ground portions of each tree for structural defects, scars, cracks, cavities, external indications of decay such as fungal fruiting bodies, evidence of insect infestations, discoloured foliage, the condition of any visible root structures, the degree and direction of lean (if any), the general condition of the tree(s) and the surrounding site, and the proximity of people and property.

Except where specifically noted in the report, the tree(s) examined were not dissected, cored, probed or climbed to gain further evidence of their structural condition. Also, unless otherwise noted, no detailed root collar examinations involving excavation were undertaken.

While reasonable efforts have been made to ensure that the tree(s) recommended for retention are healthy, no warranty or guarantee, expressed or implied, are offered that these trees, or any parts of them, will remain standing. This includes other trees on or off the property not

examined as part of this assignment. It is both professionally and practically impossible to predict with absolute certainty the behaviour of any single tree or groups of trees or their component parts in all circumstances, especially when within construction zones. Inevitably, a standing tree will always pose some risk. Most trees have the potential for failure in the event of root loss due to excavation and other construction-related impacts. This risk can only be eliminated through full tree removal.

Notwithstanding the recommendations and conclusions made in this report, it must be realized that trees are living organisms, and their health and vigour constantly change over time. They are not immune to changes in site conditions, or seasonal variations in the weather. It is a condition of this report that IFS Associates Inc. be notified of any changes in tree condition and be provided an opportunity to review or revise the recommendations within this report.

Recognition of changes to a tree's condition requires expertise and extensive experience. It is recommended that IFS Associates Inc. be employed to re-inspect the tree(s) with sufficient frequency to detect if conditions have changed significantly.

ASSUMPTIONS

Statements made to IFS Associates Inc. in regards to the condition, history and location of the tree(s) are assumed to be correct. Unless indicated otherwise, all trees under investigation in this report are assumed to be on the client's property. A survey prepared by a Licensed Ontario Land Surveyor showing all relevant trees, both on and adjacent to the subject property, will be provided prior to the start of field work. The procurement of said survey, and the costs associated with it, are the responsibility of the client, not IFS Associates Inc.

LIABILITY

Without limiting the foregoing, no liability is assumed by *IFS Associates Inc.* for:

- 1) any legal description provided with respect to the property;
- 2) issues of title and/or ownership with respect to the property;
- 3) the accuracy of the property line locations or boundaries with respect to the property;
- 4) the accuracy of any other information provided by the client or third parties;
- 5) any consequential loss, injury or damages suffered by the client or any third parties, including but not limited to replacement costs, loss of use, earnings and business interruption; and,
- 6) the unauthorized distribution of the report.

Further, under no circumstances may any claims be initiated or commenced by the client against *IFS Associates Inc.* or any of its directors, officers, employees, contractors, agents or assessors, in contract or in tort, more than 12 months after the date of this report.

ONGOING SERVICES

IFS Associates Inc. accepts no responsibility for the implementation of any or all parts of the report, unless specifically requested to supervise the implementation or examine the results of activities recommended herein. In the event that examination or supervision is requested, that request shall be made in writing and the details, including fees, agreed to in advance.

NOTICE OF HEARING

Pursuant to the Ontario *Planning Act*

Consent and Minor Variances Application

Panel 1

Wednesday, September 18, 2024

1 p.m.

Ben Franklin Place, Main Floor Chamber, 101 Centrepointe Drive
and by videoconference

Owners of neighbouring properties within 60 metres of the property address below are receiving this notice in case they want to comment on the application(s) and/or participate at the hearing.

The hearing can also be viewed on the Committee of Adjustment [YouTube](#) page.

Simultaneous interpretation in both official languages, accessible formats and communication supports are available for any specific agenda item by contacting the Committee of Adjustment at least 72 hours before the hearing.

File Nos.: D08-01-23/B-00328 & D08-01-23/B-00329
D08-02-23/A-00301

Applications: Consent under section 53 of the *Planning Act*
Minor Variance under section 45 of the *Planning Act*

Applicant: 1828487 Ontario Inc.

Property Address: 97 MacLaren Street

Ward: 14 – Somerset

Legal Description: Lot 63 (North Side MacLaren Street), Registered Plan No. 15558

Zoning: R4UC [478]

Zoning By-law: 2008-250

APPLICANT'S PROPOSAL / PURPOSE OF THE APPLICATIONS:

The Applicant wants to subdivide their property into two separate parcels of land to create one new lot for residential development. The existing low rise apartment building will remain, as shown on plans filed with the Committee.

At its hearing on February 7, 2024, the Committee adjourned the applications to allow

the applicant time to provide additional information on parking, driveways and soft landscaping on the retained land. The applicant has revised their application and now wants to proceed with the applications.

CONSENT IS REQUIRED FOR THE FOLLOWING:

The Applicant requires the Committee's consent to sever land and to grant the rights for easements/rights of way.

Table 1 Proposed Parcels

File No.	Frontage	Depth	Area	Part No(s).	Municipal Address
B-00328	8.72 metres	33.56 metres	292.9 sq. metres	1 & 2	101 MacLaren Avenue
B-00329	8.96 metres	33.56 metres	300.7 sq. metres	3 & 4	97 MacLaren Avenue (existing dwelling)

It is proposed to establish easements/rights-of-way as follows:

- Over Part 2, in favour of Parts 3 & 4 for pedestrian and vehicular access and servicing.
- Over Part 3, in favour of part 1 & 2 for pedestrian and vehicular access and servicing.

Approval of these applications will have the effect of creating two separate parcels of land, the parcel containing the existing dwelling will not be in conformity with the requirements of the Zoning By-law and therefore, minor variance application (D08-02-23/A-00301) has been filed and will be heard concurrently with these applications.

REQUESTED VARIANCES:

The Applicant requires the Committee's authorization for minor variances from the Zoning By-law as follows:

23/A-00301: 97 MacLaren Street, Part 3 & 4 on 4R-Draft Plan.

- To permit a reduced lot width of 8.96 metres, whereas the By-law requires a minimum lot width of 10 metres.
- To permit a reduced easterly side yard setback of 0.3 metres, whereas the By-law requires a minimum side yard setback of 1.5 metres. (existing setback)
- To permit 1 residential parking space, whereas the Bylaw requires no vehicle parking spaces on a lot less than 450 square metres in area.

IF YOU DO NOT PARTICIPATE in the hearing, it may proceed in your absence, and you will not receive any further notice of the proceedings.

IF YOU WANT TO BE NOTIFIED OF THE DECISION following the hearing, and of any subsequent appeal to the Ontario Land Tribunal, submit a written request to the Committee.

FOR MORE INFORMATION about this matter, contact the Committee of Adjustment at the address, email address, website or QR code below.

ALL SUBMITTED INFORMATION BECOMES PUBLIC

In accordance with the *Planning Act*, the *Municipal Act* and the *Municipal Freedom of Information and Privacy Act*, a written submission to the Committee of Adjustment is considered public information and can be shared with any interested individual. Information you choose to disclose in your correspondence, including your personal information, will become part of the public record, and shared with Committee Members, the Applicant(s) or their agent, and any other interested individual.

HOW TO PARTICIPATE

Submit written or oral comments before the hearing: Email your comments to cofa@ottawa.ca at least 24 hours before the hearing to ensure they are received by the panel adjudicators. You may also call the Coordinator at 613-580-2436 to have your comments transcribed.

Register to Speak at the hearing at least 24 hours before by contacting the Committee Coordinator at 613-580-2436 or at cofa@ottawa.ca. You will receive details on how to participate by videoconference. If you want to share a visual presentation, the Coordinator can provide details on how to do so. Presentations are limited to five minutes, and any exceptions are at the discretion of the Chair.

Hearings are governed by the Committee of Adjustment's *Rules of Practice and Procedure* accessible online.

COMMITTEE OF ADJUSTMENT

The Committee of Adjustment is the City of Ottawa's quasi-judicial tribunal created under the Ontario *Planning Act*. Each year, it holds hearings on hundreds of applications under the *Planning Act* in accordance with the Ontario *Statutory Powers Procedure Act*, including consents to sever land and minor variances from the zoning requirements.

DATED: August 30, 2024



Ce document est également offert en français.

Committee of Adjustment
City of Ottawa
101 Centrepointe Drive
Ottawa ON K2G 5K7
Ottawa.ca/CommitteeofAdjustment
cofa@ottawa.ca
613-580-2436



Comité de dérogation
Ville d'Ottawa
101, promenade Centrepointe
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AVIS D'AUDIENCE

Conformément à la *Loi sur l'aménagement du territoire de l'Ontario*

Demandes d'autorisation et de dérogations mineures

Groupe 1

Mercredi 18 septembre 2024

13 h

Place-Ben-Franklin, salle Chamber, 101, promenade Centrepointe, et par vidéoconférence

Les propriétaires des biens-fonds situés dans un rayon de 60 mètres de l'adresse indiquée ci-dessous reçoivent le présent avis afin d'avoir la possibilité de formuler des observations sur la ou les demandes et de participer à l'audience s'ils le souhaitent.

L'audience pourra être visionnée sur la chaîne [YouTube](#) du Comité de dérogation.

Les participants pourront bénéficier d'une interprétation simultanée dans les deux langues officielles et de formats accessibles et d'aides à la communication pour toute question à l'ordre du jour s'ils en font la demande auprès du Comité au moins 72 heures à l'avance.

Dossiers : D08-01-23/B-00328 et D08-01-23/B-00329
D08-02-23/A-00301

Demandes : Autorisation en vertu de l'article 53 de la *Loi sur l'aménagement du territoire*
Dérogations mineures en vertu de l'article 45 de la *Loi sur l'aménagement du territoire*

Propriétaire/requérant : 1828487 Ontario Inc.

Adresse de la propriété : 97, rue MacLaren

Quartier : 14 – Somerset

Description officielle : Lot 63 (côté nord de la rue MacLaren), plan enregistré 15558

Zonage : R4UC [478]

Règlement de zonage : 2008-250

PROPOSITION DU REQUÉRANT ET OBJET DE LA DEMANDE :

Le requérant souhaite lotir son bien-fonds en deux parcelles distinctes pour créer un nouveau lot aux fins d'aménagement résidentiel. L'immeuble résidentiel de faible hauteur existant sera conservé, conformément aux plans déposés auprès du Comité.

Lors de l'audience du 7 février 2024, le Comité a ajourné l'étude des demandes pour permettre au requérant de fournir des renseignements supplémentaires au sujet du stationnement, des entrées de cour et du paysagement végétalisé sur le terrain conservé. Le requérant a révisé sa proposition et souhaite maintenant aller de l'avant avec les demandes.

AUTORISATION REQUISE :

Le requérant sollicite l'autorisation du Comité en vue de morceler le bien-fonds et d'accorder des servitudes/emprises.

Tableau 1 Parcelles proposées

Dossier	Façade	Profondeur	Superficie	Parties	Adresse municipale
B-00328	8,72 mètres	33,56 mètres	292,9 mètres carrés	1 et 2	101, avenue MacLaren
B-00329	8,96 mètres	33,56 mètres	300,7 mètres carrés	3 et 4	97, avenue MacLaren (habitation existante)

Il est proposé d'établir des servitudes/emprises comme suit :

- sur la partie 2 au bénéfice des parties 3 et 4, pour l'accès des piétons et des véhicules et pour l'entretien;
- sur la partie 3 au bénéfice des parties 1 et 2, pour l'accès des piétons et des véhicules et pour l'entretien.

L'approbation des demandes aura pour effet de créer deux parcelles distinctes, et celle occupée par l'habitation existante ne sera pas conforme aux exigences du Règlement de zonage. Par conséquent, une demande de dérogations mineures (D08-02-23/A-00301) a été présentée et sera étudiée en même temps que les présentes.

DÉROGATIONS DEMANDÉES :

Le requérant demande au Comité d'accorder les dérogations mineures au Règlement de zonage décrites ci-après :

23/A-00301 : 97, rue MacLaren, parties 3 et 4 du plan 4R préliminaire :

- a) Permettre la réduction de la largeur du lot à 8,96 mètres, alors que le règlement exige une largeur de lot d'au moins 10 mètres.
- b) Permettre la réduction du retrait de cour latérale est à 0,3 mètre, alors que le règlement exige un retrait de cour latérale d'au moins 1,5 mètre (retrait actuel).
- c) Permettre la présence d'une place de stationnement pour résident, alors que le règlement interdit toute place de stationnement sur un lot dont la superficie est inférieure à 450 mètres carrés.

POUR EN SAVOIR PLUS SUR LA DEMANDE

Pour obtenir plus de renseignements à ce sujet, communiquez avec le Comité de dérogation via l'adresse, le courriel, le site Web ou le code QR ci-dessous.

Visitez le site **Ottawa.ca/Comité de dérogation** et suivez le lien **Prochaines audiences** pour consulter l'ordre du jour du Comité et les documents relatifs aux demandes, y compris les **lettres d'accompagnement des propositions, les plans, l'information sur les arbres, les avis d'audience, les cartes de diffusion et les rapports d'urbanisme de la Ville**. Les décisions écrites sont également publiées une fois rendues et traduites.

Si vous ne participez pas à l'audience, vous ne recevrez pas d'autre avis à ce sujet.

Si vous souhaitez recevoir un avis de la décision prise à l'issue de l'audience et de tout appel ultérieur interjeté devant le Tribunal ontarien de l'aménagement du territoire, faites-en la demande par écrit au Comité.

COMMENT PARTICIPER

Présentez vos observations écrites ou orales avant l'audience : Veuillez faire parvenir vos observations par courriel à cded@ottawa.ca au moins 24 heures avant l'audience afin de vous assurer que les membres des groupes chargés du rendu des décisions les ont bien reçues. Vous pouvez également téléphoner au coordonnateur ou à la coordonnatrice au numéro 613-580-2436 pour demander que vos observations soient transcrites.

Inscrivez-vous au moins 24 heures à l'avance en communiquant avec le coordonnateur ou la coordonnatrice du Comité au numéro 613-580-2436 ou à l'adresse à cded@ottawa.ca. Vous recevrez des détails sur la façon de participer par vidéoconférence. Si vous souhaitez faire une présentation visuelle, le coordonnateur ou la coordonnatrice sera en mesure de vous fournir des détails sur la façon de procéder. Les présentations sont limitées à cinq minutes et toute exception est laissée à la discrétion du président ou de la présidente.

Les audiences sont régies par les *Règles de pratique et de procédure* du Comité de dérogation et sont accessibles en ligne.

TOUS LES RENSEIGNEMENTS PRÉSENTÉS DEVIENNENT PUBLICS

Sachez que, conformément à la Loi sur l'aménagement du territoire, à la *Loi sur les municipalités* et à la *Loi sur l'accès à l'information municipale et la protection de la vie privée*, les observations écrites adressées au Comité de dérogation sont considérées comme des renseignements publics et peuvent être communiquées à toute personne intéressée. Les renseignements que vous choisissez de divulguer dans votre correspondance, notamment vos renseignements personnels, seront versés au dossier public et communiqués aux membres du Comité, au(x) requérant(s) ou à l'agente ou agent, ainsi qu'à toute autre personne intéressée et pourront éventuellement être affichés en ligne et faire l'objet d'une recherche sur Internet.

COMITÉ DE DÉROGATION

Le Comité de dérogation est le tribunal quasi judiciaire de la Ville d'Ottawa créé en vertu de la *Loi sur l'aménagement du territoire* de l'Ontario. Chaque année, il tient des audiences sur des centaines de demandes en vertu de la *Loi sur l'aménagement du territoire*, conformément à la *Loi sur l'exercice des compétences légales* de l'Ontario, y compris des demandes d'autorisation de morcellement de terrain et de dérogation mineure aux exigences en matière de zonage.

FAIT le 30 août 2024




This document is also available in English.

Committee of Adjustment
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Ottawa ON K2G 5K7
[Ottawa.ca/CommitteeofAdjustment](https://ottawa.ca/CommitteeofAdjustment)
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cded@ottawa.ca
613-580-2436



Circulated Area /
Région circulée 60m 

 **Committee of Adjustment**
Comité de dérogation

CIRCULATION MAP /
PLAN DE CIRCULATION



SUBJECT LAND / TERRE EN QUESTION

97 rue Maclaren Street

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NOT TO SCALE
NON À L'ÉCHELLE

August 12, 2024

Mr. Michel Bellemare
Secretary-Treasurer
Committee of Adjustment
101 CentrepoinTE Drive, Fourth Floor
Ottawa, ON K2G 5K7

**RE: Minor Variance and Consent Applications
97 MacLaren Street**

Dear Mr. Bellemare,

Fotenn Planning + Design ("Fotenn") has been retained by 1828487 Ontario Inc. ("the Owner") to prepare a Cover Letter for concurrent Consent and Minor Variance applications for the property municipally known as 97 MacLaren Street (the "subject site") in the City of Ottawa. The Owner proposes to subdivide the property into two separate parcels of land to create a new lot for future residential development, with the existing low-rise apartment building to remain on the retained lot.

The subject site is developed with a low-rise apartment dwelling on the east side of the property. Consent from the Committee is requested to sever the subject site into two (2) parcels, along with a shared vehicle access driveway easement between the parcels.

The proposed Minor Variances are required to permit a reduction in the minimum required lot width for the retained parcel, and to retain an existing parking space on the retained lands.

Additionally, a Minor Variance is requested to continue the legal non-conforming east interior side yard setback of the existing building on the retained parcel. Although Fotenn is of the opinion that this Minor Variance is not required due to the building's existing legal non-conforming status, we are including it at the direction of City Planning staff out of an abundance of caution.

Two (2) Consent (D08-01-23/B-00328 and D08-01-23/B-00329) applications and one (1) Minor Variance (D08-02-23/A-00301) application was originally submitted in December 2023 and adjourned sine die by the Committee on February 7, 2024. The purpose of the adjournment was to allow time for Fotenn to identify additional minor variances and provide a more detailed rationale in support of the applications.

Please find enclosed the following material in support of the application:

- / This cover letter explaining the nature of the application (1 copy);
- / Minor Variance application form (1 copy);
- / Consent application form (1 copy);
- / Concept Plan, prepared by Fotenn Planning + Design, dated May 6, 2024;

Ottawa
396 Cooper Street, Suite 300
Ottawa, ON K2P 2H7
613.730.5709

Kingston
The Woolen Mill
4 Cataragui Street, Suite 315
Kingston, ON K7K 1Z7
613.542.5454

Toronto
174 Spadina Avenue, Suite 304
Toronto, ON M5T 2C2
416.789.4530

fotenn.com

FOTENN

- / Parcel Register for PIN, prepared by Service Ontario, dated December 11, 2023;
- / Reference Plan, prepared by J.D. Barnes Ltd., dated January 12, 2023, (1 full-sized and 1 reduced copy);
- / Draft Plan of Survey, prepared by J.D. Barnes Ltd, dated June 15, 2023 (1 full-sized and 1 reduced copy);
- / Cheque in the amount of \$981.00 for combined Consent and Minor Variance recirculation fee.

Please contact the undersigned at simpson@fotenn.com or church@fotenn.com with any questions or requests for additional materials.

Sincerely,



Jillian Simpson, M.PL
Planner



Nico Church, RPP MCIP
Senior Planner

Background and Context

Fotenn Planning + Design (“Fotenn”) has been retained by 1828487 Ontario Inc. (“the Owner”) to prepare this Cover Letter in support of Consent and Minor Variance applications for the subject site, municipally known as 97 MacLaren Street in the City of Ottawa.

The subject site is located on the north side of MacLaren Street, a local street in the Centretown (Golden Triangle) area of the City of Ottawa. The subject site is an interior lot consisting of an area of 593.6 square metres with 17.68 metres of frontage along MacLaren Street and a lot depth of 33 metres. The subject site is currently developed with a low-rise apartment dwelling on the east side of the property, with a gravelled surface parking lot in the rear yard. The west side of the subject site remains vacant with gravel surfacing. Figure 1 shows an aerial view of the subject site and surrounding context.



Figure 1: Subject site and surrounding context.

The area surrounding the subject property consists of a mix of dwelling types, densities and heights, including detached and semi-detached dwellings, townhouses, and apartment buildings of varying heights, ranging from low-rise along the north side of MacLaren Street to high-rise to the north and west of the subject site on Somerset Street West and Cartier Street. Figure 2 below shows photographs of the subject site.



Figure 2: Photographs of existing conditions on the subject site, clockwise from top left: looking east from the property line; rear yard condition looking southeast (top right); existing parking in the rear yard looking east (bottom left), and from MacLaren Street to the front façade (bottom right).

2.0 Proposed Development

The Owner is proposing to subdivide the subject site into two separate parcels of land to create a new lot for residential development. The existing apartment building will remain on the retained lot, as shown on the Concept Plan in Figure 3 below. No specific development is proposed on the severed lot at present, but the lot will become available for future development. The proposed severance will create an opportunity to increase residential densities and broaden housing options in Ottawa's Centretown neighbourhood.

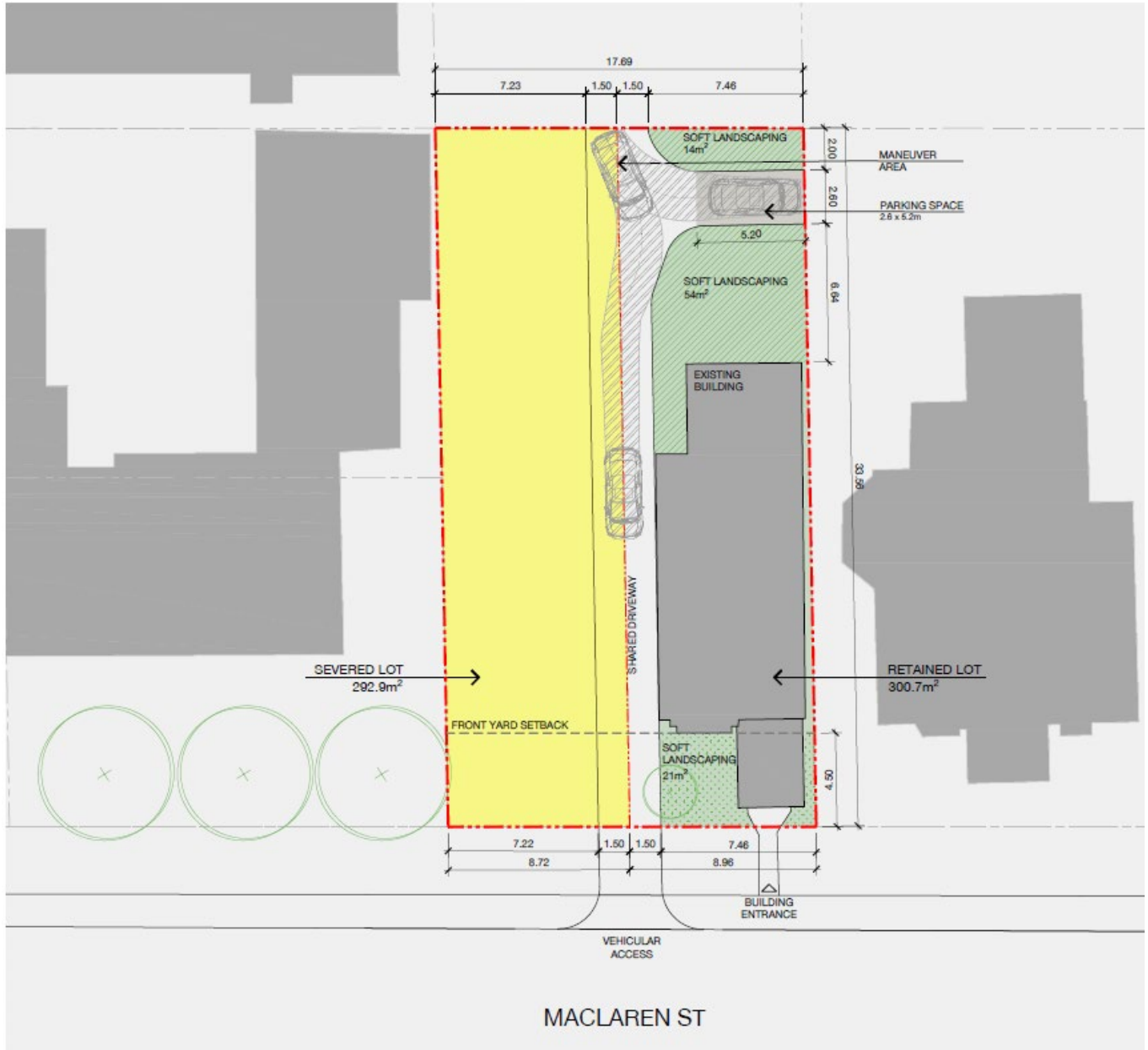


Figure 3: Concept plan of proposed severance.

The application proposes to establish easements/rights-of-way over a shared driveway serving both the severed and retained lots.

Approval of the Consent application will have the effect of creating two separate parcels of land. A Minor Variance application is required to request a reduction in the width of the retained lot, which proposes a lot width of 8.96 metres, whereas the Zoning By-law requires a lot width of 10 metres. Similarly, a Minor Variance is required to recognize the eastern interior side yard setback of 0.3 metres for the existing building, whereas the Zoning By-law requires a setback of 1.5 metres.

2.1 Parking and Access

One (1) parking space will be provided for the existing dwelling on the retained parcel. The space is located in the rear yard, similar to parking lots for adjacent buildings, and where existing on-site parking spaces are currently located.

Access to the parking space will be provided via an existing driveway to the west of the existing building, which is proposed to be shared with the severed parcel. Legal access will be enabled through two 1.5-metre reciprocal easements across a 3-metre driveway. The current access arrangement to the existing building will remain, with a walkway connecting the front of the building from MacLaren Street.

2.2 Landscaping

Excluding the hardscaped driveway and parking space in the rear yard, the majority of the retained parcel is proposed to include soft landscaping, with 21 square metres in the front yard, and 68 square metres in the rear yard.

3.0 Requested Consent

In order to facilitate the proposed development, the Owner intends to sever the subject site known as 97 MacLaren Street into two (2) parcels: the existing apartment building will be located on the retained parcel; while the severed parcel will be available for future development. Consent from the Committee of Adjustment is required for the proposed severance and the establishment of easements for a shared right-of-way along the driveway. The proposed reciprocal easement would include:

- / An easement over Part 2, in favour of Parts 3 & 4 for a shared driveway access.
- / An easement over Part 3, in favour of Parts 1 & 2 for a shared driveway access.

An annotated excerpt from the draft R-Plan is shown in Figure 4 below.

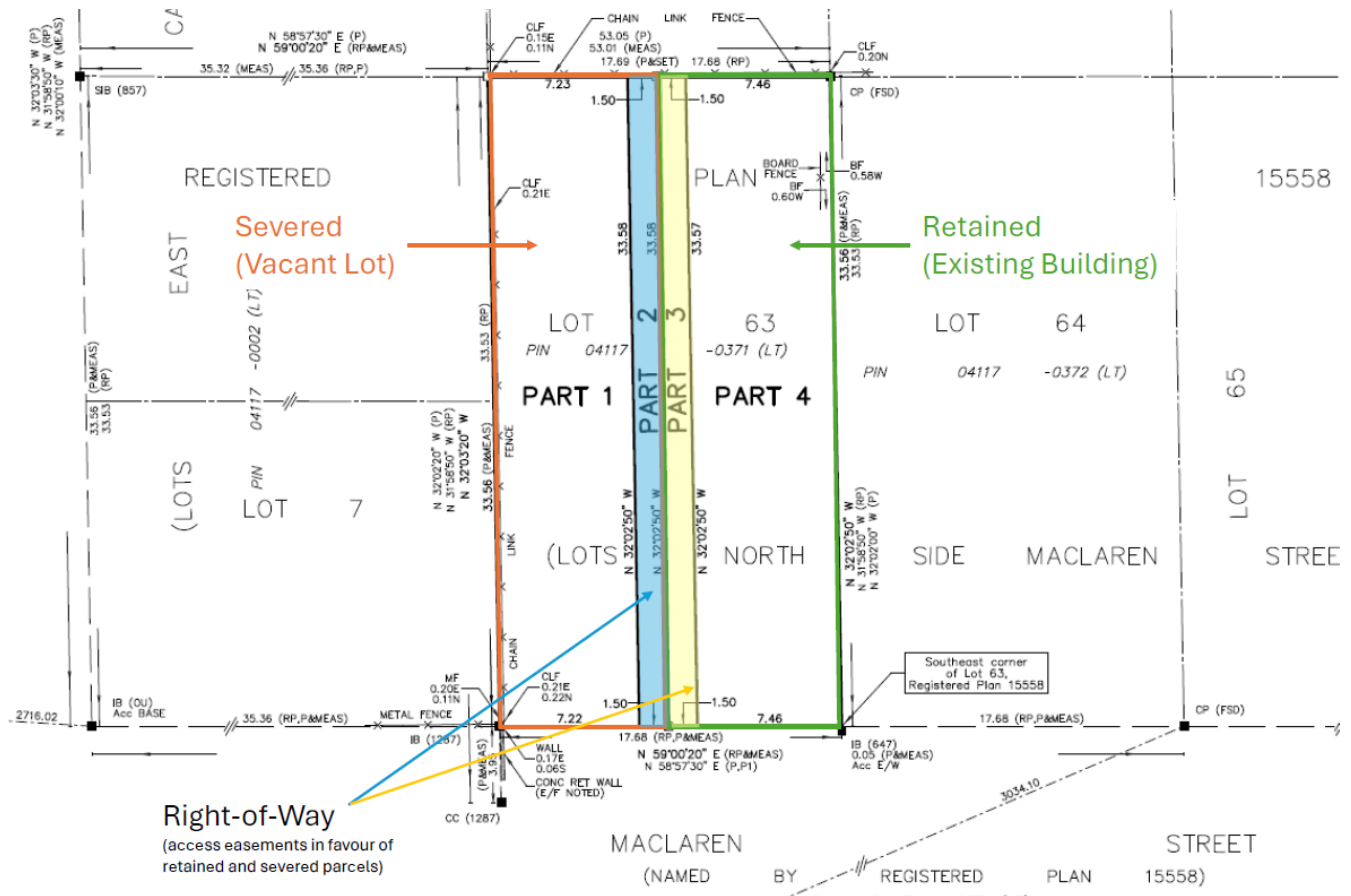


Figure 4: Excerpt from the draft R-Plan.

The following table summarizes the statistics for the proposed parcels and easements requested through the Consent applications.

	Parts on R-Plan	Area
Retained	3, 4	300.7 m ²
Severed	1, 2	292.9 m ²
Easement (Right-of-Way)	2, 3	50.4 m ² / 50.3 m ²

Policy and Regulatory Framework

Section 53(1) of the Planning Act pertains to consents and plans of subdivision. It states that an owner “may apply for a consent as defined in subsection 50 (1) and the council [...] may, subject to this subsection, give a consent if satisfied that a plan of subdivision of the land is not necessary for the proper and orderly development of the municipality.”

It is our professional opinion that a plan of subdivision is not required for the proper and orderly development of the lot. No new buildings are proposed at this time and the proposed development does not involve new public infrastructure or other elements that would warrant a plan of subdivision application.

Section 53(12) states that Consent authorities shall have regard to the criteria established under subsection 51(24). The Consent applications satisfy the relevant criteria as follows:

a) The effect of development of the proposed subdivision on matters of provincial interest:

The Provincial Policy Statement, 2020 (PPS) establishes the high-level planning policies for land use planning in Ontario. The proposed Consent is consistent with the policies of the PPS, including policies for intensification within settlement areas, provision of a range of market-based housing, transit-oriented development, and support for downtown areas.

b) Whether the proposed subdivision is premature or in the public interest:

The proposed Consent is not premature and is in the public interest as it will permit a future infill development in a built-up area of the City with existing infrastructure and services.

c) Whether the plan conforms to the official plan and adjacent plans of subdivision, if any:

City of Ottawa Official Plan

The subject property is designated Neighbourhood in the Downtown Core Transect of the City of Ottawa Official Plan (Figure 5). An Evolving Neighbourhood Overlay also applies to the subject site.

The Downtown Core Transect is a mature built environment whose urban characteristics of high density, mixed uses and sustainable transportation orientation are to be maintained and enhanced.

As identified in Policy 1 of Section 5.1.1 of the Official Plan, the City supports the continued development of the Downtown Core as healthy 15-minute neighbourhoods within a highly mixed-use environment, where:

- / Hubs and Corridors provide a full range of services;
- / Existing and new cultural assets are supported; and,
- / Residential densities are sufficient to support the full range of services.

In addition, the Downtown Core is planned for higher-density, urban development forms where either no on-site parking is provided, or where parking is arranged on a common parking area. Per Policy 5.1.1.6(c)(ii), development applications may be required to re-use existing private approaches.

Neighbourhoods located in the Downtown Core shall accommodate residential growth to meet the Growth Management Framework of the Official Plan. Neighbourhoods are contiguous urban areas that constitute the heart of communities. It is the intent of the Official Plan that they, along with Hubs and Corridors, permit a mix of building forms and densities in support of 15-minute neighbourhoods.

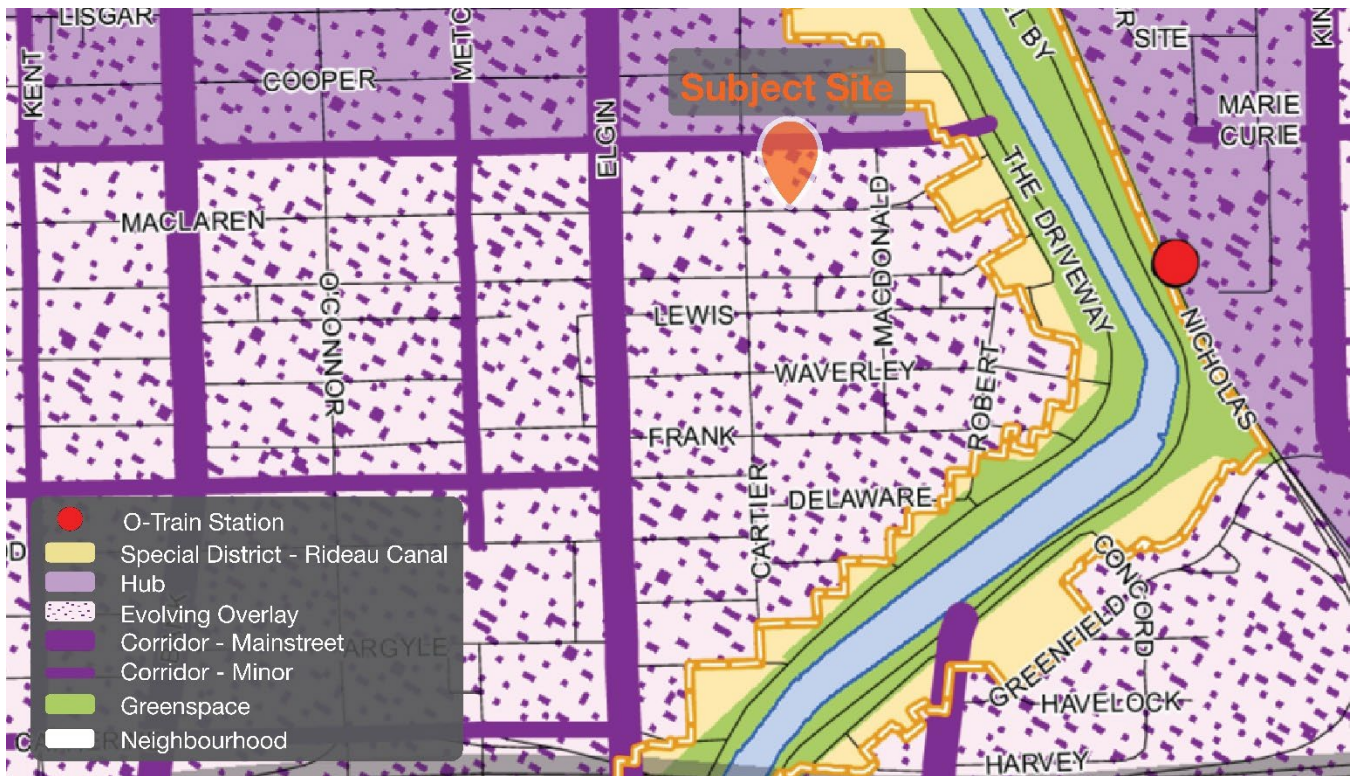


Figure 5: Schedule B1 – Downtown Core Transect, City of Ottawa Official Plan.

The Evolving Overlay is applied to areas in close proximity to Hubs and Corridors to signal a gradual evolution over time that will see a change in character to support intensification, including guidance for a change in character from suburban to urban to allow new built forms and more diverse functions of land. The Overlay is intended to provide opportunities that allow the City to reach the goals of its Growth Management Framework for intensification through the Zoning By-law, by providing:

- / Guidance for a gradual change in character based on proximity to Hubs and Corridors;
- / Allowance for new building forms and typologies, such as missing middle housing;
- / Direction to built form and site design that support an evolution towards more urban built form patterns and applicable transportation mode share goals; and
- / Direction to govern the evaluation of development.

Policy 5.6.1.3(a) states that, in the Evolving Neighbourhood Overlay, where the Zoning By-law for an area has not been updated either before adoption of this Plan in anticipation of this Plan’s policy direction, or post adoption of this Plan, to be consistent with the policy intent of this Plan, the City will generally be supportive of applications for low-rise intensification that seek to amend the development standards of the underlying zone where the proposal demonstrates that the development achieves objectives of the applicable transect with regards to density, built form and site design in keeping with the intent of Sections 3 and 5 of the Official Plan.

Central and East Downtown Core Secondary Plan

The subject site is designated Local Neighbourhood on Schedule B (Figure 6) of the Central and East Downtown Core Secondary Plan. Per Section 2.1.1, Local Neighbourhoods are primarily residential and may include small-scale commercial and institutional uses that are meant primarily to support local residents' everyday needs.

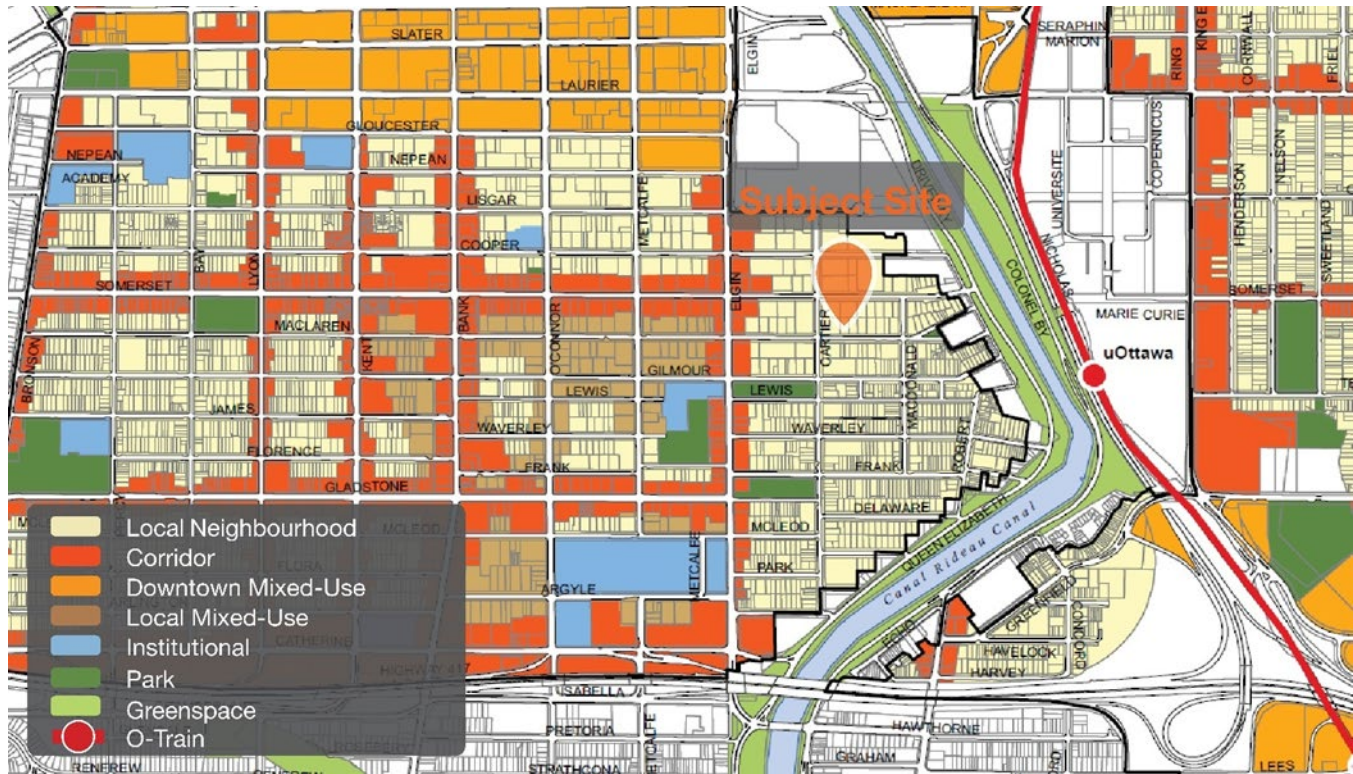


Figure 6: Schedule B – Designation Plan, Central and East Downtown Core Secondary Plan.

The proposed Consent conforms with the policies of the Local Neighbourhood designation, as the subject site will continue to accommodate low-rise residential uses.

d) The suitability of the land for the purposes for which it is to be subdivided:

The proposed Consent will result in a new infill lot on suitable land with existing services and infrastructure.

f) The dimensions and shapes of the proposed lots:

The proposed severance will result in the creation of two rectangular lots of approximately equal size. The retained lot will be appropriately-sized to continue to accommodate the existing low-rise apartment building. The streetscape along MacLaren Street features a variety of lot widths and areas, some of which are comparable to the proposed severed and retained lots. The orientation and configuration of the proposed lots will create a standard relationship to the street.

g) The restrictions or proposed restrictions, if any, on the land proposed to be subdivided or the buildings and structure proposed to be erected on it and the restrictions, if any, on adjoining land:

The subject site is zoned “Residential Fourth Density Zone, Subzone UC, Exception 478 (R4UC [478])” in the City of Ottawa Comprehensive Zoning By-Law (2008-250) as shown on Figure 7.



Figure 7: Zoning map of subject site and surrounding context.

The purpose of the R4 - Residential Fourth Density Zone is to:

- / allow a wide mix of residential building forms ranging from detached to low rise apartment dwellings, in some cases limited to four units, and in no case more than four storeys, in areas designated as General Urban Area in the Official Plan;
- / allow a number of other residential uses to provide additional housing choices within the fourth density residential areas; permit ancillary uses to the principal residential use to allow residents to work at home;
- / regulate development in a manner that is compatible with existing land use patterns so that the mixed building form, residential character of a neighbourhood is maintained or enhanced: and,
- / permit different development standards, identified in the Z subzone, primarily for areas designated as Developing Communities, which promote efficient land use and compact form while showcasing newer design approaches.

Exception 478 permits a dwelling unit use.

The tables below summarize compliance with the existing R4UC zoning for both of the proposed parcels. In the interest of informing the subsequent Minor Variance discussion, the table also includes areas of non-compliance.

Retained Lot (Parts 3 & 4)

Provision	Required	Provided	Compliance
Low-rise Apartment Dwelling Maximum 8 units			
Minimum Lot Width Table 162A	10m	8.96m	No – Variance required.
Minimum Lot Area Table 162A	300m ²	300.7m ²	Yes
Minimum Front Yard Setback Section 144(1)	a) In the case of an interior lot or through lot, the yard setback must align with the average of the abutting lots' corresponding yard setback abutting the street(s) d) in no case may be less than 1.5 m	4.51m (existing dwelling)	Yes
Minimum Interior Side Yard Setback Table 162A	1.5m	0.3m (east, existing dwelling) 1.5m (west, existing building to new lot line)	Legally non-conforming – Variance requested. Yes
Minimum Rear Yard Setback Table 162B(4)	25% of the lot depth which must comprise at least 25% of the area of the lot, and need not exceed 7.5m Lot depth: 33m x 25% = 8.25m	11.24m	Yes
Permitted Parking Spaces Section 161(16)(a)	In the case of a Low-rise Apartment Dwelling in the R4UC zone: No motor vehicle parking is permitted on a lot less than 450 square metres in area.	1 residential parking space	No – Variance required.
Parking Space Dimensions Section 106(1)	Any motor vehicle parking space must be: (a) At least 2.6m wide (b) Not more than 3.1m wide (c) At least 5.2m long	2.6m x 5.2m	Yes
Minimum Driveway Width Section 107(2)	A driveway providing access to parking spaces other than in a parking garage or parking lot must have a minimum width of 2.6 metres.	3 m	Yes
Minimum Area of Soft Landscaping in the Front Yard Table 161	Front Yard Setback >3m, in the case of any lot with a width between 8.25 metres but less than 12 metres: 35 per cent	21m ² = 52%	Yes
Minimum Area of Soft Landscaping in the Rear Yard Section 161(15)	In the case of a Low-rise Apartment Dwelling in the R4UC zone:	68m ² of soft landscaping provided in the rear yard, which covers the majority of	Yes

Provision Low-rise Apartment Dwelling Maximum 8 units	Required	Provided	Compliance
	<p>a) Any part of the rear yard not occupied by accessory buildings and structures, permitted projections, bicycle parking and aisles, hardscaped paths of travel for waste and recycling management, pedestrian walkways, patios, and permitted driveways, parking aisles and parking spaces, must be softly landscaped.</p> <p>b) The minimum area of soft landscaping per (a) must be: (i) in the case of a lot of less than 360 square metres in area, at least 35 square metres</p> <p>c) Any part of any yard other than the rear yard not occupied by accessory buildings and structures, permitted projections, bicycle parking and aisles, hardscaped paths of travel for waste and recycling management, pedestrian walkways, permitted driveways and parking exclusion fixtures per (e) must be softly landscaped.</p> <p>e) The front yard and corner side yard must be equipped with solid, permanent fixtures sufficient to prevent motor vehicle parking in contravention of this By-law, and for greater clarity: (i) such parking exclusion fixtures may include bicycle racks, benches, bollards, ornamental fences or garden walls, raised planters, trees, wheelchair lifting devices, wheelchair lifting devices or some combination thereof; and (ii) raised planters are deemed to be soft landscaping for the purposes of (c) and (d).</p>	<p>the rear yard not occupied by parking.</p> <p>An existing tree is located in the front yard, which is sufficient to prevent motor vehicle parking.</p>	<p>Yes</p>

Severed Lot (Parts 1 & 2)

Provision Detached dwelling	Required	Provided	Compliance
Minimum Lot Width Table 162A	7.5m*	8.72m	Yes
Minimum Lot Area Table 162A	225m ² *	292.9m ²	Yes

*Note: the minimum lot width and minimum lot area provisions are based on the lowest minimum requirements for a permitted use in the R4 zone

The proposed Consents will result in non-compliance with the following provisions of the Zoning By-law:

- / minimum lot width for the retained parcel at 97 MacLaren Street;
- / maximum number of parking spaces for the retained parcel at 97 MacLaren Street.

For this reason, a Minor Variance application is submitted to seek relief from these provisions, and to address the existing dwelling's east interior side yard setback as the existing 0.3-metre setback is a legally non-conforming condition, whereas the Zoning By-law requires an interior side yard setback of 1.5 metres.

A detailed discussion of the proposed variances and how they meet the four (4) tests of a Minor Variance under Section 45(1) of the Planning Act is included in Section 4 of this Cover Letter.

5.0 Requested Minor Variances

The following variances are requested to permit the proposed severance:

1. To permit a reduced minimum lot width of 8.9 metres, whereas Table 161A of the Zoning By-law requires a minimum lot width of 10 metres.
2. To permit one (1) parking space, whereas Section 161(16)(a) of the Zoning By-law prohibits parking for a Low-rise Apartment Dwelling in the R4UC zone on a lot that is less than 450 square metres in area.
3. To continue the established minimum interior side yard setback of 0.3 metres, whereas Table 162A of the Zoning By-law requires a minimum interior side yard setback of 1.5 metres.

All three (3) requested minor variances apply to the retained parcel.

Section 45(1) of the *Planning Act, R.S.O. 1990* provides the Committee of Adjustment with powers to grant minor variances by evaluating an application against Four Tests, including:

- / Does the application maintain the general intent and purpose of the Official Plan?
- / Does the application maintain the general intent and purpose of the Zoning By-law?
- / Is the application desirable for the appropriate development or use of the land, building or structure?
- / Is the application minor in nature?

It is our professional planning opinion that the application meets the “Four Tests” as follows:

5.1 Does the Application Maintain the General Intent and Purpose of the Official Plan?

The subject site is designated “Neighbourhood” with an Evolving Overlay on Schedule B1, Downtown Core Transect, of the City of Ottawa’s Official Plan. Further, the subject site is designated “Local Neighbourhood” on Schedule B, Designation Plan, of the Central and East Downtown Core Secondary Plan, with a maximum permitted height of four (4) storeys.

The requested variances contribute to the form and context contemplated in both “Neighbourhood” and “Local Neighbourhood” designations within the Official Plan and Secondary Plan, respectively, both of which aim to ensure new infill is functionally and aesthetically compatible. Additionally, the opportunity for intensification resulting from creating an additional lot contributes to a reduced reliance on private vehicles, while fostering the establishment of 15-minute neighbourhoods.

The applicable Evolving Neighbourhood Overlay anticipates higher-density forms of infill being introduced to this neighbourhood over time, in part through the creation of lots to accommodate infill development. Further, only one (1) vehicle parking space is being proposed to remain from the current condition, as supported by the Official Plan. The soft landscaping proposed for the balance of the retained lot’s rear yard represents an improvement over the current condition. The proposed variances support the compact and urban form of development proposed for the site.

5.2 Does the Application Maintain the General Intent and Purpose of the Zoning By-law?

The subject site is designated Residential Fourth Density Zone, Subzone UC, Exception 478 (R4UC [478]) in the City of Ottawa’s Comprehensive Zoning By-Law. The purpose of the R4UC zone is to allow a wide mix of residential building forms ranging from detached to low-rise apartment dwellings.

The retained lot is proposed to have a width of 8.96 metres, whereas the Zoning By-law requires a minimum lot width of 10 metres. Additionally, one (1) vehicle parking space is proposed, whereas no motor vehicle parking is permitted on lots less than 450 square metres in area.

The intent of the minimum lot width requirement is to create a consistent streetscape and allow for appropriate densities and building forms in accordance with Official Plan policies. The proposed 8.96-metre lot width accommodates the existing low-rise apartment on the retained parcel, while providing sufficient area for the proposed shared driveway access to the rear yard parking space. The proposed lot width is consistent with those of other lots in the vicinity of the subject site and is reflective of the range of dwelling types in the neighbourhood.

The relief requested to maintain one (1) existing vehicle parking space on the retained lot will improve the existing condition on-site, as much of the broader parking area will be replaced with landscaping. Further, having both lots share a driveway will help limit the amount of hardscaping and curb cuts along the public street.

Further, the application seeks to regularize the existing condition of the legally non-conforming east interior side yard setback. The request maintains the general intent and purpose of the Zoning By-law by regularizing an existing side yard setback condition that allows for the compact, low-rise apartment use to continue to operate appropriately on the retained parcel.

5.3 Is the Application Minor in Nature?

The proposed lot width variance represents a reduction of 1.02 metres for the lot width, indicating a minor deviation from the zoning requirement. The proposed lot dimensions are similar to those of several other lots in the surrounding area, matching the existing and planned streetscape character. The existing low-rise apartment building on the retained lot will continue to function appropriately within the proposed property boundaries.

Further, as the east interior side yard setback is an existing non-conforming condition that is proposed to continue, the application is not anticipated to impact surrounding properties or the use or enjoyment of those lands and is therefore considered minor in nature.

The new lots will maintain the existing and permitted built form character of the community, and the requested variances will not create any unacceptable adverse impact on abutting properties or the neighbourhood in general. Therefore, the proposed variance is minor in nature.

5.4 Is the Application Desirable for the Appropriate Development or Use of the Land?

The proposed variances will help facilitate the creation of a future infill development lot that will add to the supply and diversity of housing options in the Centretown neighbourhood in a manner that is sensitive to the existing development context. The variances will also balance existing parking needs with improvement of the retained lot's rear yard landscaping condition.

The non-complying condition of the existing low-rise apartment building is not affected by the proposed severance of the property. The siting of the building in relation to the interior side lot line will remain unchanged, and existing zoning deficiency will not be further exacerbated. The severance of the property facilitates the creation of future infill opportunities, which will add to the supply and diversity of housing options in the Centretown neighbourhood. Narrow lots and reduced side yard setbacks are characteristic of MacLaren Street and the wider Centretown neighbourhood.

The variances will help make efficient use of the land with permitted land uses in a functional layout, reduce automobile parking on the retained parcel, and will help contribute to provincial and municipal intensification goals. The proposed severance capitalizes on existing infrastructure and will contribute to the creation of a new lot and future infill

development opportunity in Centretown, and the variances will not generate undue impacts on the broader neighbourhood. Therefore, the variances are desirable and appropriate for the use of the land.

6.0 Conclusion

It is our professional opinion that the proposed applications represent good planning and satisfy the relevant Planning Act tests as follows:

- / The requested Consent meets the criteria for approval of Consent applications as set out in Section 51(24) of the Planning Act.
- / The requested Minor Variances satisfy the tests for Minor Variances established in Section 45(1) of the Planning Act.

Should you have any further comments, please do not hesitate to contact the undersigned.

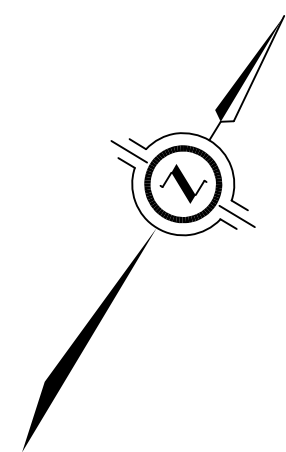
Sincerely,



Jillian Simpson, M.PL
Planner



Nico Church, RPP MCIP
Senior Planner



SCHEDULE				
PART	LOT	PLAN	PIN	AREA sq. m.
1				242.5
2	63	15558	ALL OF 04117-0371 (LT)	50.4
3				50.4
4				250.3

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2024-08-15
City of Ottawa | Ville d'Ottawa
Comité de dérogation

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2024-07-04
City of Ottawa | Ville d'Ottawa
Comité de dérogation

Committee of Adjustment
Received | Reçu le
2023-12-15
City of Ottawa | Ville d'Ottawa
Comité de dérogation

SOMERSET STREET

STREET

PLAN OF SURVEY OF
LOT 63
(NORTH SIDE MACLAREN STREET)
REGISTERED PLAN 15558
CITY OF OTTAWA

SCALE 1 : 200



THE INTENDED PLOT SIZE OF THIS PLAN IS 609mm IN WIDTH BY 609mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:200

J.D. BARNES LIMITED

METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

BEARINGS ARE MTM GRID, DERIVED FROM SPECIFIED CONTROL POINTS 2016-0350 AND 2016-0360, BY REAL TIME NETWORK (RTN) OBSERVATIONS, MTM ZONE 9, NAD83 (CSRS) (2010.0).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999944.

FOR BEARING COMPARISONS, A ROTATION OF 10°59'40" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON REGISTERED PLAN 15558.

ALL MONUMENTS SET BY J.D. BARNES LIMITED ARE PB'S UNLESS SHOWN OTHERWISE.

INTEGRATION DATA

SPECIFIED CONTROL POINTS (SCPs): MTM ZONE 9, NAD83 (CSRS) (2010.0).
COORDINATES TO URBAN ACCURACY PER SECTION 14 (2) OF O.REG 216/10.

POINT ID	EASTING	NORTHING
SCP 2016-0350	366 660.02	5 028 800.81
SCP 2016-0360	365 956.09	5 029 979.71

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

THE RESULTANT TIE BETWEEN SCP'S 2016-0350 AND 2016-0360 IS 1373.15m. (GROUND), N 30°50'30" W

LEGEND

▲	DENOTES	CONTROL MONUMENT FOUND
■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
SIB	DENOTES	STANDARD IRON BAR
IB	DENOTES	IRON BAR
CP	DENOTES	CONCRETE PIN
CC	DENOTES	CUT CROSS
OU	DENOTES	ORIGIN UNKNOWN
Acc	DENOTES	ACCEPTED
MEAS	DENOTES	MEASURED
RP	DENOTES	REGISTERED PLAN 15558
RP	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY FARLEY, SMITH & DENIS SURVEYING LTD., DATED NOVEMBER 23, 2012
DENOTES	DENOTES	CHAIN LINK FENCE
P1	DENOTES	BUILDING LOCATION SURVEY BY FARLEY, SMITH & MURRAY SURVEYING LTD., DATED JULY 31, 1986
647	DENOTES	H.R. FARLEY, O.L.S.
857	DENOTES	C.W. FAIRHALL, O.L.S.
1287	DENOTES	FARLEY, SMITH & MURRAY SURVEYING LTD.
FSD	DENOTES	FARLEY, SMITH & DENIS SURVEYING LTD.
CLF	DENOTES	CHAIN LINK FENCE
MF	DENOTES	METAL FENCE
BF	DENOTES	BOARD FENCE
RET	DENOTES	RETAINING
CONC	DENOTES	CONCRETE
E/F	DENOTES	EAST FACE OF
sq. m.	DENOTES	SQUARE METRES
No.	DENOTES	NUMBER
—	DENOTES	PROPERTY LINE

N=NORTH / S=SOUTH / E=EAST / W=WEST

ALL SET PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.REG. 525/91.

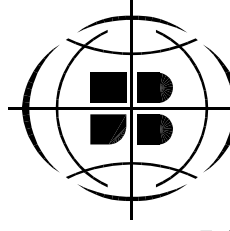
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON X X, 2023.

X X, 2023
DATE
PRELIMINARY
GEORGE ZERVOS
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-41999

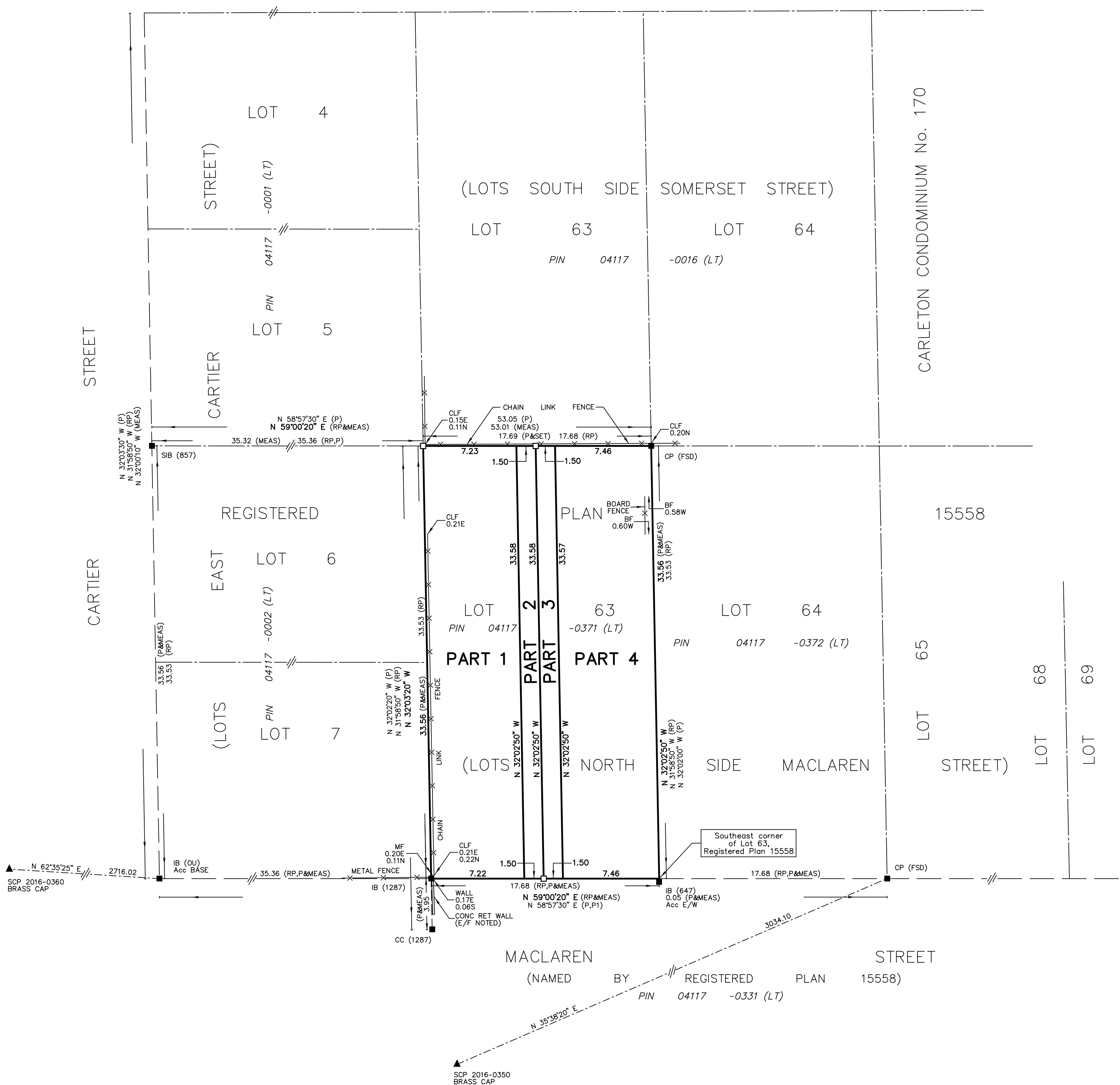


J.D. BARNES
LIMITED
SURVEYING
MAPPING
GIS

LAND INFORMATION SPECIALISTS
62 STEACIE DRIVE, SUITE 103, OTTAWA, ON K2K 2A9
T: (613) 731-7244 F: (613) 731-8955 www.jdbarnes.com

DRAWN BY: RP	CHECKED BY: GZ	REFERENCE NO.: 22-10-140-00
FILE: G:\22-10-140\00\Drawing\RPLAN\221014000-RPLAN.dgn		DATED: X/X/2023

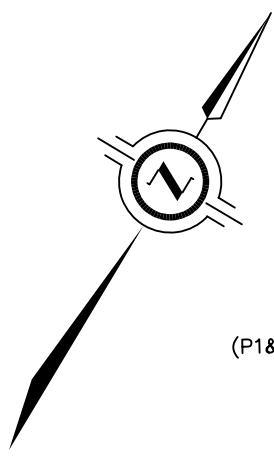
PLOTTED: 6/15/2023



SCP 2016-0360
BRASS CAP

Southeast corner
of Lot 63,
Registered Plan 15558

SCP 2016-0350
BRASS CAP



Committee of Adjustment
Received | Reçu le
2023-12-15
City of Ottawa | Ville d'Ottawa
Comité de dérogation

SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN SHOWING
LOT 63
(NORTH MacLAREN STREET)
REGISTERED PLAN 15558
CITY OF OTTAWA
J.D. BARNES LIMITED
© COPYRIGHT 2023
SCALE 1 : 200



METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES
BEARINGS ARE MTM GRID, AND DERIVED FROM GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) BY REAL TIME NETWORK (RTN) OBSERVATIONS, MTM ZONE 9, NAD 83, (CSRS) (2010.0).
DISTANCES ARE GROUND.
COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.

PART 2 - SURVEY REPORT
- DESCRIPTION
LOT 63 (NORTH MacLAREN STREET) ON REGISTERED PLAN 15558, BEING ALL OF PIN 04117-0371 (LT), IN THE CITY OF OTTAWA
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
NONE
- BOUNDARY FEATURES
NOTE LOCATION OF THE CHAIN LINK FENCE, THE METAL FENCE, THE FRAME DECK AND THE CONCRETE RETAINING WALL ALONG THE WESTERLY LIMIT OF THE SUBJECT PROPERTY.
NOTE LOCATION OF THE CHAIN LINK FENCE AND THE OVERHEAD TELEPHONE CABLE ALONG THE NORTHERLY LIMIT OF THE SUBJECT PROPERTY.
NOTE LOCATION OF THE BOARD FENCE, THE OVERHEAD TELEPHONE CABLE AND THE EAVE ALONG THE EASTERLY LIMIT OF THE SUBJECT PROPERTY.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
SIB	DENOTES	STANDARD IRON BAR
IB	DENOTES	IRON BAR
CP	DENOTES	CONCRETE PIN
CC	DENOTES	CUT CROSS
OU	DENOTES	ORIGIN UNKNOWN
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MF	DENOTES	METAL FENCE
BF	DENOTES	BOARD FENCE
TP	DENOTES	TELEPHONE POLE
T	DENOTES	OVERHEAD TELEPHONE CABLE
E	DENOTES	OVERHEAD HYDRO CABLE
---	DENOTES	PROPERTY LINE

N=NORTH / S=SOUTH / E=EAST / W=WEST

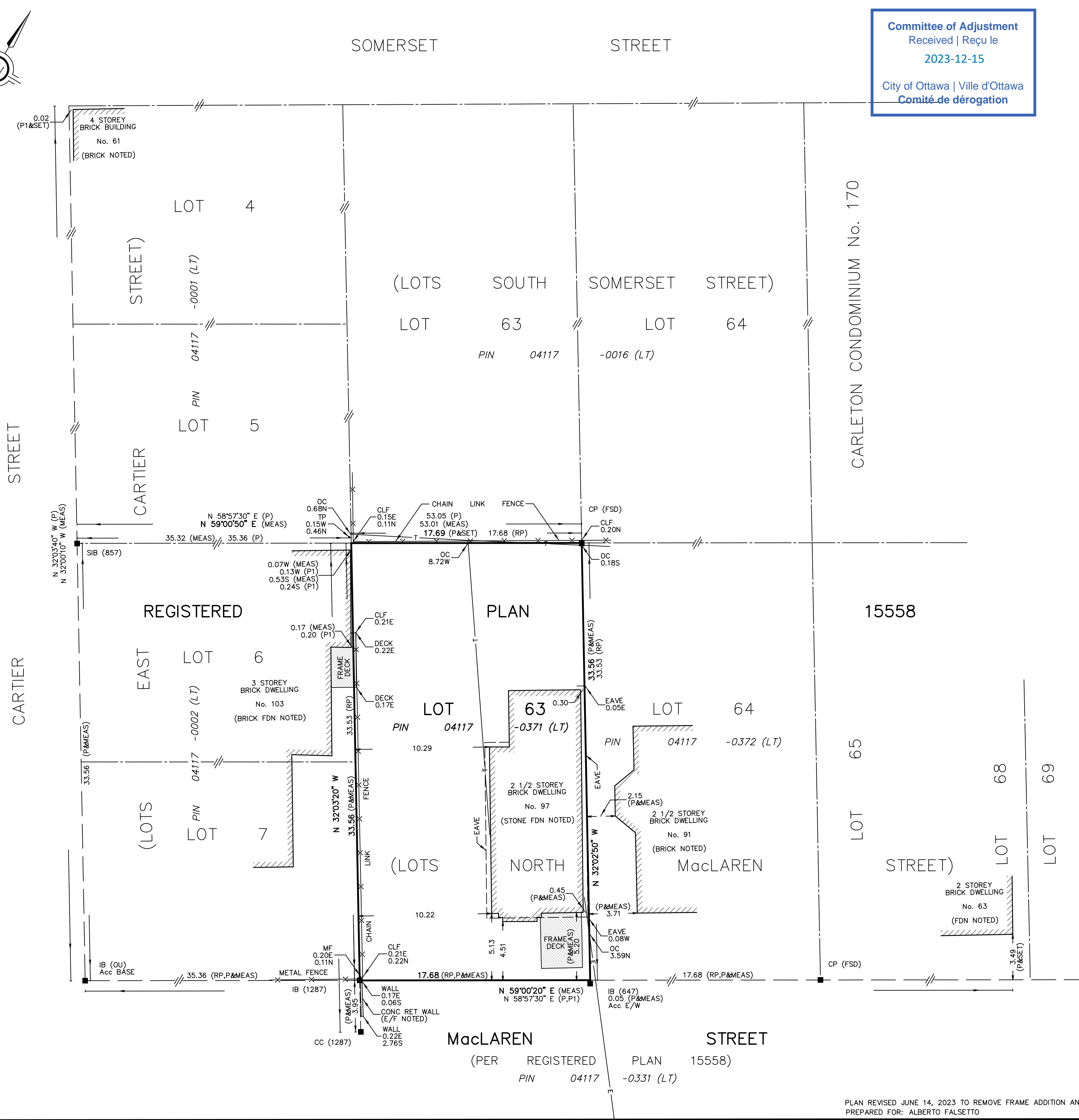
SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON JANUARY 9, 2023.
JANUARY 12, 2023
DATE
George Zervos
GEORGE ZERVOS
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V41887

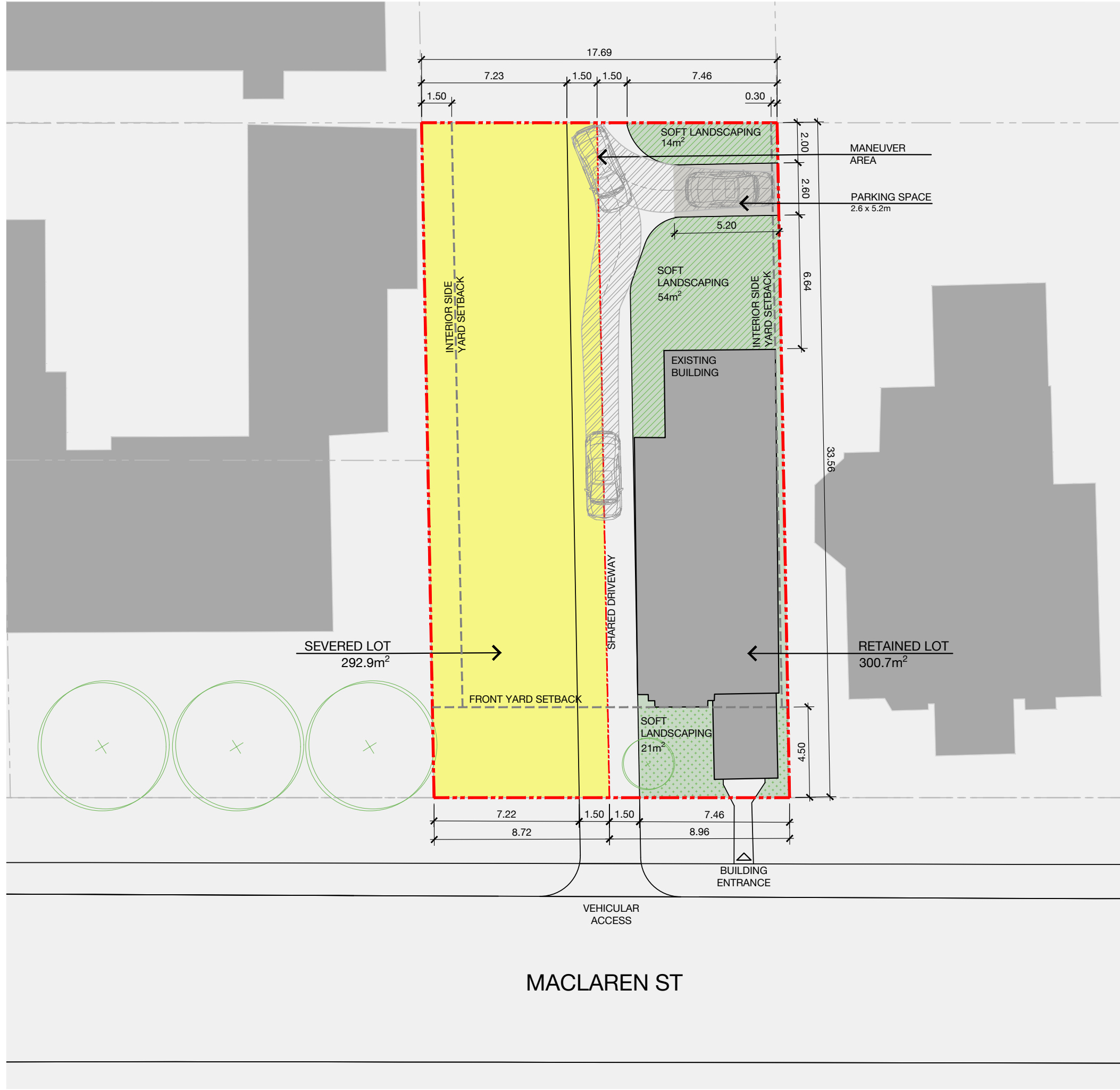


J.D. BARNES
LIMITED
LAND INFORMATION SPECIALISTS
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T: (613) 731-7244 F: (613) 254-8659 www.jdbarnes.com

DRAWN BY: RP	CHECKED BY: GZ	REFERENCE NO.: 22-10-140-00
PLOTTED: 6/15/2023	DATED: 01/12/23	



PLAN REVISED JUNE 14, 2023 TO REMOVE FRAME ADDITION AND SHED.
PREPARED FOR: ALBERTO FALSETTO



SITE INFORMATION

SITE AREA
 Total Site Area: 593.6m²

DEVELOPMENT STATISTICS

PARKING Provided: 1
 Residential: 1

SOFT LANDSCAPING REAR YARD
 Required: 35m²
 Provided: 68m²

SOFT LANDSCAPING FRONT YARD
 Required: 35% (14.1m²)
 Provided: 52% (21m²)

NOTES

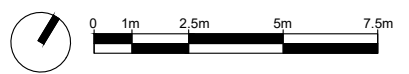
1. The lote lines is based on the Survey provided by the client. The existing roads and surrounding areas is based on the City's Open Data and aerial images.
2. This concept is part of a development concept report and should be interpreted as per findings and descriptions of such report. This concept may require minor variances for setback reduction, parking, heights, etc.

**97
 MACLAREN
 STREET
 OTTAWA
 Concept Plan**



LEGEND

- EXISTING BUILDINGS
- SOFT LANDSCAPING
- SOFT LANDSCAPING - REAR YARD
- SOFT LANDSCAPING - FRONT YARD
- PARKING SPACE
- SEVERED LOT
- SUBJECT PROPERTY BOUNDARY
- PROPERTY BOUNDARY



No.	REVISION	DATE	BY
3	ADDED I.S.Y. SETBACK	2024.08.14	RG
2	SOFT LANDSCAPING	2024.05.06	RG
1	CONCEPT PLAN	2024.04.09	RG

CLIENT
ALBERT FALSETTO

FOTENN
 Planning + Design

OTTAWA: 396 Cooper Street, Suite 300, Ottawa ON K2P 2H7 613.730.5709
 KINGSTON: 4 Cataraqui St, Suite 315, Kingston ON K7K 1Z7 613.542.5454
 TORONTO: 174 Spadina Ave, Suite 304, Toronto ON M5T 2C2 416.789.4530

DESIGNED	RG
REVIEWED	TS
DATE	2024.04.01

P1

NOTICE OF HEARING

Pursuant to the Ontario *Planning Act*

Consent Application

Panel 1

Wednesday, September 18, 2024

1 p.m.

Ben Franklin Place, Main Floor Chamber, 101 Centrepointe Drive
and by videoconference

Owners of neighbouring properties within 60 metres of the property address below are receiving this notice in case they want to comment on the application(s) and/or participate at the hearing.

The hearing can also be viewed on the Committee of Adjustment [YouTube](#) page.

Simultaneous interpretation in both official languages, accessible formats and communication supports are available for any specific agenda item by contacting the Committee of Adjustment at least 72 hours before the hearing.

File No.: D08-01-24/B-00150
Application: Consent under section 53 of the *Planning Act*
Applicants: Roxane John and Goshusp Maneck John
Property Address: 1 Second Avenue
Ward: 17 – Capital
Legal Description: Part of Lots E and F, Registered Plan 35085
Zoning: R3Q [1474]
Zoning By-law: 2008-250

APPLICANTS' PROPOSAL / PURPOSE OF THE APPLICATION:

The Applicants want to convey a portion of its property to the abutting property owner to the east known municipally as 314 Queen Elizabeth Driveway.

CONSENT IS REQUIRED FOR THE FOLLOWING:

The Applicants require the Committee's consent for a Lot Line Adjustment.

The severed property is shown as Part 1 on a draft 4R-plan filed with the application, is landlocked and will contain an area of 1.82 square metres. This vacant land will be merged with the property to the west, known municipally as 314 Queen Elizabeth Driveway.

The retained property, shown on the draft 4R-plan filed with the application, has a frontage of 10.21 metres, an irregular depth, and will contain a lot area of 397.4 square metres. This parcel is known as 1 Second Avenue.

The Application indicates the property is subject to existing easements as in N508046 and N382728.

A reciprocal Consent Application (D08-01-24/B-00151) has been filed by the abutting property owner at 314 Queen Elizabeth Driveway as part of a mutual land exchange and will be heard concurrently with this application.

The property is not the subject of any other current application under the *Planning Act*.

FIND OUT MORE ABOUT THE APPLICATION(S)

For more information about this matter, contact the Committee of Adjustment at the address, email address, website or QR code below.

Visit **[Ottawa.ca/CommitteeofAdjustment](https://ottawa.ca/CommitteeofAdjustment)** and follow the link to **Next hearings** to view panel agendas and application documents, including **proposal cover letters, plans, tree information, hearing notices, circulation maps, and City planning reports**. Written decisions are also published once issued and translated.

If you don't participate in the hearing, you won't receive any further notification of the proceedings.

If you want to be notified of the decision following the hearing, and of any subsequent appeal to the Ontario Land Tribunal, send a written request to the Committee.

HOW TO PARTICIPATE

Submit written or oral comments before the hearing: Email your comments to cofa@ottawa.ca at least 24 hours before the hearing to ensure they are received by the panel adjudicators. You may also call the Coordinator at 613-580-2436 to have your comments transcribed.

Register to Speak at the hearing at least 24 hours before by contacting the Committee Coordinator at 613-580-2436 or at cofa@ottawa.ca. You will receive details on how to participate by videoconference. If you want to share a visual presentation, the Coordinator can provide details on how to do so. Presentations are limited to five minutes, and any exceptions are at the discretion of the Chair.

Hearings are governed by the Committee of Adjustment's *Rules of Practice and Procedure* accessible online.

ALL SUBMITTED INFORMATION BECOMES PUBLIC

Be aware that, in accordance with the *Planning Act*, the *Municipal Act* and the *Municipal Freedom of Information and Privacy Act*, all information presented to the Committee of Adjustment is considered public information and can be shared with any interested individual. Information you choose to disclose in your correspondence and during the hearing, including your personal information, will become part of the public record, and shared with Committee Members, the Applicant(s) or their agent and any other interested individual, and potentially posted online and become searchable on the Internet.

COMMITTEE OF ADJUSTMENT

The Committee of Adjustment is the City of Ottawa's quasi-judicial tribunal created under the Ontario *Planning Act*. Each year, it holds hearings on hundreds of applications under the *Planning Act* in accordance with the Ontario *Statutory Powers Procedure Act*, including consent to sever land and minor variances from the zoning requirements.

DATED: August 30, 2024



Ce document est également offert en français.

Committee of Adjustment
City of Ottawa
101 Centrepointe Drive
Ottawa ON K2G 5K7
Ottawa.ca/CommitteeofAdjustment
cofa@ottawa.ca
613-580-2436



Comité de dérogation
Ville d'Ottawa
101, promenade Centrepointe
Ottawa ON K2G 5K7
Ottawa.ca/Comitedederogation
cded@ottawa.ca
613-580-2436

AVIS D'AUDIENCE

Conformément à la *Loi sur l'aménagement du territoire* de l'Ontario

Demande d'autorisation

Groupe 1

Mercredi 18 septembre 2024

13 h

Place-Ben-Franklin, salle Chamber, 101, promenade Centrepointe
et par vidéoconférence

Les propriétaires des biens-fonds situés dans un rayon de 60 mètres de l'adresse ci-dessous reçoivent le présent avis afin de formuler des observations sur la ou les demandes et de participer à l'audience s'ils le souhaitent.

L'audience peut aussi être visionnée sur la page [YouTube](#) du Comité de dérogation.

Les participants peuvent bénéficier de l'interprétation simultanée dans les deux langues officielles, de formats accessibles et d'aides à la communication pour toute question de l'ordre du jour en s'adressant au Comité de dérogation au moins 72 heures à l'avance.

Dossier : D08-01-24/B-00150
Demande : Autorisation en vertu de l'article 53 de la *Loi sur l'aménagement du territoire*
Requérants : Roxane John et Goshusp Maneck John
Adresse municipale : 1, avenue Second
Quartier : 17 – Capitale
Description officielle : Partie des lots E et F, plan enregistré 35085
Zonage : R3Q [1474]
Règlement de zonage : n° 2008-250

PROPOSITION DES REQUÉRANTS ET OBJET DE LA DEMANDE :

Les requérants souhaitent céder une partie du bien-fonds à la propriétaire du bien-fonds voisin à l'est, situé au 314, promenade de la Reine-Elizabeth.

AUTORISATION REQUISE :

Les requérants nécessitent l'autorisation du Comité pour un redressement de ligne de lot.

La propriété morcelée est représentée par la partie 1 du plan 4R préliminaire déposé avec la demande. Il s'agit d'une propriété enclavée dont la superficie sera de 1,82 mètres carrés. Ce terrain vacant sera fusionné avec la propriété à l'ouest, située au 314, promenade de la Reine-Elizabeth.

La propriété conservée, indiquée sur le plan 4R préliminaire déposé avec la demande, a une façade de 10,21 mètres sur une profondeur irrégulière. Sa superficie sera de 397,4 mètres carrés. L'adresse municipale de la parcelle est le 1, avenue Second.

La demande indique que la propriété est assujettie aux servitudes existantes N508046 et N382728.

Une demande d'autorisation réciproque (D08-01-24/B-00151) a été déposée par la propriétaire voisine du 314, promenade de la Reine-Elizabeth, dans le cadre d'un échange mutuel de terrains, et sera entendue en même temps que la présente demande.

La propriété en question ne fait l'objet d'aucune autre demande en cours en vertu de la *Loi sur l'aménagement du territoire*.

POUR EN SAVOIR PLUS SUR LA DEMANDE

Pour obtenir plus de renseignements à ce sujet, communiquez avec le Comité de dérogation via l'adresse, le courriel, le site Web ou le code QR ci-dessous.

Visitez le site **Ottawa.ca/Comité de dérogation** et suivez le lien **Prochaines audiences** pour consulter l'ordre du jour du Comité et les documents relatifs aux demandes, y compris **les lettres d'accompagnement des propositions, les plans, l'information sur les arbres, les avis d'audience, les cartes de diffusion et les rapports d'urbanisme de la Ville**. Les décisions écrites sont également publiées une fois rendues et traduites.

Si vous ne participez pas à l'audience, vous ne recevrez pas d'autre avis à ce sujet.

Si vous souhaitez recevoir un avis de la décision prise à l'issue de l'audience et de tout appel ultérieur interjeté devant le Tribunal ontarien de l'aménagement du territoire, faites-en la demande par écrit au Comité.

COMMENT PARTICIPER

Présentez vos observations écrites ou orales avant l'audience : Veuillez faire parvenir vos observations par courriel à cded@ottawa.ca au moins 24 heures avant l'audience afin de vous assurer que les membres des groupes chargés du rendu des décisions les ont bien reçues. Vous pouvez également téléphoner au coordonnateur ou à la coordonnatrice au numéro 613-580-2436 pour demander que vos observations soient transcrites.

Inscrivez-vous au moins 24 heures à l'avance en communiquant avec le coordonnateur ou la coordonnatrice du Comité au numéro 613-580-2436 ou à l'adresse à cded@ottawa.ca. Vous recevrez des détails sur la façon de participer par vidéoconférence. Si vous souhaitez faire une présentation visuelle, le coordonnateur ou la coordonnatrice sera en mesure de vous fournir des détails sur la façon de procéder. Les présentations sont limitées à cinq minutes et toute exception est laissée à la discrétion du président ou de la présidente.

Les audiences sont régies par les *Règles de pratique et de procédure* du Comité de dérogation et sont accessibles en ligne.

TOUS LES RENSEIGNEMENTS PRÉSENTÉS DEVIENNENT PUBLICS

Sachez que, conformément à la *Loi sur l'aménagement du territoire*, à la *Loi sur les municipalités* et à la *Loi sur l'accès à l'information municipale et la protection de la vie privée*, les observations écrites adressées au Comité de dérogation sont considérées comme des renseignements publics et peuvent être communiquées à toute personne intéressée. Les renseignements que vous choisissez de divulguer dans votre correspondance, notamment vos renseignements personnels, seront versés au dossier public et communiqués aux membres du Comité, au(x) requérant(s) ou à l'agent, l'agente, ainsi qu'à toute autre personne intéressée et pourront éventuellement être affichés en ligne et faire l'objet d'une recherche sur Internet.

COMITÉ DE DÉROGATION

Le Comité de dérogation est le tribunal quasi judiciaire de la Ville d'Ottawa créé en vertu de la *Loi sur l'aménagement du territoire* de l'Ontario. Chaque année, il tient des audiences sur des centaines de demandes en vertu de la *Loi sur l'aménagement du territoire*, conformément à la *Loi sur l'exercice des compétences légales* de l'Ontario, y compris des demandes d'autorisation de morcellement de terrain et de dérogation mineure aux exigences en matière de zonage.

FAIT : 30 août 2024

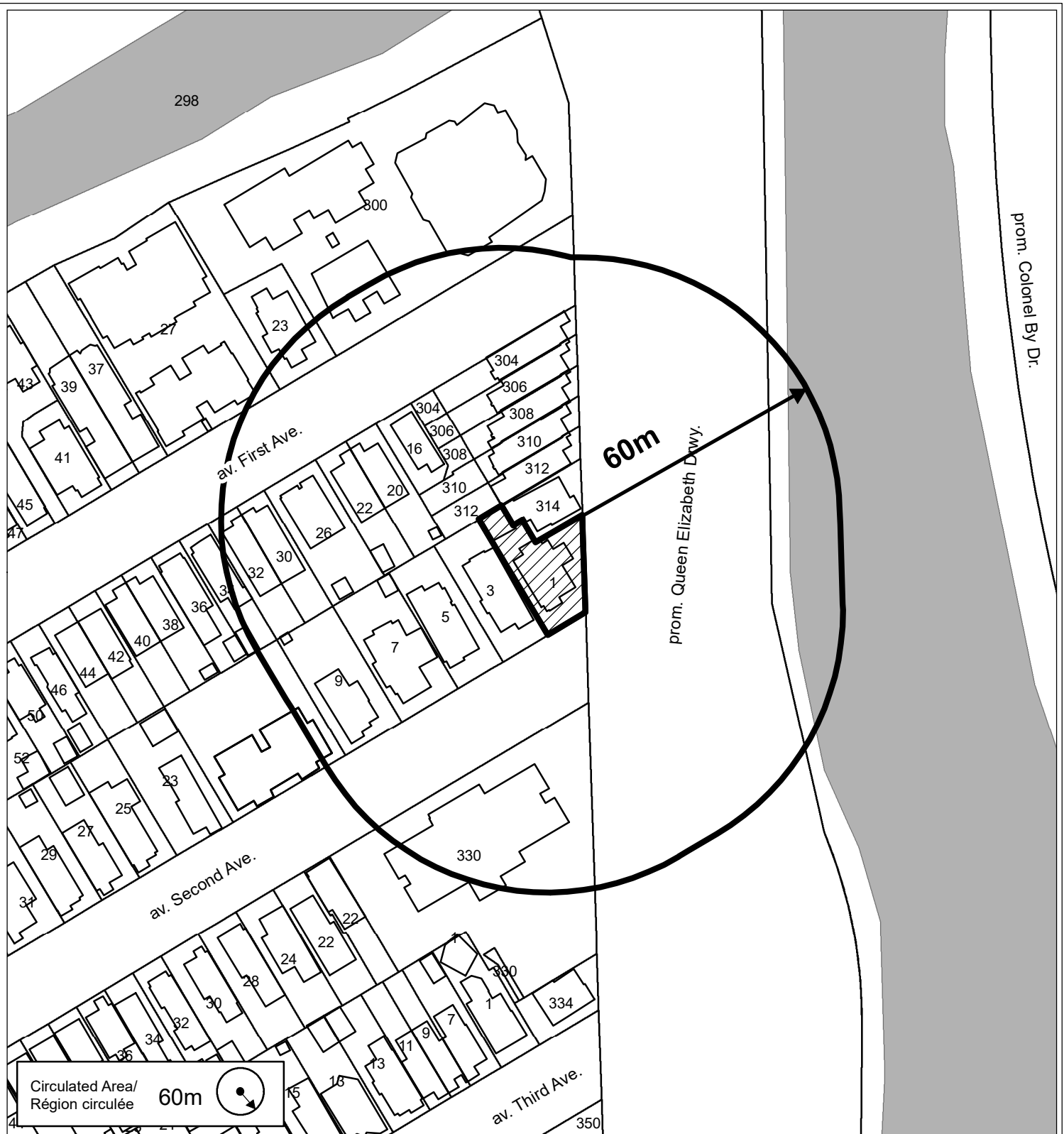


This document is also available in English.

Committee of Adjustment
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Comité de dérogation
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 Ottawa ON K2G 5K7
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cded@ottawa.ca
 613-580-2436




Committee of Adjustment
Comité de dérogation

CIRCULATION MAP /
PLAN DE CIRCULATION

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SUBJECT LAND / TERRAIN EN QUESTION

1 av. Second Avenue



NOT TO SCALE
NON À L'ÉCHELLE

This document is presented in the language it was provided.
Ce document est présenté dans la langue dans laquelle il a été fourni.

August 8, 2024

Committee of Adjustment
City of Ottawa
101 Centrepointe Drive
Ottawa, ON, K2G 5K7

Attention: Michel Bellemare, Secretary - Treasurer

**Reference: 1 Second Avenue
Applications for Consent
Our File No 123139**

Committee of Adjustment
Received | Reçu le

2024-08-14

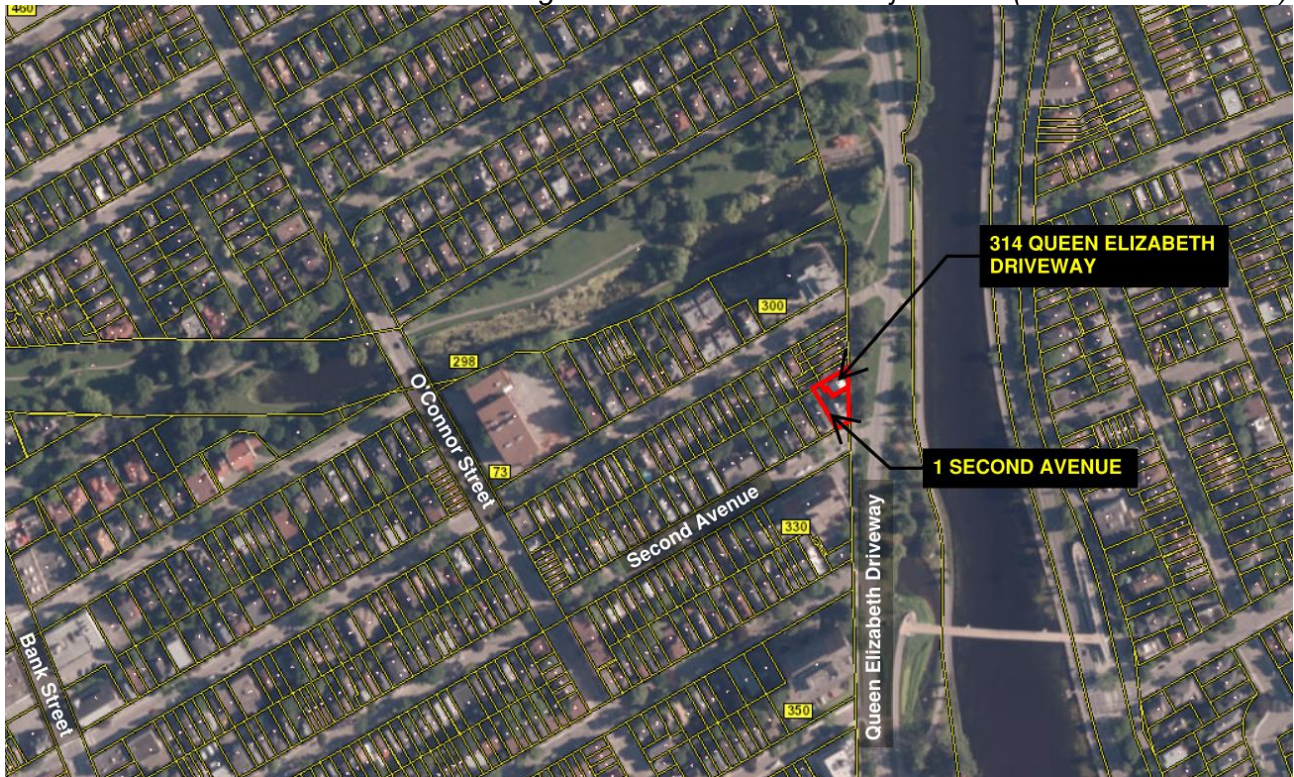
City of Ottawa | Ville d'Ottawa
Comité de dérogation

Dear Mr. Bellemare:

Novatech has been retained by the owner of the property municipally known as 314 Queen Elizabeth Driveway to prepare and file an application for Consent on behalf of the neighbouring property at 1 Second Avenue. The Consent application is for a Lot Line Adjustment to convey a 1.82 square metre part of 1 Second Avenue to 314 Queen Elizabeth Driveway.

This letter describes the existing conditions of the site and its surrounding context, outlines the proposed lot line adjustment application, and provides a rationale in support of the application.

Figure 1: Location of the Subject Site. (Source: GeoOttawa).



Site and Context

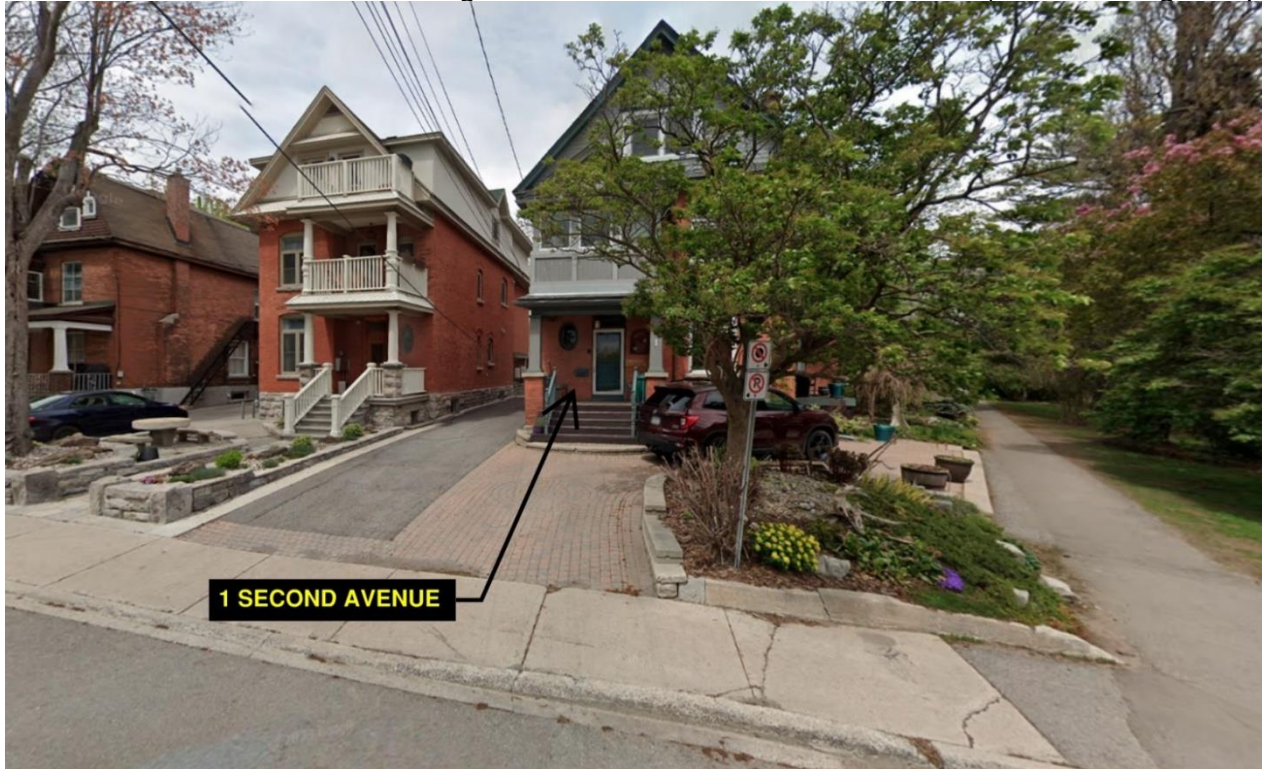
Site

1 Second Avenue is located in the Glebe-Dows Lake neighbourhood within Ward 17 – Capital in the City of Ottawa. 1 Second Avenue is a corner lot located at the northwest corner of Queen Elizabeth Driveway and Second Avenue (see Figure 2). 1 Second Avenue has 22.74 metres of frontage along Queen Elizabeth Driveway and 10.21 metres of frontage along Second Avenue, with a lot area of 401.2 square metres. 1 Second Avenue is legally known as Part of Lots E and F West Side of Driveway Registered Plan 35085 City of Ottawa.

Figure 2: Subject Site. (Source: GeoOttawa).



Figure 3: Streetview of 1 Second Avenue. (Source: Google Maps).



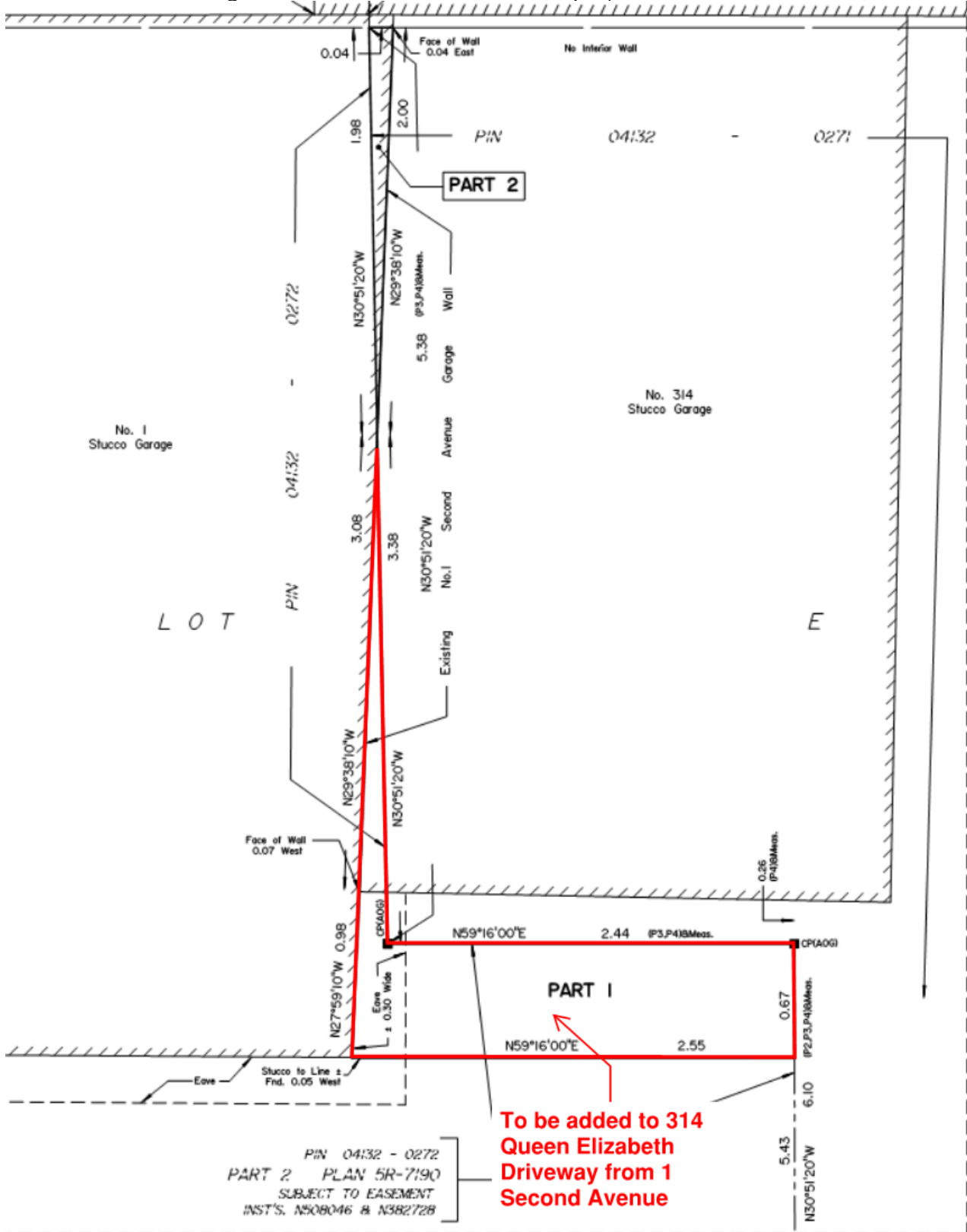
Surrounding Context

The abutting property to the west of 1 Second Avenue is developed with a three-storey detached dwelling. The abutting property to the east is 314 Queen Elizabeth Driveway, which is developed with a three-storey detached dwelling. A driveway access from Second Avenue provides access to parking in the rear for both 314 Queen Elizabeth Driveway and 1 Second Avenue. A detached double garage is located in the rear yard of 1 Second Avenue. The detached double garage shares a wall with the detached garage on 314 Queen Elizabeth Driveway. The detached double garage on 1 Second Avenue encroaches approximately 0.04 metres onto 314 Queen Elizabeth Driveway.

Proposed Development

The proposed Consent application is for a Lot Line Adjustment to convey a 1.82 square metre portion of 1 Second Avenue, shown as Part 1 on the Draft Reference Plan in Figure 4, to 314 Queen Elizabeth Driveway. The Lot Line Adjustment will allow the owners of 314 Queen Elizabeth Driveway to expand the length of their garage by to accommodate a modern vehicle. The Lot Line Adjustment application also amends the shared property line between the detached garages to match the shared building wall, resulting in a portion of 1 Second Avenue being added to 314 Queen Elizabeth Driveway so that the 314 Queen Elizabeth Driveway garage does not encroach into the Subject Site. The Lot Line Adjustment application results in a new interior side yard setback that still complies with the Zoning By-law.

Figure 4: Draft Reference Plan Excerpt. (Source: Annis, O'Sullivan, Vollebakk).



Consent Applications

Consent Application 1:

This application will create a new part from 1 Second Avenue to be conveyed to 314 Queen Elizabeth Driveway.

Consent Rationale

Planning Act

Subsection 53(1) of the Planning Act states:

“53(1) An owner, chargee or purchaser of land, or such owner’s, chargee’s or purchaser’s agent duly authorized in writing, may apply for a consent as defined in subsection 50 (1) and the council or the Minister, as the case may be, may, subject to this section, give a consent if satisfied that a plan of subdivision of the land is not necessary for the proper and orderly development of the municipality. 2021, c. 25, Sched. 24, s. 4 (1).”

The proposed lot line adjustment does not necessitate the construction of new public infrastructure, including roads and services. The proposed lot line adjustment application results in the conveyance of a 1.82 square metre portion of 1 Second Avenue to 314 Queen Elizabeth Driveway. A plan of subdivision is not required for the proper and orderly development of the municipality.

Subsection 53(12) of the Planning Act states:

“53(12) A council or the Minister in determining whether a provisional consent is to be given shall have regard to the matters under subsection 51 (24) and has the same powers as the approval authority has under subsection 51 (25) with respect to the approval of a plan of subdivision and subsections 51 (26) and (27) and section 51.1 apply with necessary modifications to the granting of a provisional consent. 1994, c. 23, s. 32.”

This rationale will speak to the following criteria outlined in subsection 51(24) of the Planning Act.

“51(24) In considering a draft plan of subdivision, regard shall be had, among other matters, to the health, safety, convenience, accessibility for persons with disabilities and welfare of the present and future inhabitants of the municipality and to,”

(a) the effect of development of the proposed subdivision on matters of provincial interest as referred to in section 2;

The proposed lot line adjustment has regard for the following matter(s) of provincial interest:

- the efficient use of land and resources

(b) whether the proposed subdivision is premature or in the public interest;

1 Second Avenue is located within the City of Ottawa’s urban boundary and is in a fully developed neighbourhood. The proposed lot line adjustment will adjust an existing lot line. The lot line adjustment is therefore not premature and is in the public interest.

(c) whether the plan conforms to the official plan and adjacent plans of subdivision, if any;

1 Second Avenue is designated as part of the Rideau Canal Special District in the City of Ottawa Official Plan. The Rideau Canal Special District is defined as a City-defining Special District.

Policy 4 of Section 6.6.2.2 states:

- 4) The following policies will apply in the first row of properties along the Rideau Canal:
- a) Where properties are within or on the edge of established Low-rise residential areas, development will be subject to all of the following:
 - i) Development will respect the existing patterns of building footprints, height, massing, scale, setback and landscape character within the associated streetscape. The associated streetscape will be determined by the existing low-rise properties on one, or if applicable, both sides of the same street, on the same block as the subject property;
 - ii) In order to be consistent with nearby low-rise residential development, anticipated Secondary Plan process for the area as references in Subsection 6.6.3, Policy 1) will consider if Site Plan Control By-Law may extend within the Rideau Canal Special District; and
 - iii) Carefully consider the visual relationship between the site and the Canal, including the adjacent or nearby federal parkways and the preservation of mature trees by ensuring the continuity of the existing landscape patterns, orientation of buildings and preserving views to and from the Canal; and

The proposed lot line adjustment allows for additional space to be provided in front of the existing detached single garage in the rear yard of 314 Queen Elizabeth Driveway to accommodate a slight expansion of the garage. The lot line adjustment also cleans up the existing shared lot line between the detached garages of the Subject Site and 314 Queen Elizabeth Driveway so that it follows the shared building wall. The proposed lot line adjustment will not impact the building massing and scale along the streetscape. Adjusting the lot line to add additional space in front of the detached garage will allow for a minor expansion of the garage. The proposed lot line adjustment does not affect the preservation of mature trees and landscaping patterns.

Policy 8 of Section 11.5 states:

- 11) *The City shall permit lot adjustments in any land-use designated for legal or technical reasons. For the purposes of this section, legal or technical reasons include severances for purposes such as easements, corrections of deeds, quit claims and minor boundary adjustments, which do not result in the creation of a new lot or render an existing lot as non-complying.*

The proposed lot line adjustment allows for more space between the interior lot line and the garage for 314 Queen Elizabeth Driveway. The proposed lot line adjustment also cleans up the lot line separating the existing detached garages on both properties so that the lot line follows the shared building wall and each portion of the detached garage is within the associated lot. The proposed lot line adjustment does not result in the creation of a new lot or render an existing lot as non-complying. Both lots comply with the minimum lot area and minimum lot width requirements after adjusting the lot lines.

The proposed lot line adjustment conforms to the policies of the City of Ottawa's Official Plan.

(d) the suitability of the land for the purposes for which it is to be subdivided;

The proposed lot line adjustment will adjust two shared lot lines between the Subject Site and 314 Queen Elizabeth Driveway. The interior lot line in front of the garage will be shifted south. The lot line separating the garage will be shifted west to follow the building wall. A small portion of 1 Second Avenue will be conveyed to 314 Queen Elizabeth Driveway, providing additional space in front of the existing detached single garage to accommodate a minor expansion of the garage.

(d.1) if any affordable housing units are being proposed, the suitability of the proposed units for affordable housing;

No affordable housing units are proposed.

(e) the number, width, location and proposed grades and elevations of highways, and the adequacy of them, and the highways linking the highways in the proposed subdivision with the established highway system in the vicinity and the adequacy of them;

The consent applications do not propose any new highways.

(f) the dimensions and shapes of the proposed lots;

The proposed lot line adjustment supports the conveyance of a 1.82 square metre portion of 1 Second Avenue to 314 Queen Elizabeth Driveway. The proposed lot line adjustment does not result in the creation of a new lot. The proposed lot line adjustment will adjust a shared lot line south of the detached garage on 314 Queen Elizabeth Driveway in the southerly direction and the shared lot line between the detached garages in the westerly direction. The adjusted lot lines will be in line with the front of the detached double garage on Subject Site and ensures that a portion of the garage on 314 Queen Elizabeth Driveway does not encroach into 1 Second Avenue. The portion of 1 Second Avenue being added to 314 Queen Elizabeth Driveway is currently being used by 314 Queen Elizabeth Driveway for access to their garage. The proposed lot line adjustment allows for the access function to continue while providing space in front of the detached garage to permit a minor expansion of the structure.

(g) the restrictions or proposed restrictions, if any, on the land proposed to be subdivided or the buildings and structures proposed to be erected on it and the restrictions, if any, on adjoining land;

There are no restrictions or proposed restrictions on the lots, beyond the provisions of the Zoning By-law.

(h) conservation of natural resources and flood control;

1 Second Avenue is not located in a floodplain or area of natural interest.

(i) the adequacy of utilities and municipal services;

1 Second Avenue is within the urban boundary and has access to municipal sanitary, stormwater, and water servicing. The lot line adjustment will not have any negative impacts on the adequacy of utilities and municipal services.

(j) the adequacy of school sites;

1 Second Avenue is within 300 metres of First Avenue Public School (JK-6). The proposed lot line adjustment does not result in any new dwelling units and does not generate any new demand for school sites. Approval of the consent application is not anticipated to have an impact on the adequacy of school sites.

(k) the area of land, if any, within the proposed subdivision that, exclusive of highways, is to be conveyed or dedicated for public purposes;

No area of land is proposed to be conveyed or dedicated for public purposes as a result of the proposed lot line adjustment application.

(l) the extent to which the plan's design optimizes the available supply, means of supplying, efficient use and conservation of energy; and

Approval of the proposed lot line adjustment results in a more efficient lot configuration that benefits the owners of 1 Second Avenue and the owners of 314 Queen Elizabeth Driveway. The portion of 1 Second Avenue proposed to be conveyed to 314 Queen Elizabeth Driveway is currently being used for driveway access already. Moving the lot line accommodates a minor expansion of the garage of 314 Queen Elizabeth Driveway, without adversely impacting the function of the site. The lot line adjustment cleans up the shared property line separating the detached garages on both lots, ensuring that the lot line divides the garages along the line of the building wall and so that no portion of the garage on one property is encroaching onto the other property.

(m) the interrelationship between the design of the proposed plan of subdivision and site plan control matters relating to any development on the land, if the land is also located within a site plan control area designated under subsection 41 (2) of this Act or subsection 114 (2) of the City of Toronto Act, 2006. 1994, c. 23, s. 30; 2001, c. 32, s. 31 (2); 2006, c. 23, s. 22 (3, 4); 2016, c. 25, Sched. 4, s. 8 (2).

The proposed development is not subject to site plan control.

The proposed lot line adjustment meets the criteria set out in Section 51(24) of the Planning Act.

Conclusion

The proposed lot line adjustment application at 1 Second Avenue meets the criteria of Section 51(24) of the Planning Act. The consent application is consistent with the policies of the PPS. The consent application meets the intent of the Official Plan. The proposed lot line adjustment results in additional space in front of the existing detached single garage at 314 Queen Elizabeth Driveway, supporting the minor expansion of the garage. The proposed lot line adjustment cleans up the existing lot line separating the detached garages on both lots so that no part of the 314 Queen Elizabeth Driveway

garage encroaches onto the Subject Site. The consent application represents good land use planning.

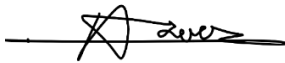
In support of the applications for consent and minor variance, please find enclosed:

- Cover Letter (one copy)
- Complete Consent Application Form (one original copy)
- Signed Consent Authorization Form (one original copy)
- Application fee
- Draft Reference Plan (one 8.5x11 copy and one 11x17 copy)
- Parcel Abstract for 1 Second Avenue (one copy)
- Site Plan Including Ground Floor (one 8.5x11 copy and one 11x17 copy)

Should you have any questions regarding these applications, please do not hesitate to contact me.

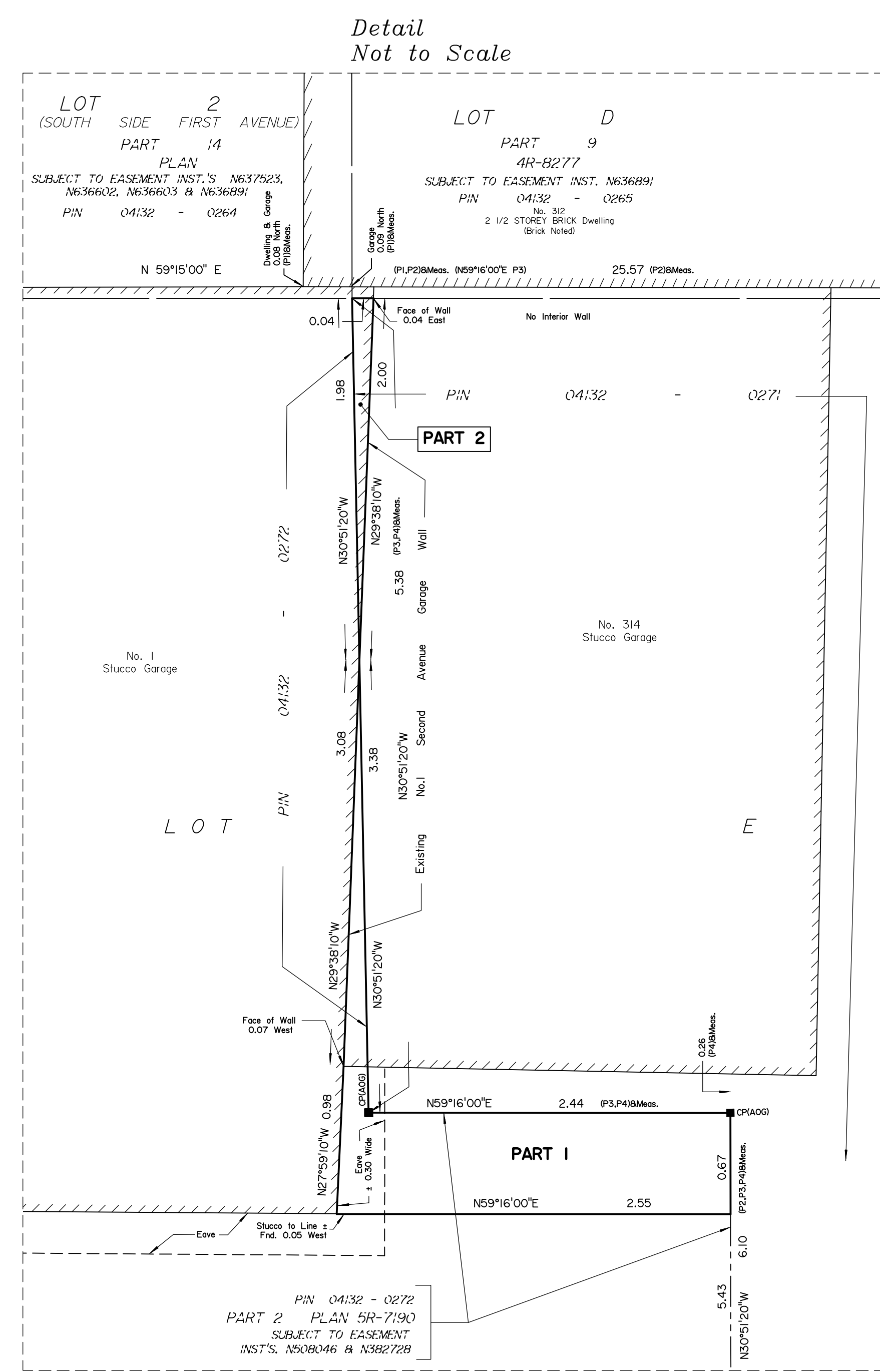
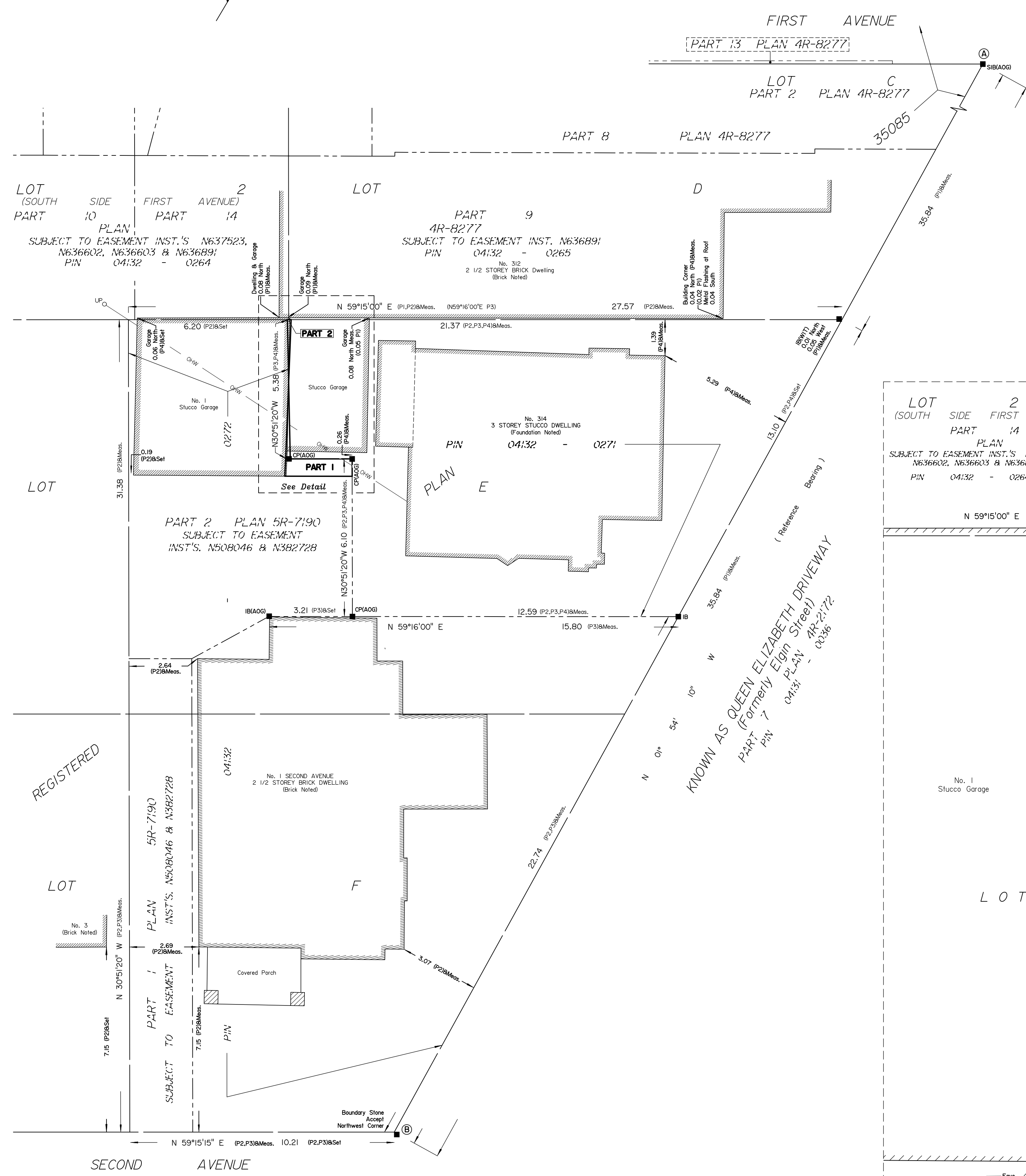
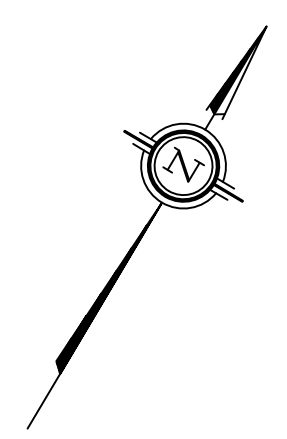
Yours truly,

NOVATECH



Arjan Soor, M.PL
Planner

Committee of Adjustment
Received | Reçu le
2024-08-14
City of Ottawa | Ville d'Ottawa
Comité de dérogation



SCHEDULE				
AREA (Sq.m.)	PART	LOT	PLAN	PIN
1.82	1	PART OF E	35085	PART OF 04132-0272
0.04	2			PART OF 04132-0271

Part 1 Subject to Easement Inst's. N508046 & N382728

**PLAN OF SURVEY OF
PART OF LOT E
WEST SIDE OF DRIVEWAY
REGISTERED PLAN 35085
CITY OF OTTAWA**
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 100
The intended plot size of this plan is 762 mm in width by 610 mm in height when plotted at a scale of 1:100.

Metric
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the ___ day of _____ 2024.

Date _____
E.H. Herweyer
Ontario Land Surveyor

This plan relates to AOLS Plan Submission form number: V-75406

Notes & Legend

Denotes		
—□—	-	Survey Monument Planted
—■—	-	Survey Monument Found
SIB	-	Standard Iron Bar
IB	-	Iron Bar
CP	-	Concrete Pin
(WIT)	-	Witness
Meas.	-	Measured
(AOG)	-	Annis, O'Sullivan, Vollebek Ltd.
(P1)	-	Plan 4R-8277
(P2)	-	Plan by (MPS) dated December 15, 2021
(P3)	-	Plan 5R-7190
(P4)	-	Plan by (AOG) dated June 1, 1983
Fnd.	-	Foundation

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999945.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on reference points A and B, shown hereon, having a bearing of N01°54'10"W and are referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

.01919680005	Northing	5027191.26	Easting	361496.76
.01919680105	Northing	5024915.16	Easting	373971.65
.Point A	Northing	5030002.97	Easting	368796.74
.Point B	Northing	5029931.33	Easting	368799.10

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.

Area of PIN 04132-0271 = 193.9 (Sq.m.)
Area of PIN 04132-0272 = 399.1 (Sq.m.)

NOTE:
THE LEVEL OF 0'-00" SHOWN ON
DRAWINGS, CORRESPONDS TO 68.33 ON
THE SURVEY DRAWING.

No. 1 SECOND AVENUE
2 1/2 STOREY BRICK DWELLING
(Brick Noted)

Committee of Adjustment
Received | Reçu le
2024-08-14
City of Ottawa | Ville d'Ottawa
Comité de dérogation

Architect
FNDA Architecture Inc.
116-828 Harbourside Drive, North Vancouver, B.C. V7P 3R3 - Canada
Tel: (604) 990-5400 Fax: (604) 990-5441

Structural Consultant

Survey
Annis O'Sullivan Vollebek Ltd.
14 Concourse Gate, Suite 500, Ottawa ON, K2E 7S6
Tel: +1 (613) 727-4352

Envelope Consultant

Energy Efficiency Consultant

Geotechnical

REVISIONS:

ISSUE:	DATE:	DESCRIPTION:
1	04/28/2022	ISSUED FOR CONSULTANTS
2	05/16/2022	ISSUED FOR CONSULTANTS
3	06/30/2022	ISSUED FOR PRELIMINARY
4	09/26/2022	ISSUED FOR BP
5	10/27/2022	CITY COMMENTS OCT 9TH
6	12/02/2022	BP INCLUDING VARIANCE
7	12/05/2022	FOR VARIANCE
8	03/24/2023	REVISED FOR VARIANCE
9	12/05/2023	REVISED FOR VARIANCE
10	05/31/2023	ISSUED FOR BP
11	05/27/2024	GARAGE EXTENSION

PROF STAMP

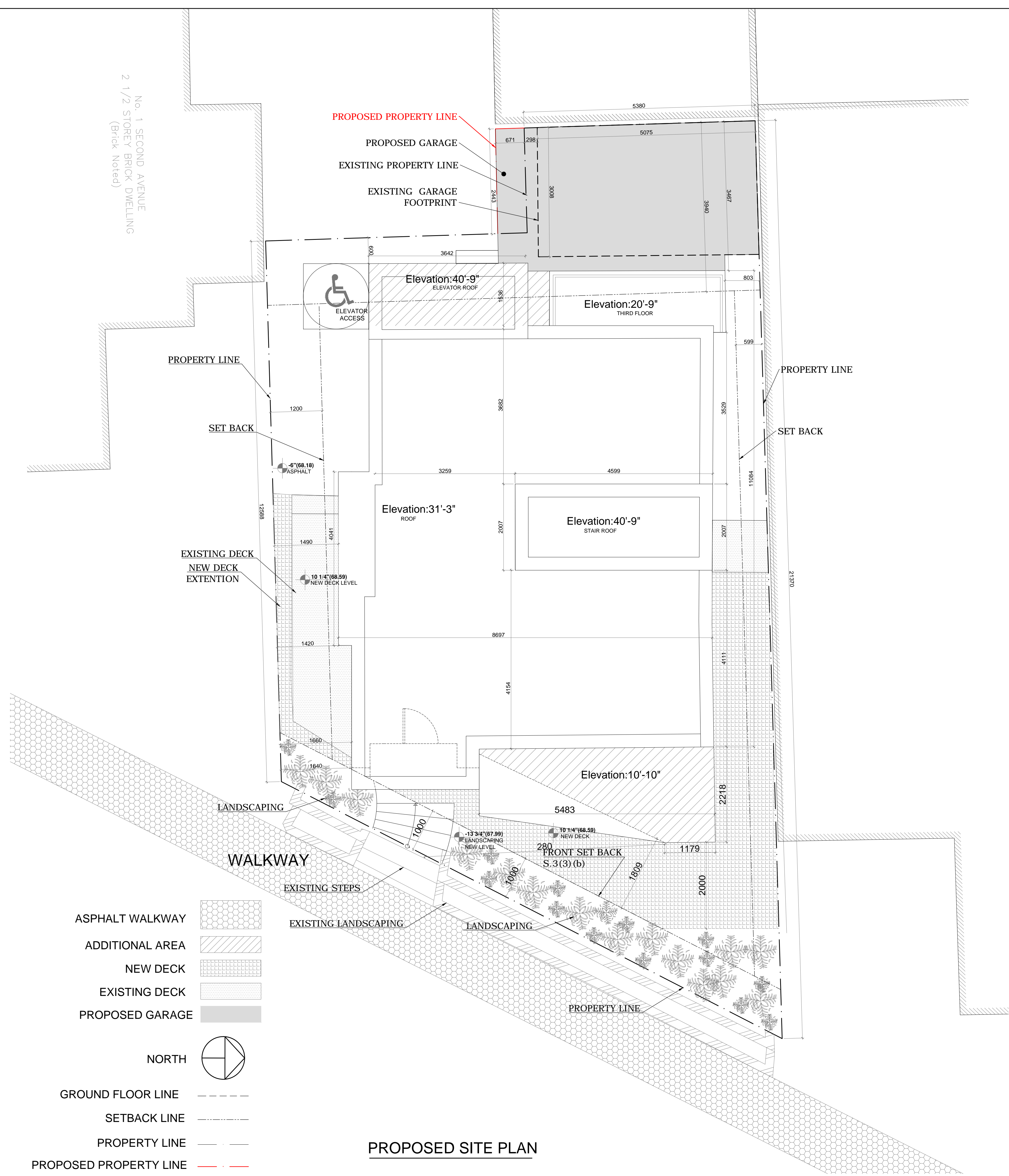
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE DRAWING AND SPECIFICATION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE PROJECT. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. COPYRIGHT RESERVED.

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04/11/2022
DRAWN BY: **AN**
SCALE: 1/4"=1'
PROJECT NO.: 22201
DATE:

PROJECT: **PRIVATE RESIDENCE**
314 QUEEN ELIZABETH DRIVEWAY, OTTAWA, ONT.

PROPOSED SITE PLAN



PROPOSED SITE PLAN

NOTICE OF HEARING

Pursuant to the Ontario *Planning Act*

Consent Application

Panel 1

Wednesday, September 18, 2024

1 p.m.

Ben Franklin Place, Main Floor Chamber, 101 Centrepointe Drive
and by videoconference

Owners of neighbouring properties within 60 metres of the property address below are receiving this notice in case they want to comment on the application(s) and/or participate at the hearing.

The hearing can also be viewed on the Committee of Adjustment [YouTube](#) page.

Simultaneous interpretation in both official languages, accessible formats and communication supports are available for any specific agenda item by contacting the Committee of Adjustment at least 72 hours before the hearing.

File No.: D08-01-24/B-00151
Application: Consent under section 53 of the *Planning Act*
Applicant: Michelle Sample
Property Address: 314 Queen Elizabeth Driveway
Ward: 17 – Capital
Legal Description: Part of Lot E, Registered Plan 35085
Zoning: R3Q [1474]
Zoning By-law: 2008-250

APPLICANT'S PROPOSAL / PURPOSE OF THE APPLICATION:

The Applicant wants to convey a portion of her property to the abutting property owners to the west known municipally as 1 Second Avenue.

CONSENT IS REQUIRED FOR THE FOLLOWING:

The Applicant requires the Committee's consent for a Lot Line Adjustment.

The severed property is shown as Part 2 on a draft 4R-plan filed with the application, is landlocked and will contain an area of 0.04 square metres. This vacant land will be merged with the property to the east, known municipally as 1 Second Avenue.

The retained property, shown on the draft 4R-plan filed with the application, has a frontage of 13.1 metres, an irregular depth, and will contain a lot area of 194.96 square metres. This parcel is known as 314 Queen Elizabeth Driveway.

A reciprocal Consent Application (D08-01-24/B-00150) has been filed by the abutting property owner at 1 Second Avenue as part of a mutual land exchange and will be heard concurrently with this application.

The property is not the subject of any other current application under the *Planning Act*.

FIND OUT MORE ABOUT THE APPLICATION(S)

For more information about this matter, contact the Committee of Adjustment at the address, email address, website or QR code below.

Visit **[Ottawa.ca/CommitteeofAdjustment](https://ottawa.ca/CommitteeofAdjustment)** and follow the link to **Next hearings** to view panel agendas and application documents, including **proposal cover letters, plans, tree information, hearing notices, circulation maps, and City planning reports**. Written decisions are also published once issued and translated.

If you don't participate in the hearing, you won't receive any further notification of the proceedings.

If you want to be notified of the decision following the hearing, and of any subsequent appeal to the Ontario Land Tribunal, send a written request to the Committee.

HOW TO PARTICIPATE

Submit written or oral comments before the hearing: Email your comments to cofa@ottawa.ca at least 24 hours before the hearing to ensure they are received by the panel adjudicators. You may also call the Coordinator at 613-580-2436 to have your comments transcribed.

Register to Speak at the hearing at least 24 hours before by contacting the Committee Coordinator at 613-580-2436 or at cofa@ottawa.ca. You will receive details on how to participate by videoconference. If you want to share a visual presentation, the Coordinator can provide details on how to do so. Presentations are limited to five minutes, and any exceptions are at the discretion of the Chair.

Hearings are governed by the Committee of Adjustment's *Rules of Practice and Procedure* accessible online.

ALL SUBMITTED INFORMATION BECOMES PUBLIC

Be aware that, in accordance with the *Planning Act*, the *Municipal Act* and the *Municipal Freedom of Information and Privacy Act*, all information presented to the Committee of Adjustment is considered public information and can be shared with any interested individual. Information you choose to disclose in your correspondence and during the hearing, including your personal information, will become part of the public record, and shared with Committee Members, the Applicant(s) or their agent and any other interested individual, and potentially posted online and become searchable on the Internet.

COMMITTEE OF ADJUSTMENT

The Committee of Adjustment is the City of Ottawa's quasi-judicial tribunal created under the Ontario *Planning Act*. Each year, it holds hearings on hundreds of applications under the *Planning Act* in accordance with the Ontario *Statutory Powers Procedure Act*, including consent to sever land and minor variances from the zoning requirements.

DATED: August 30, 2024



Ce document est également offert en français.

Committee of Adjustment
City of Ottawa
101 Centrepointe Drive
Ottawa ON K2G 5K7
Ottawa.ca/CommitteeofAdjustment
cofa@ottawa.ca
613-580-2436



Comité de dérogation
Ville d'Ottawa
101, promenade Centrepointe
Ottawa ON K2G 5K7
Ottawa.ca/Comitedederogation
cded@ottawa.ca
613-580-2436

AVIS D'AUDIENCE

Conformément à la *Loi sur l'aménagement du territoire* de l'Ontario

Demande d'autorisation

Groupe 1

Mercredi 18 septembre 2024

13 h

Place-Ben-Franklin, salle Chamber, 101, promenade Centrepointe
et par vidéoconférence

Les propriétaires des biens-fonds situés dans un rayon de 60 mètres de l'adresse ci-dessous reçoivent le présent avis afin de formuler des observations sur la ou les demandes et de participer à l'audience s'ils le souhaitent.

L'audience peut aussi être visionnée sur la page [YouTube](#) du Comité de dérogation.

Les participants peuvent bénéficier de l'interprétation simultanée dans les deux langues officielles, de formats accessibles et d'aides à la communication pour toute question de l'ordre du jour en s'adressant au Comité de dérogation au moins 72 heures à l'avance.

Dossier : D08-01-24/B-00151
Demande : Autorisation en vertu de l'article 53 de la *Loi sur l'aménagement du territoire*
Requérante : Michelle Sample
Quartier : 314, promenade de la Reine-Elizabeth
Description officielle : 17 – Capitale
Zonage : Partie du lot E, plan enregistré 35085
Règlement de zonage : n° 2008-250

PROPOSITION DE LA REQUÉRANTE ET OBJET DE LA DEMANDE :

La requérante souhaite céder une partie de son bien-fonds aux propriétaires du bien-fonds voisin à l'ouest, situé au 1, avenue Second.

AUTORISATION REQUISE :

La requérante nécessite l'autorisation du Comité en vue d'un redressement de ligne de lot.

La propriété morcelée est représentée par la partie 2 sur le plan 4R préliminaire déposé avec la demande. Il s'agit d'une parcelle enclavée dont la superficie sera de 0,04 mètre carré. Ce terrain vacant sera fusionné avec la propriété à l'est, située au 1, avenue Second.

La propriété conservée, indiquée sur le plan 4R préliminaire déposé avec la demande, a une façade de 13,1 mètres sur une profondeur irrégulière. Sa superficie sera de 194,96 mètres carrés. L'adresse municipale est le 314, promenade de la Reine-Elizabeth.

Une demande d'autorisation réciproque (D08-01-24/B-00150) a été déposée par les propriétaires voisins du 1, avenue Second dans le cadre d'un échange mutuel de terrains et sera entendue en même temps que la présente demande.

La propriété en question ne fait l'objet d'aucune autre demande en cours en vertu de la *Loi sur l'aménagement du territoire*.

POUR EN SAVOIR PLUS SUR LA DEMANDE

Pour obtenir plus de renseignements à ce sujet, communiquez avec le Comité de dérogation via l'adresse, le courriel, le site Web ou le code QR ci-dessous.

Visitez le site **Ottawa.ca/Comité de dérogation** et suivez le lien **Prochaines audiences** pour consulter l'ordre du jour du Comité et les documents relatifs aux demandes, y compris **les lettres d'accompagnement des propositions, les plans, l'information sur les arbres, les avis d'audience, les cartes de diffusion et les rapports d'urbanisme de la Ville**. Les décisions écrites sont également publiées une fois rendues et traduites.

Si vous ne participez pas à l'audience, vous ne recevrez pas d'autre avis à ce sujet.

Si vous souhaitez recevoir un avis de la décision prise à l'issue de l'audience et de tout appel ultérieur interjeté devant le Tribunal ontarien de l'aménagement du territoire, faites-en la demande par écrit au Comité.

COMMENT PARTICIPER

Présentez vos observations écrites ou orales avant l'audience : Veuillez faire parvenir vos observations par courriel à cded@ottawa.ca au moins 24 heures avant l'audience afin de vous assurer que les membres des groupes chargés du rendu des décisions les ont bien reçues. Vous pouvez également téléphoner au coordonnateur ou à la coordonnatrice au numéro 613-580-2436 pour demander que vos observations soient transcrites.

Inscrivez-vous au moins 24 heures à l'avance en communiquant avec le coordonnateur ou la coordonnatrice du Comité au numéro 613-580-2436 ou à l'adresse à cded@ottawa.ca. Vous recevrez des détails sur la façon de participer par vidéoconférence. Si vous souhaitez faire une présentation visuelle, le coordonnateur ou la coordonnatrice sera en mesure de vous fournir des détails sur la façon de procéder. Les présentations sont limitées à cinq minutes et toute exception est laissée à la discrétion du président ou de la présidente.

Les audiences sont régies par les *Règles de pratique et de procédure* du Comité de dérogation et sont accessibles en ligne.

TOUS LES RENSEIGNEMENTS PRÉSENTÉS DEVIENNENT PUBLICS

Sachez que, conformément à la *Loi sur l'aménagement du territoire*, à la *Loi sur les municipalités* et à la *Loi sur l'accès à l'information municipale et la protection de la vie privée*, les observations écrites adressées au Comité de dérogation sont considérées comme des renseignements publics et peuvent être communiquées à toute personne intéressée. Les renseignements que vous choisissez de divulguer dans votre correspondance, notamment vos renseignements personnels, seront versés au dossier public et communiqués aux membres du Comité, au(x) requérant(s) ou à l'agent, l'agente, ainsi qu'à toute autre personne intéressée et pourront éventuellement être affichés en ligne et faire l'objet d'une recherche sur Internet.

COMITÉ DE DÉROGATION

Le Comité de dérogation est le tribunal quasi judiciaire de la Ville d'Ottawa créé en vertu de la *Loi sur l'aménagement du territoire* de l'Ontario. Chaque année, il tient des audiences sur des centaines de demandes en vertu de la *Loi sur l'aménagement du territoire*, conformément à la *Loi sur l'exercice des compétences légales* de l'Ontario, y compris des demandes d'autorisation de morcellement de terrain et de dérogation mineure aux exigences en matière de zonage.

FAIT : 30 août 2024



This document is also available in English.

Committee of Adjustment

City of Ottawa
101 Centrepointe Drive
Ottawa ON K2G 5K7

[Ottawa.ca/CommitteeofAdjustment](https://ottawa.ca/CommitteeofAdjustment)

cofa@ottawa.ca

613-580-2436



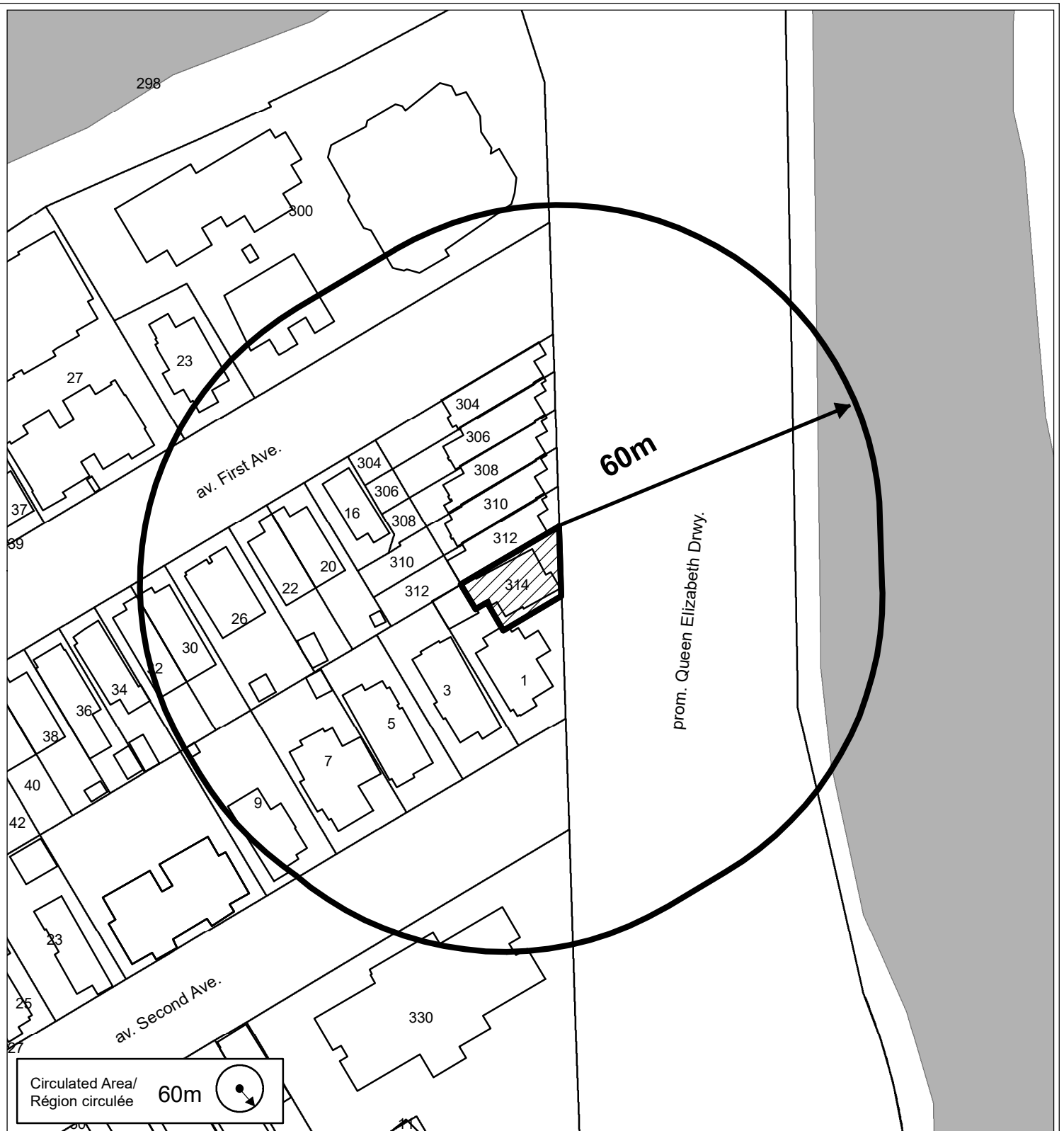
Comité de dérogation

Ville d'Ottawa
101, promenade Centrepointe
Ottawa ON K2G 5K7

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cded@ottawa.ca

613-580-2436



Committee of Adjustment
Comité de dérogation

CIRCULATION MAP /
PLAN DE CIRCULATION

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SUBJECT LAND / TERRAIN EN QUESTION
314 prom. Queen Elizabeth Drwy



NOT TO SCALE
NON À L'ÉCHELLE

This document is presented in the language it was provided.
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August 8, 2024

Committee of Adjustment
City of Ottawa
101 Centrepointe Drive
Ottawa, ON, K2G 5K7

Attention: Michel Bellemare, Secretary - Treasurer

**Reference: 314 Queen Elizabeth Driveway
Applications for Consent
Our File No 123139**

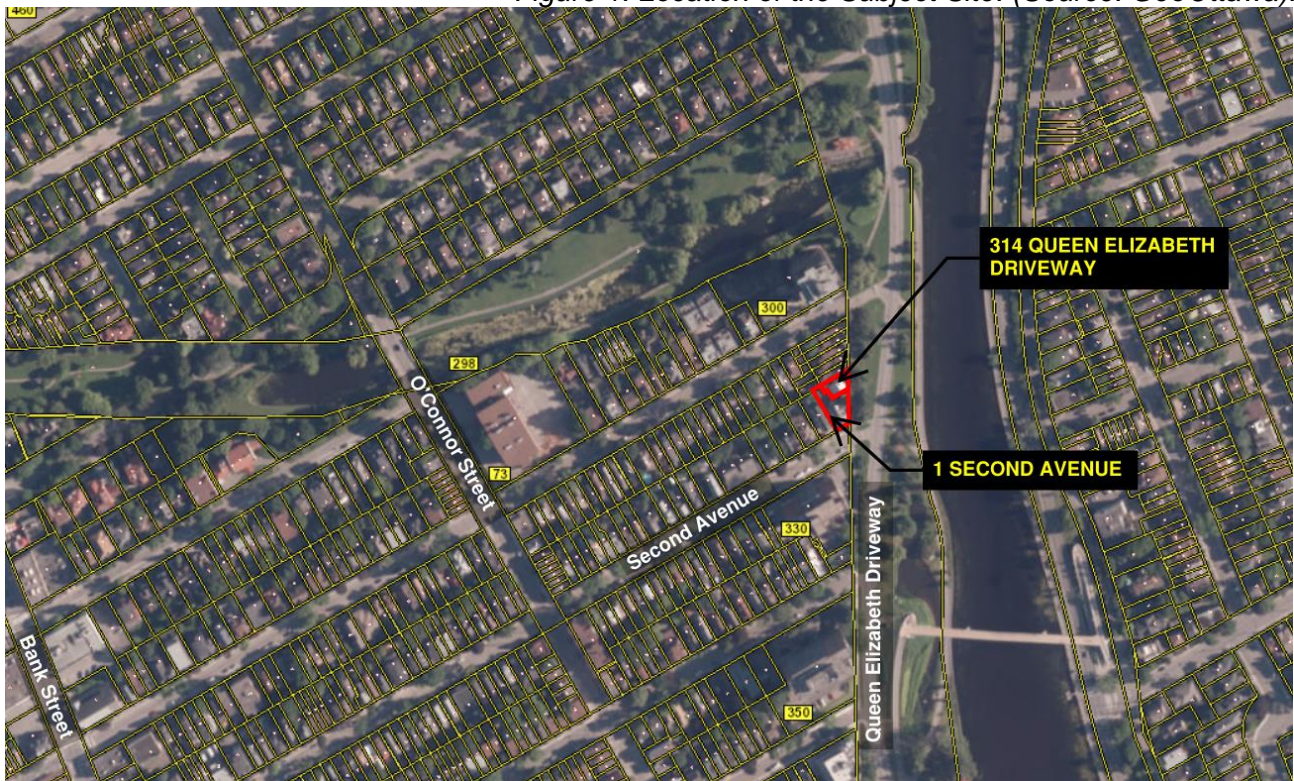
Committee of Adjustment
Received | Reçu le
2024-08-14
City of Ottawa | Ville d'Ottawa
Comité de dérogation

Dear Mr. Bellemare:

Novatech has been retained by the owner of the property municipally known as 314 Queen Elizabeth Driveway to prepare and file applications for Consent. This Consent application is for a Lot Line Adjustment to convey 0.04 square metres from 314 Queen Elizabeth Driveway to 1 Second Avenue.

This letter describes the existing conditions of the site and its surrounding context, outlines the proposed lot line adjustment application, and provides a rationale in support of the application.

Figure 1: Location of the Subject Site. (Source: GeoOttawa).



Site and Context

Site

314 Queen Elizabeth Driveway is located in the Glebe-Dows Lake neighbourhood within Ward 17 – Capital in the City of Ottawa. 314 Queen Elizabeth Driveway is an interior lot located on the west side of Queen Elizabeth Driveway (see Figure 2). 314 Queen Elizabeth Driveway has 13.1 metres of frontage along Queen Elizabeth Driveway and a lot area of 195 square metres. 314 Queen Elizabeth Driveway is legally known as Part of Lot E West Side of Driveway Registered Plan 35085 City of Ottawa.

Figure 2: Subject Site. (Source: GeoOttawa).



Figure 3: 314 Queen Elizabeth Driveway and 1 Second Avenue. (Source: Google Maps).



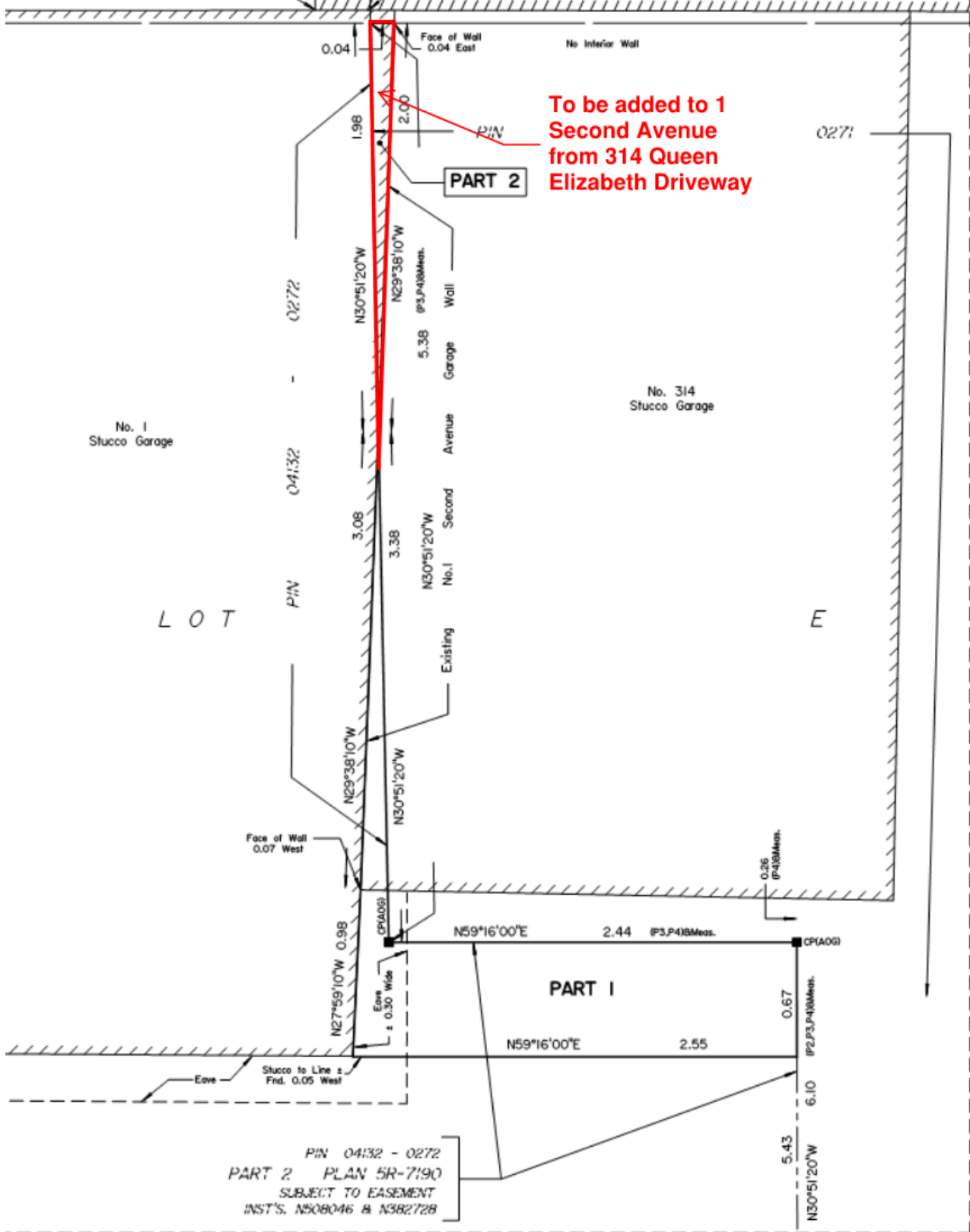
Surrounding Context

The abutting property to the north of 314 Queen Elizabeth Driveway is developed with a three-storey townhouse dwelling (312 Queen Elizabeth Driveway) which is designated under Part IV of the Ontario Heritage Act. The abutting property to the west is 1 Second Avenue, which is developed with a 2.5-storey detached dwelling. A driveway access from Second Avenue provides access to parking in the rear for both 314 Queen Elizabeth Driveway and 1 Second Avenue. A detached single garage is located in the rear yard of 314 Queen Elizabeth Driveway. The detached single garage shares a wall with the detached garage in the rear yard of 1 Second Avenue. The detached single garage on 314 Queen Elizabeth Driveway encroaches approximately 0.07 metres onto 1 Second Avenue.

Proposed Development

The proposed Consent application is for a Lot Line Adjustment to convey a 0.04 square metre portion of 314 Queen Elizabeth Driveway shown as Part 2 on the Draft Reference Plan in Figure 4, to 1 Second Avenue. The Lot Line Adjustment application amends the shared property line between the detached garages to match the shared building wall, resulting in a portion of 314 Queen Elizabeth Driveway being added to 1 Second Avenue so that the 1 Second Avenue garage does not encroach onto the Subject Site.

Figure 4: Draft Reference Plan Excerpt. (Source: Annis, O'Sullivan, Vollebakk).



Consent Applications

Consent Application 1:

This application will create a new part from 314 Queen Elizabeth Driveway to be conveyed to 1 Second Avenue.

Consent Rationale

Planning Act

Subsection 53(1) of the Planning Act states:

“53(1) An owner, chargee or purchaser of land, or such owner’s, chargee’s or purchaser’s agent duly authorized in writing, may apply for a consent as defined in subsection 50 (1) and the council or the Minister, as the case may be, may, subject to this section, give a consent if satisfied that a plan of subdivision of the land is not necessary for the proper and orderly development of the municipality. 2021, c. 25, Sched. 24, s. 4 (1).”

The proposed lot line adjustment does not necessitate the construction of new public infrastructure, including roads and services. The proposed lot line adjustment application results in the conveyance of a 0.04 square metre portion of 314 Queen Elizabeth Driveway to 1 Second Avenue. A plan of subdivision is not required for the proper and orderly development of the municipality.

Subsection 53(12) of the Planning Act states:

“53(12) A council or the Minister in determining whether a provisional consent is to be given shall have regard to the matters under subsection 51 (24) and has the same powers as the approval authority has under subsection 51 (25) with respect to the approval of a plan of subdivision and subsections 51 (26) and (27) and section 51.1 apply with necessary modifications to the granting of a provisional consent. 1994, c. 23, s. 32.”

This rationale will speak to the following criteria outlined in subsection 51(24) of the Planning Act.

“51(24) In considering a draft plan of subdivision, regard shall be had, among other matters, to the health, safety, convenience, accessibility for persons with disabilities and welfare of the present and future inhabitants of the municipality and to,”

(a) the effect of development of the proposed subdivision on matters of provincial interest as referred to in section 2;

The proposed lot line adjustment has regard for the following matter(s) of provincial interest:

- the efficient use of land and resources

(b) whether the proposed subdivision is premature or in the public interest;

314 Queen Elizabeth Driveway is located within the City of Ottawa’s urban boundary and is in a fully developed neighbourhood. The proposed lot line adjustment will adjust an existing lot line. The lot line adjustment is therefore not premature and is in the public interest.

(c) whether the plan conforms to the official plan and adjacent plans of subdivision, if any;

314 Queen Elizabeth Driveway is designated as part of the Rideau Canal Special District in the City of Ottawa Official Plan. The Rideau Canal Special District is defined as a City-defining Special District.

Policy 4 of Section 6.6.2.2 states:

- 4) The following policies will apply in the first row of properties along the Rideau Canal:
- a) Where properties are within or on the edge of established Low-rise residential areas, development will be subject to all of the following:
- i) Development will respect the existing patterns of building footprints, height, massing, scale, setback and landscape character within the associated streetscape. The associated streetscape will be determined by the existing low-rise properties on one, or if applicable, both sides of the same street, on the same block as the subject property;
- ii) In order to be consistent with nearby low-rise residential development, anticipated Secondary Plan process for the area as references in Subsection 6.6.3, Policy 1) will consider if Site Plan Control By-Law may extend within the Rideau Canal Special District; and
- iii) Carefully consider the visual relationship between the site and the Canal, including the adjacent or nearby federal parkways and the preservation of mature trees by ensuring the continuity of the existing landscape patterns, orientation of buildings and preserving views to and from the Canal; and

The proposed lot line adjustment cleans up the existing shared lot line between the detached garages of the Subject Site and 1 Second Avenue so that it follows the shared building wall. The proposed lot line adjustment will not impact the building massing and scale along the streetscape. The proposed lot line adjustment does not affect the preservation of mature trees and landscaping patterns.

Policy 8 of Section 11.5 states:

- 11) *The City shall permit lot adjustments in any land-use designated for legal or technical reasons. For the purposes of this section, legal or technical reasons include severances for purposes such as easements, corrections of deeds, quit claims and minor boundary adjustments, which do not result in the creation of a new lot or render an existing lot as non-complying.*

The proposed lot line adjustment cleans up the lot line separating the existing detached garages on both properties so that the lot line follows the shared building wall and each detached garage is within the associated lot. The proposed lot line adjustment does not result in the creation of a new lot or render an existing lot as non-complying. Both lots comply with the minimum lot area and minimum lot width requirements after adjusting the lot lines.

The proposed lot line adjustment conforms to the policies of the City of Ottawa's Official Plan.

(d) the suitability of the land for the purposes for which it is to be subdivided;

The proposed lot line adjustment will adjust the rear lot line of the Subject Site, which is a shared lot line with 1 Second Avenue. The rear lot line will be moved east 0.04 metres so that a portion of 314 Queen Elizabeth Driveway is conveyed to 1 Second Avenue. This adjusts the lot line between the garages so that it follows the building wall.

(d.1) if any affordable housing units are being proposed, the suitability of the proposed units for affordable housing;

No affordable housing units are proposed.

(e) the number, width, location and proposed grades and elevations of highways, and the adequacy of them, and the highways linking the highways in the proposed subdivision with the established highway system in the vicinity and the adequacy of them;

The consent applications do not propose any new highways.

(f) the dimensions and shapes of the proposed lots;

The proposed lot line adjustment supports the conveyance of a 0.04 square metre portion of 314 Queen Elizabeth Driveway to 1 Second Avenue. The proposed lot line adjustment does not result in the creation of a new lot. The proposed lot line adjustment will adjust the shared lot line separating the detached garages on both lots by 0.04 metres. The adjusted lot line ensures that a portion of the 1 Second Avenue garage does not encroach onto 314 Queen Elizabeth Driveway.

(g) the restrictions or proposed restrictions, if any, on the land proposed to be subdivided or the buildings and structures proposed to be erected on it and the restrictions, if any, on adjoining land;

There are no restrictions or proposed restrictions on the lots, beyond the provisions of the Zoning By-law.

(h) conservation of natural resources and flood control;

314 Queen Elizabeth Driveway is not located in a floodplain or area of natural interest.

(i) the adequacy of utilities and municipal services;

314 Queen Elizabeth Driveway is within the urban boundary and has access to municipal sanitary, stormwater, and water servicing. The lot line adjustment will not have any negative impacts on the adequacy of utilities and municipal services.

(j) the adequacy of school sites;

314 Queen Elizabeth Driveway is within 300 metres of First Avenue Public School (JK-6). The proposed lot line adjustment does not result in any new dwelling units and does not generate any new demand for school sites. Approval of the consent application is not anticipated to have an impact on the adequacy of school sites.

(k) the area of land, if any, within the proposed subdivision that, exclusive of highways, is to be conveyed or dedicated for public purposes;

No area of land is proposed to be conveyed or dedicated for public purposes as a result of the proposed lot line adjustment application.

(l) the extent to which the plan's design optimizes the available supply, means of supplying, efficient use and conservation of energy; and

Approval of the proposed lot line adjustment results in a more efficient lot configuration that benefits the owners of 1 Second Avenue and the owners of 314 Queen Elizabeth Driveway. The lot line adjustment cleans up the shared property line separating the detached garages on both lots, ensuring that the lot line divides the garages along the line of the building wall and so that no portion of the garage on one property is encroaching onto the other property.

(m) the interrelationship between the design of the proposed plan of subdivision and site plan control matters relating to any development on the land, if the land is also located within a site plan control area designated under subsection 41 (2) of this Act or subsection 114 (2) of the City of Toronto Act, 2006. 1994, c. 23, s. 30; 2001, c. 32, s. 31 (2); 2006, c. 23, s. 22 (3, 4); 2016, c. 25, Sched. 4, s. 8 (2).

The proposed development is not subject to site plan control.

The proposed lot line adjustment meets the criteria set out in Section 51(24) of the Planning Act.

Conclusion

The proposed lot line adjustment application at 314 Queen Elizabeth Driveway meets the criteria of Section 51(24) of the Planning Act. The consent application is consistent with the policies of the PPS. The consent application meets the intent of the Official Plan. The proposed lot line adjustment cleans up the existing lot line separating the detached garages on both lots so that no part of the 1 Second Avenue garage encroaches onto the Subject Site. The consent application represents good land use planning.

In support of the applications for consent and minor variance, please find enclosed:

- Cover Letter (one copy)
- Complete Consent Application Form (one original copy)
- Signed Consent Authorization Form (one original copy)
- Application fee
- Draft Reference Plan (one 8.5x11 copy and one 11x17 copy)
- Parcel Abstract for 314 Queen Elizabeth Driveway (one copy)

Should you have any questions regarding these applications, please do not hesitate to contact me.

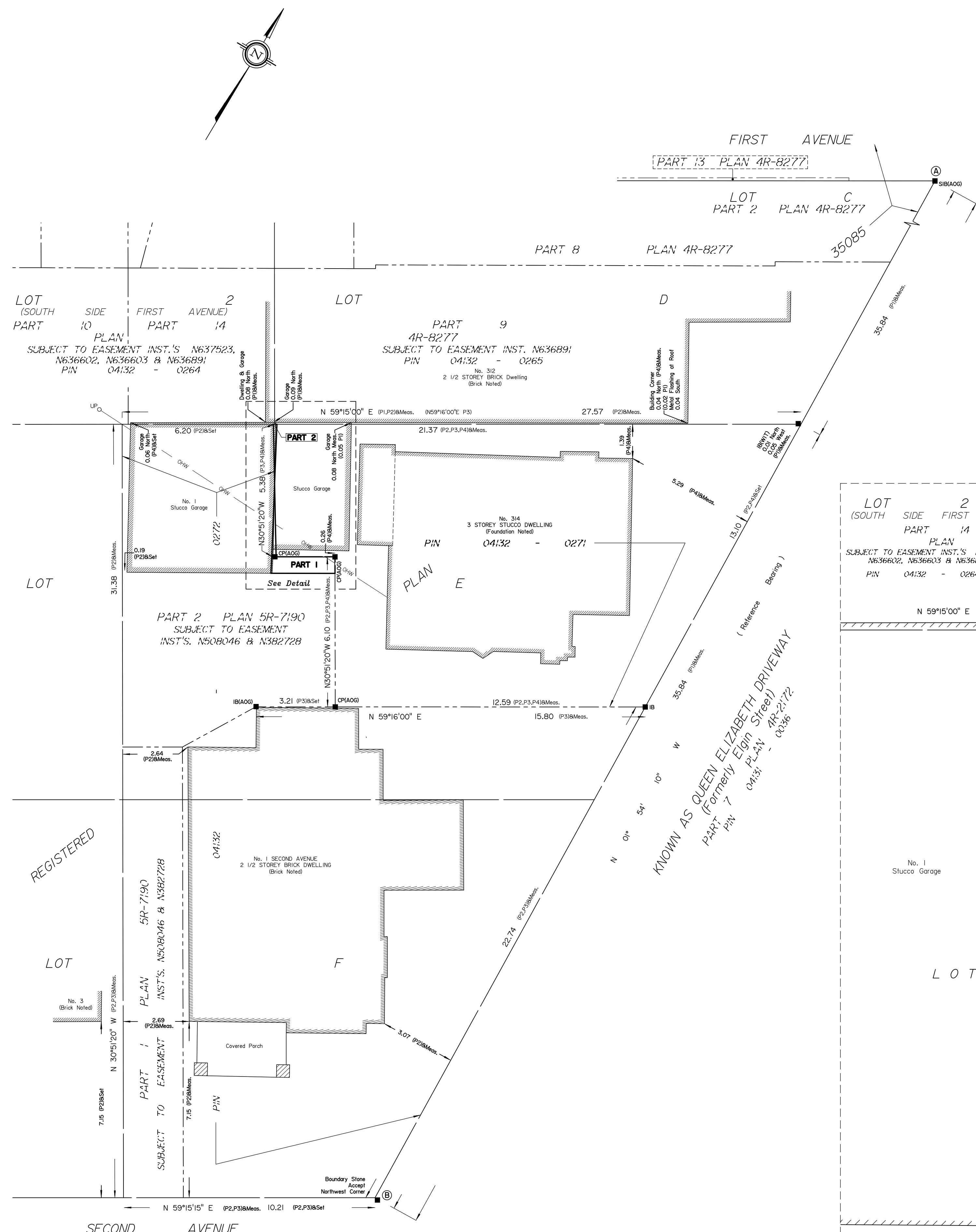
Yours truly,

NOVATECH



Arjan Soor, M.PL
Planner

Committee of Adjustment
Received | Reçu le
2024-08-14
City of Ottawa | Ville d'Ottawa
Comité de dérogation



SCHEDULE				
AREA (Sq.m.)	PART	LOT	PLAN	PIN
1.82	1	PART OF E	35085	PART OF 04132-0272
0.04	2			PART OF 04132-0271

Part 1 Subject to Easement Inst's. N508046 & N382728

**PLAN OF SURVEY OF
PART OF LOT E
WEST SIDE OF DRIVEWAY
REGISTERED PLAN 35085
CITY OF OTTAWA**
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 100
The intended plot size of this plan is 762 mm in width by 610 mm in height when plotted at a scale of 1:100.

Metric
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the ___ day of _____ 2024.

Date _____
E.H. Herweyer
Ontario Land Surveyor

This plan relates to AOLS Plan Submission form number: V-75406

- Notes & Legend**
- | | | |
|-------|---------|---------------------------------------|
| —□— | Denotes | Survey Monument Planted |
| —■— | | Survey Monument Found |
| SIB | | Standard Iron Bar |
| IB | | Iron Bar |
| CP | | Concrete Pin |
| (WIT) | | Witness |
| Meas. | | Measured |
| (AOG) | | Annis, O'Sullivan, Vollebek Ltd. |
| (P1) | | Plan 4R-8277 |
| (P2) | | Plan by (MPS) dated December 15, 2021 |
| (P3) | | Plan 5R-7190 |
| (P4) | | Plan by (AOG) dated June 1, 1983 |
| Fnd. | | Foundation |

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999945.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on reference points A and B, shown hereon, having a bearing of N01°54'10"W and are referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

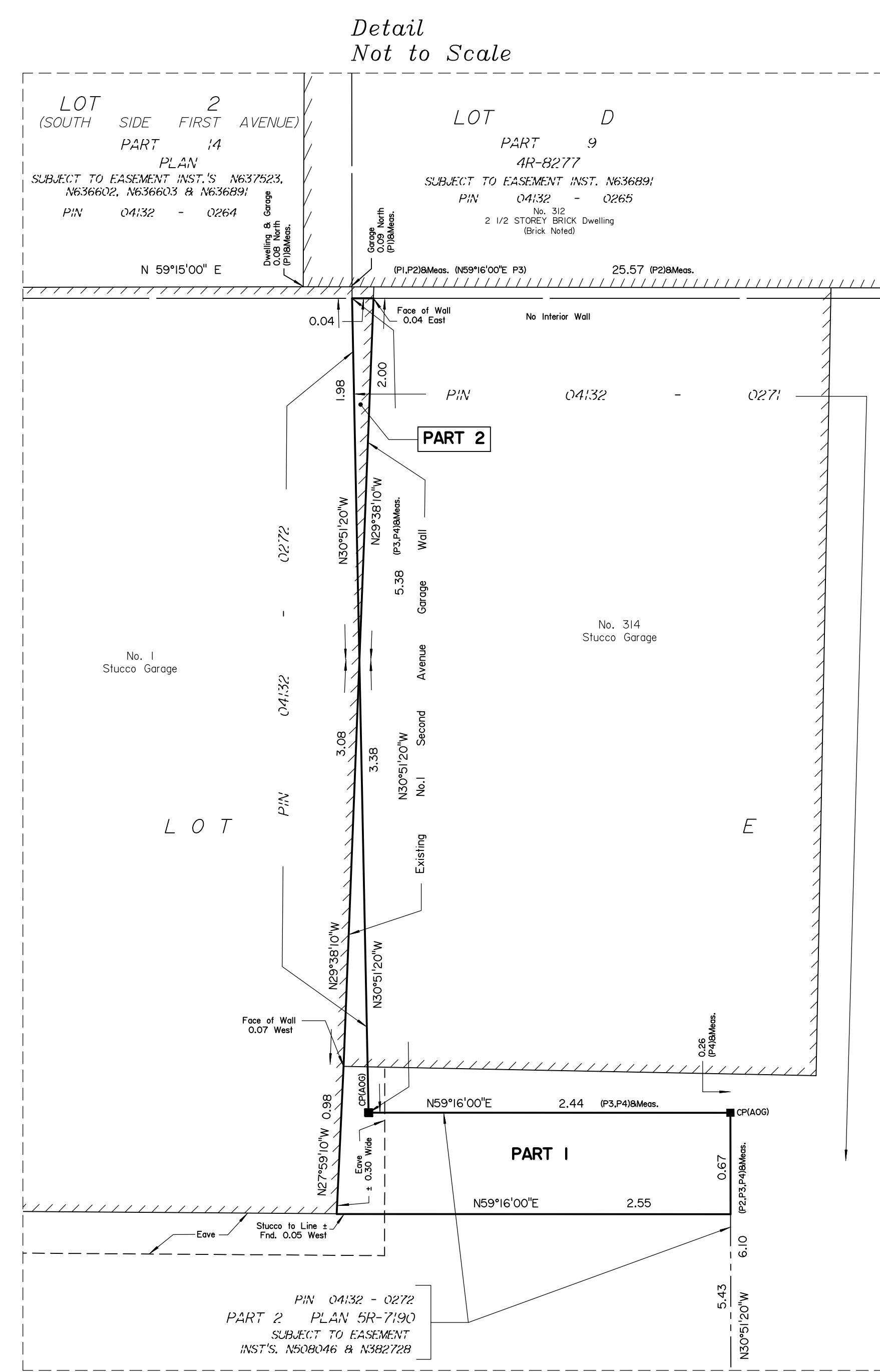
Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

.01919680005	Northing	5027191.26	Eastings	361496.76
.01919680105	Northing	5024915.16	Eastings	373971.65
.Point A	Northing	5030002.97	Eastings	368796.74
.Point B	Northing	5029931.33	Eastings	368799.10

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.

Area of PIN 04132-0271 = 193.9 (Sq.m.)
Area of PIN 04132-0272 = 399.1 (Sq.m.)



NOTE:
THE LEVEL OF 0'-00" SHOWN ON
DRAWINGS, CORRESPONDS TO 68.33 ON
THE SURVEY DRAWING.

No. 1 SECOND AVENUE
2 1/2 STOREY BRICK DWELLING
(Brick Noted)

Committee of Adjustment
Received | Reçu le
2024-08-14
City of Ottawa | Ville d'Ottawa
Comité de dérogation

FNDA
ARCHITECTURE. PLANNING. INTERIORS

116-828 Harbourside Drive
North Vancouver, B.C.
V7P 3R3
Tel: (604) 990-5400
Fax: (604) 990-5441
www.fnadesign.com

FNDA ARCHITECTURE.
INC.

Architect
FNDA Architecture Inc.
116-828 Harbourside Drive, North Vancouver, B.C. V7P 3R3 - Canada
Tel: (604) 990-5400 Fax: (604) 990-5441

Structural Consultant

Survey
Annis O'Sullivan Vollebek Ltd.
14 Concourse Gate, Suite 500, Ottawa ON, K2E 7S6
Tel: +1 (613) 727-4352

Envelope Consultant

Energy Efficiency Consultant

Geotechnical



- ASPHALT WALKWAY
- ADDITIONAL AREA
- NEW DECK
- EXISTING DECK
- PROPOSED GARAGE
- NORTH
- GROUND FLOOR LINE
- SETBACK LINE
- PROPERTY LINE
- PROPOSED PROPERTY LINE

PROPOSED SITE PLAN

REVISIONS:

ISSUE:	DATE:	DESCRIPTION:
1	04/28/2022	ISSUED FOR CONSULTANTS
2	05/16/2022	ISSUED FOR CONSULTANTS
3	06/30/2022	ISSUED FOR PRELIMINARY
4	09/26/2022	ISSUED FOR BP
5	10/27/2022	CITY COMMENTS OCT 9TH
6	12/02/2022	BP INCLUDING VARIANCE
7	12/05/2022	FOR VARIANCE
8	03/24/2023	REVISED FOR VARIANCE
9	12/05/2023	REVISED FOR VARIANCE
10	05/31/2023	ISSUED FOR BP
11	05/27/2024	GARAGE EXTENSION

PROF STAMP

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE DRAWING AND SPECIFICATION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE PROJECT. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. COPYRIGHT RESERVED.

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04/11/2022
DRAWN BY: AN
SCALE: 1/4"=1'
PROJECT NO.: 22201
DATE:

A-1

PROJECT: PRIVATE RESIDENCE

314 QUEEN ELIZABETH DRIVEWAY, OTTAWA, ONT.

PROPOSED SITE PLAN

NOTICE OF HEARING

Pursuant to the Ontario *Planning Act*

Consent and Minor Variance Applications

Panel 1

Wednesday, September 18, 2024

1 p.m.

Ben Franklin Place, Main Floor Chamber, 101 Centrepointe Drive
and by videoconference

Owners of neighbouring properties within 60 metres of the property address below are receiving this notice in case they want to comment on the application(s) and/or participate at the hearing.

The hearing can also be viewed on the Committee of Adjustment [YouTube](#) page.

Simultaneous interpretation in both official languages, accessible formats and communication supports are available for any specific agenda item by contacting the Committee of Adjustment at least 72 hours before the hearing.

File Nos.: D08-01-24/B-00142 and D08-02-24/A-00206
Applications: Consent under section 53 of the *Planning Act*
Minor Variance under section 45 of the *Planning Act*
Applicant: 255 Marier Ltd.
Property Address: 255 Marier Avenue
Ward: 12 – Rideau–Vanier
Legal Description: Part of Lot 5, Concession Junction Gore, Geographic Township of Gloucester
Zoning: R4UA-c
Zoning By-law: 2008-250

APPLICANT'S PROPOSAL / PURPOSE OF THE APPLICATIONS:

The Applicant wants to subdivide their property into two separate parcels of land to create one new lot for the construction of a 6 unit stacked dwelling. The existing two storey detached dwelling will remain.

CONSENT IS REQUIRED FOR THE FOLLOWING:

The Applicant requires the Committee's consent to sever. The property is shown as Parts 1 and 2 on a draft 4R-plan filed with the applications and the separate parcels will be as follows:

The land to be severed is shown as Part 1 on a draft 4R plan, will have a frontage of 10.02 metres, a depth of 31.39 meters, and contain a lot area of 314.6 square metres. This parcel will contain the 6 proposed stacked dwelling units and will be known municipally as 257 Marier Avenue.

The land to be retained is shown as Part 2 on said plan, will have a frontage of 10.10 metres, a depth of 31.39 metres, and contain a lot area of 316.9 metres. This parcel will contain the existing two storey detached dwelling and is known municipally as 259 Marier Avenue.

Approval of these applications will have the effect of creating two separate parcels of land, one of which will not be in conformity with the requirements of the Zoning By-law and therefore, minor variance application (File No. D08-02-24/A-00206) has been filed and will be heard concurrently with this application.

REQUESTED VARIANCES:

The Applicant requires the Committee's authorization for minor variances from the Zoning By-law as follows:

A-00206: 257 Marier Avenue, Part 1 on draft 4R- plan, proposed stacked dwelling unit:

- a) To permit a reduced lot width of 10.02 metres, whereas the By-law requires a minimum lot width of 14 metres.
- b) To permit a reduced lot area of 314.6 square metres, whereas the By-law requires a minimum lot area of 420 square metres.

FIND OUT MORE ABOUT THE APPLICATION(S)

For more information about this matter, contact the Committee of Adjustment at the address, email address, website or QR code below.

Visit **Ottawa.ca/CommitteeofAdjustment** and follow the link to **Next hearings** to view panel agendas and application documents, including **proposal cover letters, plans, tree information, hearing notices, circulation maps, and City planning reports**. Written decisions are also published once issued and translated.

If you don't participate in the hearing, you won't receive any further notification of the proceedings.

If you want to be notified of the decision following the hearing, and of any subsequent appeal to the Ontario Land Tribunal, send a written request to the Committee.

HOW TO PARTICIPATE

Submit written or oral comments before the hearing: Email your comments to cofa@ottawa.ca at least 24 hours before the hearing to ensure they are received by the panel adjudicators. You may also call the Coordinator at 613-580-2436 to have your comments transcribed.

Register to Speak at the hearing at least 24 hours before by contacting the Committee Coordinator at 613-580-2436 or at cofa@ottawa.ca. You will receive details on how to participate by videoconference. If you want to share a visual presentation, the Coordinator can provide details on how to do so. Presentations are limited to five minutes, and any exceptions are at the discretion of the Chair.

Hearings are governed by the Committee of Adjustment's *Rules of Practice and Procedure* accessible online.

ALL SUBMITTED INFORMATION BECOMES PUBLIC

Be aware that, in accordance with the *Planning Act*, the *Municipal Act* and the *Municipal Freedom of Information and Privacy Act*, all information presented to the Committee of Adjustment is considered public information and can be shared with any interested individual. Information you choose to disclose in your correspondence and during the hearing, including your personal information, will become part of the public record, and shared with Committee Members, the Applicant(s) or their agent and any other interested individual, and potentially posted online and become searchable on the Internet.

COMMITTEE OF ADJUSTMENT

The Committee of Adjustment is the City of Ottawa's quasi-judicial tribunal created under the Ontario *Planning Act*. Each year, it holds hearings on hundreds of applications under the *Planning Act* in accordance with the Ontario *Statutory Powers Procedure Act*, including consent to sever land and minor variances from the zoning requirements.

DATED: August 30, 2024



Ce document est également offert en français.

Committee of Adjustment
City of Ottawa
101 Centrepointe Drive
Ottawa ON K2G 5K7
Ottawa.ca/CommitteeofAdjustment
cofa@ottawa.ca
613-580-2436



Comité de dérogation
Ville d'Ottawa
101, promenade Centrepointe
Ottawa ON K2G 5K7
Ottawa.ca/Comitedederogation
cded@ottawa.ca
613-580-2436

AVIS D'AUDIENCE

Conformément à la *Loi sur l'aménagement du territoire* de l'Ontario

Demandes d'autorisation et de dérogations mineures

Groupe 1

Mercredi 18 septembre 2024

13 h

Place-Ben-Franklin, salle Chamber, 101, promenade Centrepointe
et par vidéoconférence

Les propriétaires des biens-fonds situés dans un rayon de 60 mètres de l'adresse ci-dessous reçoivent le présent avis afin de formuler des observations sur la ou les demandes et de participer à l'audience s'ils le souhaitent.

L'audience peut aussi être visionnée sur la page [YouTube](#) du Comité de dérogation.

Les participants peuvent bénéficier de l'interprétation simultanée dans les deux langues officielles, de formats accessibles et d'aides à la communication pour toute question de l'ordre du jour en s'adressant au Comité de dérogation au moins 72 heures à l'avance.

Dossiers :	D08-01-24/B-00142 et D08-02-24/A-00206
Demandes :	Autorisation en vertu de l'article 53 de la <i>Loi sur l'aménagement du territoire</i> Dérogations mineures en vertu de l'article 45 de la <i>Loi sur l'aménagement du territoire</i>
Requérante :	255 Marier Ltd.
Adresse municipale :	255, avenue Marier
Quartier :	12 – Rideau–Vanier
Description officielle :	Partie du lot 5, concession Junction Gore, canton géographique de Gloucester
Zonage :	R4UA-c
Règlement de zonage :	n° 2008-250

PROPOSITION DE LA REQUÉRANTE ET OBJET DES DEMANDES :

La requérante souhaite lotir sa propriété en deux parcelles distinctes en vue de créer un nouveau lot pour la construction d'un bâtiment abritant six logements superposés. Il est prévu conserver la maison isolée de deux étages.

AUTORISATION REQUISE :

La requérante nécessite l'autorisation du Comité pour morceler le bien-fonds. La propriété est représentée par les parties 1 et 2 sur le plan 4R préliminaire qui accompagne les demandes. Les parcelles distinctes sont décrites ci-après :

Le terrain qui sera morcelé est représenté par la partie 1 sur le plan 4R préliminaire. Il aura une façade de 10,02 mètres, une profondeur de 31,39 mètres et une superficie de 314,6 mètres carrés. La parcelle comprendra les six logements superposés proposés dont l'adresse municipale sera le 257, avenue Marier.

Le terrain qui sera conservé est représenté par la partie 2 sur ledit plan. Il aura une façade de 10,10 mètres, une profondeur de 31,39 mètres et une superficie de 316,9 mètres. Cette parcelle comprendra la maison individuelle isolée de deux étages existante dont l'adresse municipale est le 259, avenue Marier.

L'approbation des demandes aura pour effet de créer des parcelles distinctes qui ne seront pas conformes aux exigences du Règlement de zonage. Par conséquent, une demande de dérogations mineures (D08-02-24/A-00206) a été déposée et sera entendue en même temps que la présente demande.

DÉROGATIONS DEMANDÉES :

La requérante demande au Comité d'accorder les dérogations mineures au Règlement de zonage comme elles sont décrites ci-après :

A-00206 : 257, avenue Marier, partie 1 du plan 4R préliminaire, logements superposés proposés :

- a) Permettre la réduction de la largeur du lot à 10,02 mètres, alors que le Règlement exige une largeur de lot minimale de 14 mètres.
- b) Permettre la réduction de la superficie du lot à 314,6 mètres carrés, alors que le Règlement exige une superficie de lot minimale de 420 mètres carrés.

POUR EN SAVOIR PLUS SUR LES DEMANDES

Pour obtenir plus de renseignements à ce sujet, communiquez avec le Comité de dérogation via l'adresse, le courriel, le site Web ou le code QR ci-dessous.

Visitez le site **Ottawa.ca/Comité de dérogation** et suivez le lien **Prochaines audiences** pour consulter l'ordre du jour du Comité et les documents relatifs aux demandes, y compris **les lettres d'accompagnement des propositions, les plans, l'information sur les arbres, les avis d'audience, les cartes de diffusion et les rapports d'urbanisme de la Ville**. Les décisions écrites sont également publiées une fois rendues et traduites.

Si vous ne participez pas à l'audience, vous ne recevrez pas d'autre avis à ce sujet.

Si vous souhaitez recevoir un avis de la décision prise à l'issue de l'audience et de tout appel ultérieur interjeté devant le Tribunal ontarien de l'aménagement du territoire, faites-en la demande par écrit au Comité.

COMMENT PARTICIPER

Présentez vos observations écrites ou orales avant l'audience : Veuillez faire parvenir vos observations par courriel à cded@ottawa.ca au moins 24 heures avant l'audience afin de vous assurer que les membres des groupes chargés du rendu des décisions les ont bien reçues. Vous pouvez également téléphoner au coordonnateur ou à la coordonnatrice au numéro 613-580-2436 pour demander que vos observations soient transcrites.

Inscrivez-vous au moins 24 heures à l'avance en communiquant avec le coordonnateur ou la coordonnatrice du Comité au numéro 613-580-2436 ou à l'adresse à cded@ottawa.ca. Vous recevrez des détails sur la façon de participer par vidéoconférence. Si vous souhaitez faire une présentation visuelle, le coordonnateur ou la coordonnatrice sera en mesure de vous fournir des détails sur la façon de procéder. Les présentations sont limitées à cinq minutes et toute exception est laissée à la discrétion du président ou de la présidente.

Les audiences sont régies par les *Règles de pratique et de procédure* du Comité de dérogation et sont accessibles en ligne.

TOUS LES RENSEIGNEMENTS PRÉSENTÉS DEVIENNENT PUBLICS

Sachez que, conformément à la *Loi sur l'aménagement du territoire*, à la *Loi sur les municipalités* et à la *Loi sur l'accès à l'information municipale et la protection de la vie privée*, les observations écrites adressées au Comité de dérogation sont considérées comme des renseignements publics et peuvent être communiquées à toute personne intéressée. Les renseignements que vous choisissez de divulguer dans votre correspondance, notamment vos renseignements personnels, seront versés au dossier public et communiqués aux membres du Comité, au(x) requérant(s) ou à l'agent, l'agente, ainsi qu'à toute autre personne intéressée et pourront éventuellement être affichés en ligne et faire l'objet d'une recherche sur Internet.

COMITÉ DE DÉROGATION

Le Comité de dérogation est le tribunal quasi judiciaire de la Ville d'Ottawa créé en vertu de la *Loi sur l'aménagement du territoire* de l'Ontario. Chaque année, il tient des audiences sur des centaines de demandes en vertu de la *Loi sur l'aménagement du territoire*, conformément à la *Loi sur l'exercice des compétences légales* de l'Ontario, y compris des demandes d'autorisation de morcellement de terrain et de dérogation mineure aux exigences en matière de zonage.

FAIT : 30 août 2024



This document is also available in English.

Committee of Adjustment
City of Ottawa
101 Centrepointe Drive
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**Committee of Adjustment
Comité de dérogation**

**CIRCULATION MAP /
PLAN DE CIRCULATION**

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sans autorisation. CECI N'EST PAS UN PLAN D'ARPENTAGE



SUBJECT LAND / TERRAIN EN QUESTION

255 av. Marier Avenue



**NOT TO SCALE
NON À L'ÉCHELLE**

July 30, 2024

Mr. Michel Bellemare
Secretary-Treasurer
Committee of Adjustment
101 Centrepointe Drive, Fourth Floor
Ottawa, ON K2G 5K7

**RE: Application for Consent and Minor Variance
255 Marier Avenue, Ottawa**

Committee of Adjustment
Received | Reçu le

2024-08-01

City of Ottawa | Ville d'Ottawa
Comité de dérogation

Dear Mr. Bellemare,

Fotenn Consultants Inc. ("Fotenn") has been retained by the owner of 255 Marier Avenue, as agent to submit Consent and Minor Variance applications to the Committee of Adjustment. The intent of the applications is to sever the existing lot into two (2) separate lots and seek relief from the minimum required lot area and frontage. The severed lot is intended to accommodate a stacked dwelling typology containing 6 dwelling units.


In addition to this cover letter, the following materials have been enclosed in support of this application:

- / Application Form (completed);
- / Parcel Abstract;
- / Site Plan;
- / Building Elevations;
- / Draft Reference Plan (R-Plan);
- / Tree Information Report;

Sincerely,



Thomas Freeman, B.URPL
Planner



Timothy Beed, RPP MCIP
Associate

Ottawa

396 Cooper Street, Suite 300
Ottawa, ON K2P 2H7
613.730.5709

Kingston

The Woolen Mill
4 Cataragui Street, Suite 315
Kingston, ON K7K 1Z7
613.542.5454

Toronto

174 Spadina Avenue, Suite 304
Toronto, ON M5T 2C2
416.789.4530

fotenn.com

1.0 Introduction

Fotenn Consultants Inc. ("Fotenn") has been retained to prepare this Planning Rationale in support of Consent to Sever and Minor Variance applications for the property municipally known as 255 Marier Avenue (the "subject property") in the Vanier Neighbourhood of the City of Ottawa.

The intent of this Planning Rationale is to assess the proposed applications against the applicable policy and regulatory framework and to demonstrate how the proposed severance meets the criteria established in Section 53, 45(1), & 51(24) of the *Planning Act*, represents "good planning principles" and that the proposed Minor Variance meets the "Four Tests" under Section 45(1) of the *Planning Act*.

1.1 Purpose of Application

A Consent application seeks to subdivide the subject property into two (2) equally sized lots. Two (2) Minor Variances are required for the severed lot, to permit:

- / A reduced lot area of 314.6 square metres, where 420 square metres is required.
- / A reduced lot width of 10.02 metres, where 14 metres is required.

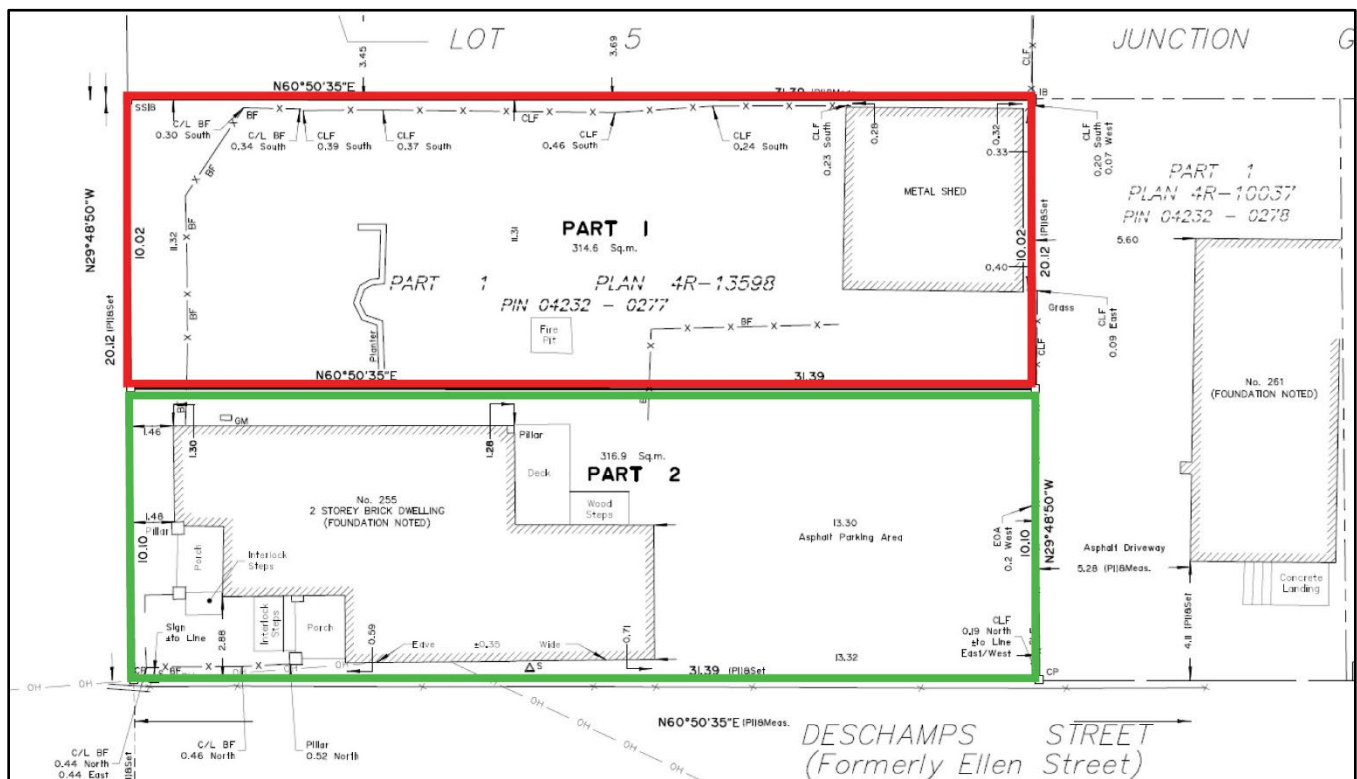


Figure 1: Proposed severed (red) and retained (green) parcels.

Subject Property and Surrounding Context

2.1 Subject Property

The subject property is a rectangular corner lot with an area of approximately 632 square metres with approximately 20 metres of frontage on Marier Avenue and approximately 31 metres of frontage on Deschamps Avenue. The subject property is currently developed with a two (2) storey detached dwelling which will be retained. The portion of the lands proposed to be severed is currently occupied by a portion of the lot's surface parking area, and a detached accessory building.



Figure 2: Subject Property and surrounding area

2.2 Surrounding Context

The subject property is located within the Vanier Neighbourhood. The neighbourhood is characterized by a range of low-rise housing typologies including detached, semi-detached, and low-rise apartment dwellings.

North: North of the subject property abutting Marier Avenue there is a duplex dwelling at 251 Marier Avenue. North of this there is a pair of semi-detached dwellings. Further north there is a small parkette at the corner of Marier Avenue and Carilon Street.

East: The subject property abuts a detached dwelling to the east. Along Deschamps Avenue to the east there is also a low-rise apartment building and a semi-detached dwelling.

South: South of the subject property there is a dental clinic at the corner of Marier Avenue and Deschamps Avenue. Further south there is a surface parking lot behind the commercial uses along Montreal Road.

West: West of the subject site there are detached dwellings along Deschamps Avenue.

2.3 Transportation

The subject property is located near public transit, active transportation, and urban road networks.

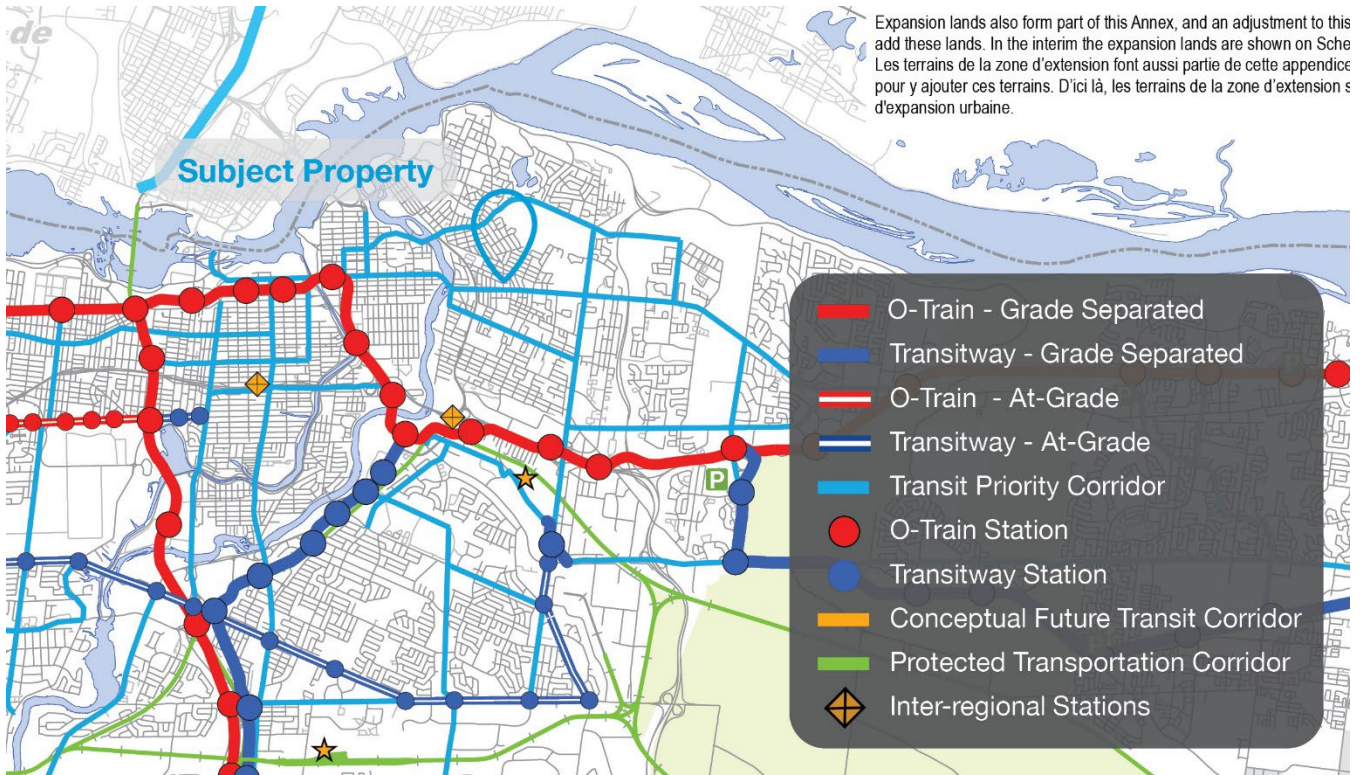


Figure 3: Schedule C2 - Transit Network (Ultimate)

As shown on Figure 3 above, the subject property is within close proximity to Montreal Road, a Transit Priority Corridor with frequent bus transit service.

2.4 Application Overview

The proposed development includes six (6) stacked dwelling units on the severed parcel. Consent and Minor Variance applications are required to sever the lot into two (2) separate lots to accommodate the proposed development.

The development is consistent with other low-rise residential buildings in the area. The front and rear yard will include soft landscaping with pavers used for pathways. Bicycle parking and garbage will be located in the rear yard and; no vehicle parking spaces are proposed as part of the redevelopment.

The existing single-detached dwelling located on the property will be retained.

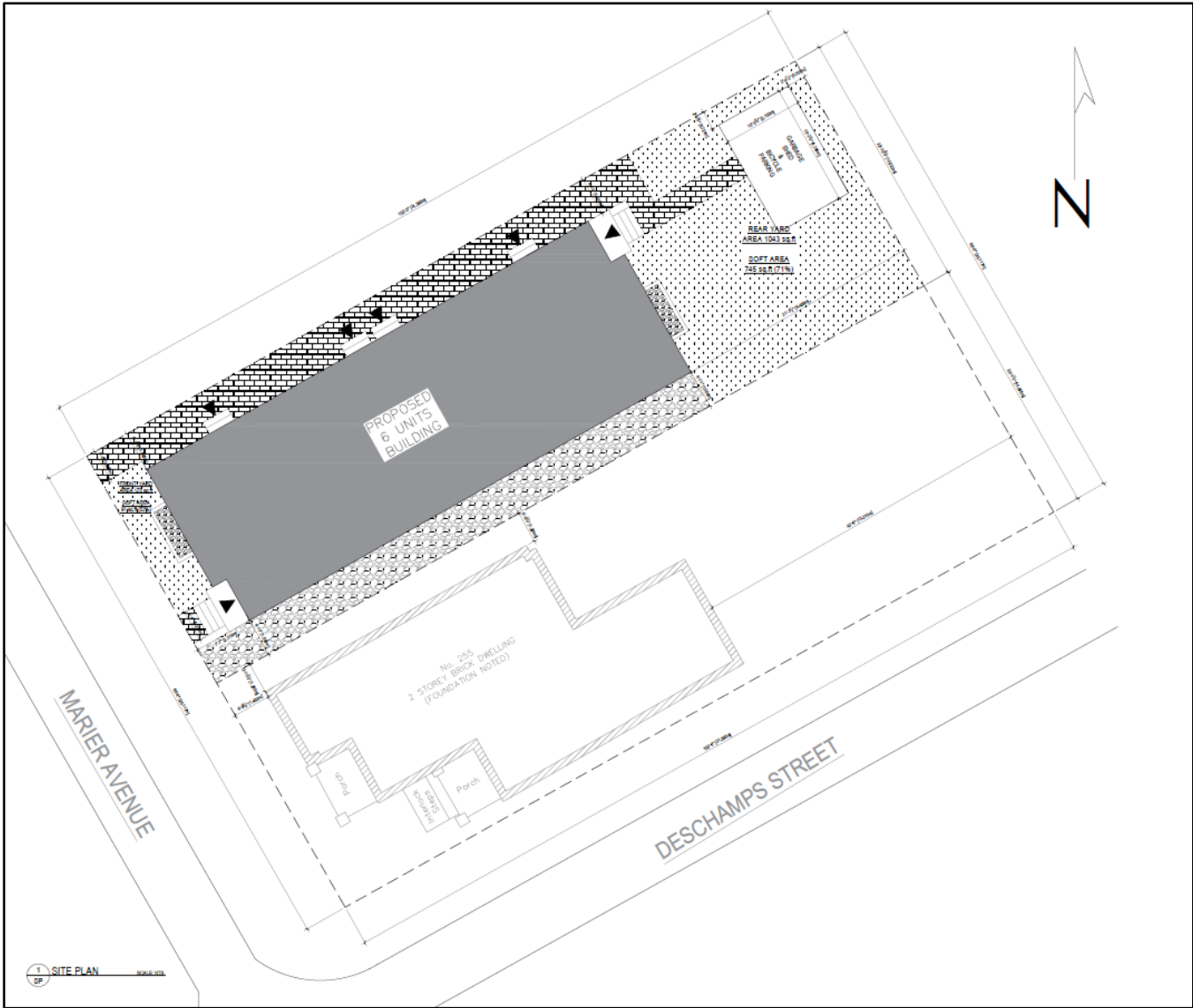


Figure 4: Proposed Site Plan for the severed lands

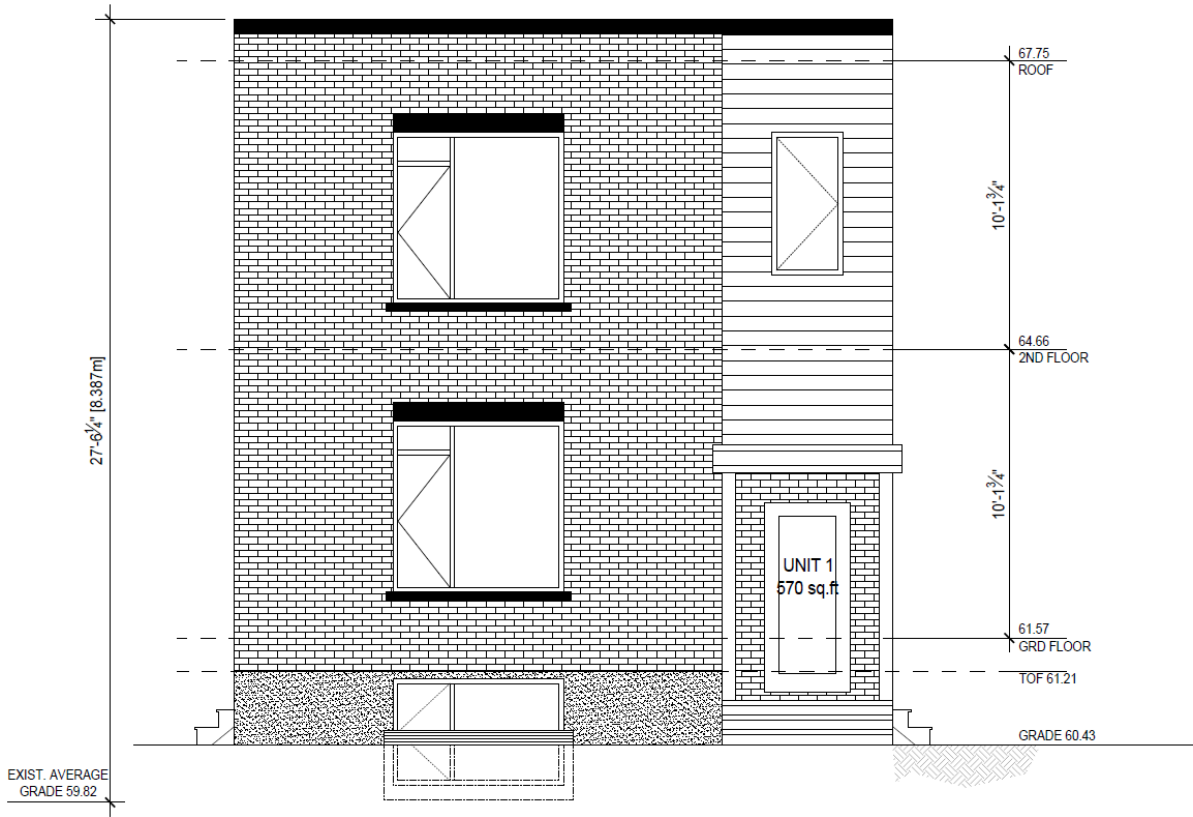


Figure 5: Proposed front-facing Elevations (Marier)

3.0

Policy and Regulatory Framework

3.1 Planning Act

The Planning Act is provincial legislation that empowers municipalities to engage in land use planning activities in Ontario. Sections 53(1), 53(12), and 51(24) of the Planning Act establish the criteria for the severance of land. As the proposal includes one severed lot and no public infrastructure, a plan of subdivision is not required for the orderly development of the lands. The proposed severance meets the criteria established in Section 51(24) of the Planning Act as follows:

- a) **The effect of development of the proposed subdivision on matters of provincial interest**
The proposed Consent application has regard for matters of provincial interest found in Section 2 of the Planning Act and is consistent with the policies of the Provincial Policy Statement (2020) by providing for an additional lot within the urban area that will efficiently use the land, existing infrastructure, and public service facilities.
- b) **Whether the proposed subdivision is premature or in the public interest;**
The proposed Consent allows for one additional lot within the urban area where municipal servicing is available. The severed and retained parcels will be used for purposes established in the Official Plan and Zoning By-law, and the Consent contributes to the housing and intensification goals of the City of Ottawa and the Government of Ontario. The application is therefore not premature and is in the public interest.
- c) **Whether the plan conforms to the Official Plan and adjacent plans of subdivision, if any;**
The proposed Consent conforms with the policies of the City of Ottawa Official Plan (2022) and permits intensification within the Minor Corridor designation within the Inner Urban Transect. The proposed severed and retained lots are consistent with the lot fabric of the surrounding area and are both individually serviced.

The Official Plan promotes concentrated growth in a pattern and density that supports transit, cyclist, and walking. The development will complement an existing mixed-use community and will support growth within the urban boundary where there is availability of existing infrastructure.

- d) **The suitability of the land for proposes for which is to be subdivided;**
The Consent application proposes the severance of an existing lot to create one (1) new lot (in addition to the retained lot) for the purposes of future residential development.

The existing Zoning and OP Designation permit a wide range of residential and non-residential uses on the site.

- e) **The number, width, location and proposed grades and elevations of highways, and the adequacy of them;**
The abutting roads are all publicly maintained and connected to the larger urban road network of the City of Ottawa. Both the severed and retained lot will have frontage onto Marier Avenue, with the retained lot maintaining its frontage on Dechamps Avenue.
- f) **The dimensions and shapes of the proposed lots;**
The proposed lot sizes and shapes are consistent with the lot fabric for other properties in the surrounding area. The severed lot is intended to accommodate the proposed stacked dwellings while the proposed retained lot is intended to accommodate the existing detached dwelling.
- g) **The restrictions or proposed restrictions, if any, on the land proposed to be subdivided or the building and structures proposed to be erected on it and the restrictions, if any, on adjoining land;**

The subject property is not subject to any easements or restrictive covenants that would restrict the proposed severance.

h) Conservation of natural resources and flood control;

The subject site is not located in a sensitive ecological area or in a floodplain. No adverse impacts are anticipated on natural resources and flood control.

i) The adequacy of utilities and municipal services;

The severed and retained lots will be independently serviced by existing Municipal services, including watermain and sanitary services.

j) The adequacy of school sites;

The subject site is within proximity to existing public school sites.

k) The area of land, if any, within the proposed subdivision, exclusive of highways, is to be conveyed or dedicated for public purposes;

No land is proposed to be dedicated to the City.

The proposed Consent satisfies the criteria in Section 51(24) of the Planning Act.

3.2 Provincial Policy Statement

The Provincial Policy Statement (PPS), issued under the authority of Section 3 of the Planning Act, provides direction on matters of provincial interest related to land use planning and development. The Planning Act requires that decisions affecting planning matters be consistent with policy statements issued under the Act.

The PPS promotes the development of strong communities, which relies on the establishment of efficient land use and development patterns and the accommodation of an appropriate range and mix of uses.

The relevant policy interests to the subject application are as follows:

1.1 Managing and Directing Land Use to Achieve Efficient and Resilient Development and Land Use Patterns

1.1.1 Healthy, liveable, and safe communities are sustained by:

- / promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
- / accommodating an appropriate affordable and market-based range and mix of residential types and other uses to meet long-term needs;
- / promoting the integration of land use planning, growth management, transit-supportive development, intensification, and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs; and
- / ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs.

1.1.3.1 Settlement areas shall be the focus of growth and development;

1.1.3.2 Land use patterns within settlement areas shall be based on densities and a mix of land uses which:

- / efficiently use land and resources; and

- / are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion.

Land use patterns within settlement areas shall also be based on a range of uses and opportunities for intensification and redevelopment, where this can be accommodated.

1.4 Housing

1.4.3 Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected market-based and affordable housing needs of current and future residents of the regional market area by:

- / permitting and facilitating:
 - all housing options required to meet the social, health, economic and well-being requirements of current and future residents, including special needs requirements and needs arising from demographic changes and employment opportunities; and,
 - all types of residential intensification, including additional residential units;
- / directing the development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs.

1.6 Infrastructure and Public Service Facilities

1.6.6.1 Planning for sewage and water services shall:

- a. accommodate forecasted growth in a manner that promotes the efficient use and optimization of existing:
 1. municipal sewage services and municipal water services; and
 2. private communal sewage services and private communal water services, where municipal sewage services and municipal water services are not available or feasible;
- d. integrate servicing and land use considerations at all stages of the planning process.

1.6.6.2 Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas to support protection of the environment and minimize potential risks to human health and safety. Within settlement areas with existing municipal sewage services and municipal water services, intensification and redevelopment shall be promoted wherever feasible to optimize the use of the services.

1.6.6.7 Planning for stormwater management shall:

- a. be integrated with planning for sewage and water services and ensure that systems are optimized, feasible and financially viable over the long term;
- b. minimize, or, where possible, prevent increases in contaminant loads;
- c. minimize erosion and changes in water balance, and prepare for the impacts of a changing climate through the effective management of stormwater, including the use of green infrastructure;
- d. mitigate risks to human health, safety, property and the environment;
- e. maximize the extent and function of vegetative and pervious surfaces; and
- f. promote stormwater management best practices, including stormwater attenuation and re-use, water conservation and efficiency, and low impact development.

The severance of the lands to create one (1) new parcel on full municipal services promotes the efficient use of land in accordance with housing and growth management policy direction. The variances will allow for the creation of lots capable of accommodating new low-rise residential development, contributing to the overall mix of dwelling typologies in the neighbourhood and the City overall. The

subject property is well suited for intensification being located close to transit and neighbourhood amenities. Overall, the proposed severance is consistent with the policy direction of the 2020 PPS.

3.3 City of Ottawa Official Plan (2022, as amended)

The Official Plan (2022) provides a framework for development in the City until 2046, when it is expected that the City’s population will surpass 1.4 million people. The Official Plan directs how the City will accommodate this growth over time and sets out the policies to guide the development and growth of the City.

The subject property is designated Minor Corridor within the Inner Urban Transect as per Schedule B2. The Minor Corridor designation is intended to accommodate a higher density of development, a greater degree of mixed uses and a higher level of street transit service than abutting Neighbourhoods, but lower density than nearby Hubs and Mainstreet Corridors. The Minor Corridor designation permits a mix of uses which support residential uses and the evolution of neighbourhoods towards 15 minute neighbourhoods.



Figure 6: Schedule B2 - Inner Urban Transect

Policy 3 a) of Section 5.2.3 states that within the Inner Urban Transect, along Minor Corridors, permitted building heights are generally, not less than 2 storeys and in the maximum range of 4 to 6 storeys, except where a secondary plan or area-specific policy specifies different heights.

Section 11.5 of the Official Plan provides direction to the Committee of Adjustment process.

Policy 4 of Section 11.5 states that in support of Policy 5.2.4, 1 b) and c) the Committee of Adjustment shall consider for applications for Consent with lot patterns and dimensions that result in intensification in support of ground oriented medium density residential that is consistent with the planned context.

Policy 6 of Section 11.5 states that when considering an application, the Committee of Adjustment shall have due regard for the professional advice provided, including legal, planning, engineering, etc., and the Committee shall provide an explanation as to what effect the written and oral submissions it received had on the decision, if any.

The proposed Consent application conforms with the policies of the City of Ottawa Official Plan, including the Minor Corridor designation and the policies in Section 11.5 which provide direction to the Committee of Adjustment. The proposed development contributes to the vision of the Inner Urban Transect by providing context sensitive intensification that builds upon the existing neighbourhood context and contributes to the provision of missing middle housing, expanding housing type and choice for future residents. The proposed variances will permit the construction of an additional low-rise housing units within the neighbourhood making efficient use of land, resources and exiting infrastructure as directed by the Official Plan.

3.4 City of Ottawa Comprehensive Zoning By-law (2008-250)

The subject property is zoned Residential Fourth Density, subzone UA, with the Residential Commercial Suffix applied – R4UA-c.

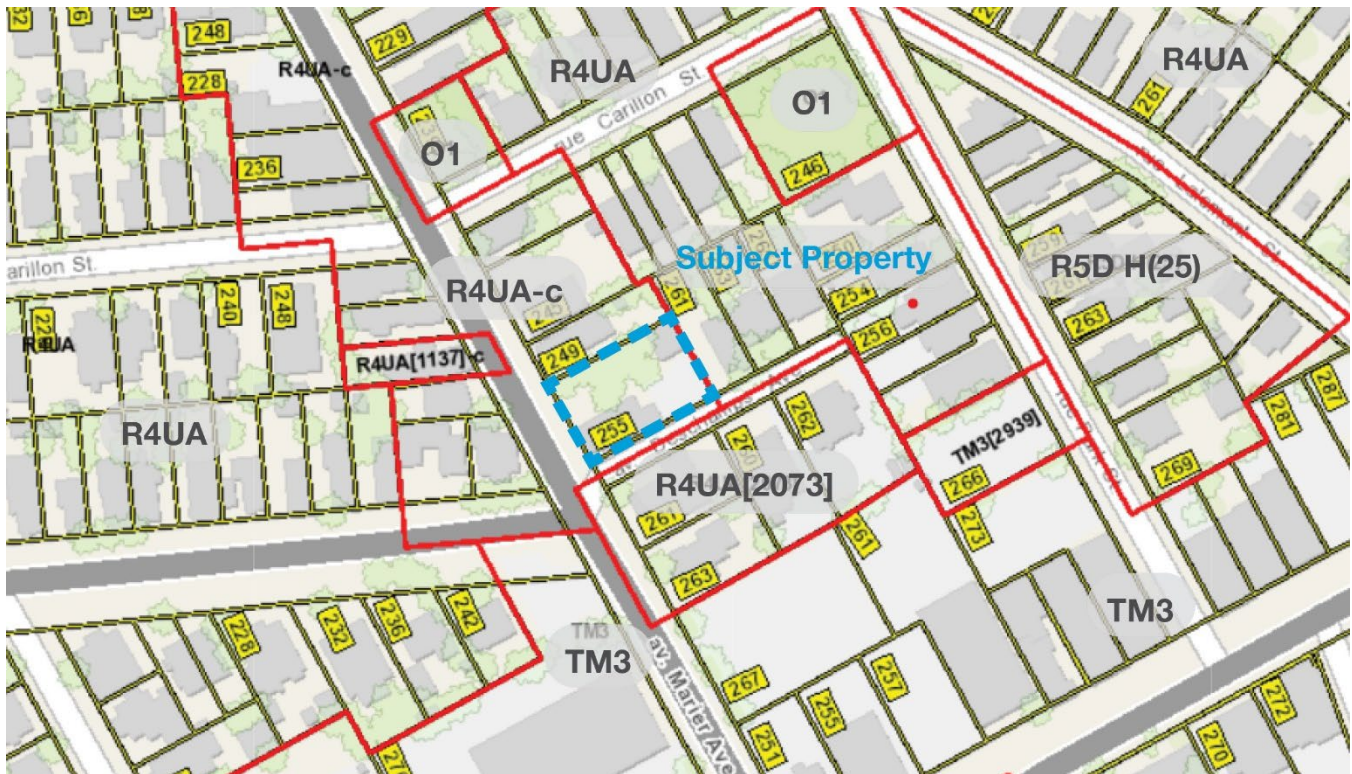


Figure 7: Zoning Map (GeoOttawa)

The purpose of the R4 zone is to:

- / allow a wide mix of residential building forms ranging from detached to low rise apartment dwellings, in some cases limited to four units, and in no case more than four storeys;
- / allow a number of other residential uses to provide additional housing choices within the fourth density residential areas;

- / permit ancillary uses to the principal residential use to allow residents to work at home; and
- / regulate development in a manner that is compatible with existing land use patterns so that the mixed building form, residential character of a neighbourhood is maintained or enhanced.

The table below evaluates the proposed lots against the performance standards in the R4UA subzone.

Severed Lot

R4UA Zoning for a Stacked Dwelling	Requirement	Provided (Severed lot)	Compliance
Minimum Lot Width (m) s.162, Table 162A	14 m	10.02 m	No
Minimum Lot Area (m²) s.162, Table 162A	420 m ²	314.6 m ²	No
Minimum Front Yard Setback (m) Average setback of adjacent lots S. 144	1.7 m	1.7 m	Yes
Minimum Rear Yard Setback (m) 30% of lot depth S.144	9.417 m	9.46 m	Yes
Minimum Interior side Yard Setback (m) s.162, Table 162A	1.5 m	1.5 m	Yes
Maximum Building Height (m) s.162, Table 162A	11 m	7.86 m	Yes
Minimum area of soft landscaping in the rear yard s.161 (15) (a)	35 m ²	69.21 m ²	Yes
Minimum area of soft landscaping in front yard s.161 (15) (d)	20%	52% (8.45 m ²)	Yes
Minimum window requirement for front façade S. 161 (15) (g)	The front facade must comprise at least 25 per cent windows	25% windows	Yes
Front Façade setback S. 161 (15) (h)	At least 20 per cent of the area of the front facade must be recessed an additional 0.6 metres from the front setback line.	20% of the front façade is set back an addition 0.6 metres from the font lot line.	Yes
Motor Vehicle Parking S. 161 (16)	No motor vehicle parking is permitted on a lot less than 450 square metres in area.	No parking proposed.	Yes
Maximum width of a walkway located in a front yard S. 139 (4) (c) (ii)	1.2 metres	1.2 metres	Yes

Retained Lot

R4UA Zoning for a Detached Dwelling	Requirement	Provided (Severed lot)	Compliance
Minimum Lot Width (m) s.162, Table 162A	7.5 m	10.10 m	Yes
Minimum Lot Area (m²) s.162, Table 162A	225 m ²	316.9 m ²	Yes

The proposed Consent conforms to the majority of performance standards of the R4UA Zoning provisions for a stacked dwelling. However, a variance is sought for a reduced lot area and width for the retained parcel.

With the existing building on the retained portion of the lands, there are no proposed variances required for the retained parcel.

4.0

Minor Variance Applications: The Four Tests

It is our professional opinion that the proposed development constitutes good planning and meets the four (4) tests outlined in Planning Act Section 45 (1) as discussed below.

4.1 Does the proposed variance maintain the general intent and purpose of the Official Plan?

The subject property is designated Minor Corridor within the Inner Urban Transect and is subject to an Evolving Neighbourhood Overlay in the City of Ottawa Official Plan. The minor variance application is consistent with the policies related to the transect, designation, and overlay; as well growth management framework, and urban design.

The proposed development contributes to the vision of the Inner Urban Transect. The proposed two (2) storey stacked dwellings on the severed parcel is consistent with the neighbourhood and Minor Corridor designation, which is anticipated to evolve toward a denser urban fabric. The building design builds upon the existing neighbourhood context and contributes to the provision of missing middle housing type to the neighbourhood, expanding housing type and choice for future residents.

The proposed development also provides no vehicle parking spaces, but instead promotes active transportation and transit use with local amenities available on Montreal Road, as it introduces residential intensification to a well-serviced existing neighbourhood within proximity to retail, commercial, and employment uses, as well as frequent transit, thereby contributing to the development of a 15-minute neighbourhood.

The proposed minor variance application maintains the general intent and purpose of the Official Plan. The proposed variances will permit the construction of a new building that will provide low-rise, residential infill development in a serviced, existing neighbourhood proximate to amenities and transportation options.

4.2 Does the proposed variance maintain the general intent and purpose of Zoning By-law?

The subject property is zoned Residential Fourth Density, Subzone UA, with the Residential Neighbourhood Commercial Suffix – R4UA-c in the City of Ottawa Comprehensive Zoning By-law 2008-250. The intent of the R4UA zone is to allow a wide mix of low-rise residential building forms to provide additional housing choices, and regulate development in a manner that is compatible with existing land use patterns so that the mixed building form, residential character of a neighbourhood is maintained or enhanced.

The Residential Fourth Density Zone also aims to allow a wide mix of residential building forms ranging from detached to low rise apartment dwellings. The provision of a new, compact, ground-oriented housing typology promotes this purpose. Considering the proposed use (Stacked) and built-form (low-rise), this application reflects the general intent and purpose of the Zoning By-law.

A zoning compliance table has been provided in section 3.4 of this rationale and summarizes the provisions of the R4UA zone. The proposed Minor Variance seeks to permit development fully in accordance with the provisions for the use of “stacked dwelling”, aside from the minor requested reduction in the minimum lot width or lot area required for this use. The proposed development meets all other provisions (setbacks, etc.), and therefore, overall, the proposal is consistent with the intent and direction of the R4UA zone to accommodate new low-rise development in the Neighbourhood designation.

The design of the building and proposed lot dimensions provide a built-form that is compatible within the existing context and the planned function of the neighbourhood. The two (2) storey design and built-form responds to the policies established for low-rise building heights within the Official Plan, and the height provisions of the applicable R4UA zone, while also providing setbacks that ensure the rear and side-yards interface appropriately

with the existing low-rise community. The proposal respects the existing character while proposing compatible intensification in the community as directed by the Official Plan.

The minor variance requested meets the general intent and purpose of the zoning by-law.

4.3 Is the proposed variance minor in nature?

The variances will enable compatible intensification of six (6) total dwelling units within an established low-rise residential neighbourhood, conforming with strategic direction for managing growth within Ottawa's urban areas. This type of incremental, contextually sensitive, residential intensification capitalizes on existing infrastructure, including public transit routes.

The proposed variances are related solely to the proposed lot dimensions while the proposed building form and massing is fully compliant with all other provisions of the R4UA zone. This includes the required setbacks which provide building separation and liveability and a compatible low-rise building height to minimize overlook, shadowing and other microclimate impacts. This ensures the development will not generate undue adverse impacts on the neighbouring lands or the broader community.



Figure 8: Lot Fabric Analysis of the surrounding area. Lots in orange are similar in size and width to the proposed severed lot

As indicated throughout this report, the existing lot width and area of the subject property is larger than is typical in the immediate area. Further, the lot width and area in the immediate neighbourhood is diverse with many lots providing a similar dimension to that proposed for the retained and severed lot as indicated in Figure 8 above.

The proposed variances are minor in nature.

4.4 Is the proposed variance desirable for the appropriate development and use of the land?

The requested minor variances are desirable as they will allow for the development of a high-quality, purpose built semi-detached dwelling which through the appropriate use of materiality, design features, landscaping elements, and overall building scale, will respect, reflect, and build upon the existing low-rise character of the neighbourhood.

The requested variances do not preclude the ability of the proposed stacked dwellings to meet other requirements in the Zoning By-law and will continue to allow the subject site and neighbouring properties to develop in a manner consistent with the built form of the surrounding area. The variances are required to support the development of a stacked residential building in a residential area zoned R4UA, which is intended to accommodate more intense forms of development through intensification while keeping building heights low-rise, being four (4) storeys or less. The variances are not expected to generate any undue adverse impacts on neighbouring properties or the local heritage context and will support the planned growth of a community in proximity to transit and community amenities.

The reduction in lot size and width is deemed appropriate given the intent of the proposed re-development plan is to generate modest intensification in close proximity to a transit priority corridor while proposing a building design and massing that represents re-investment in the community and complements the overarching community character. Furthermore, a scan of the immediately surrounding area indicates that lot fabric is quite variable in this community with many lots comparable to the proposed dimensions of the severed lands.

The proposal represents a prospect for more attainable housing opportunity that can attract new residents and families to the area.

The proposed variances are desirable and appropriate for the development of the property.

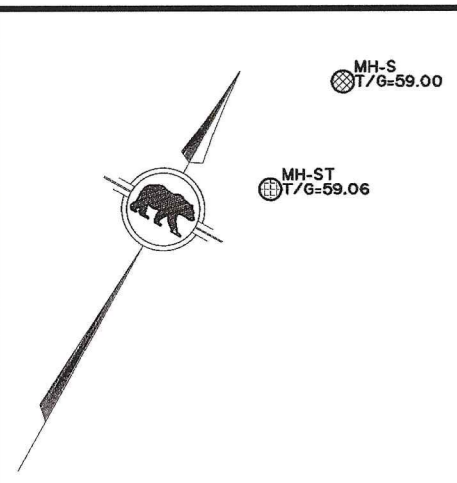
5.0 Conclusion

It is our professional opinion that a full Plan of Subdivision is not required for the orderly development of the lands, and a Consent is appropriate for the subject property.

The proposal to create two (2) total lots from an existing parcel satisfies the Planning Act criteria for a Consent and conforms with the policies of the Provincial Policy Statement and the City of Ottawa Official Plan.

Further, it is our professional planning opinion that the proposed Minor Variances constitute good planning as:

- / The proposal is consistent with the Provincial Policy Statement (2020);
- / The proposal conforms to the policies and objectives of the Minor Corridor designation and overall policies of the Official Plan (2022);
- / The proposal meets the general intent of the R4UA zone and the City of Ottawa Comprehensive Zoning By-law (2008-250) overall; and
- / The proposed minor variances meet the four (4) tests as set out in the Planning Act.



CARILLON STREET
(Formerly Main Street)

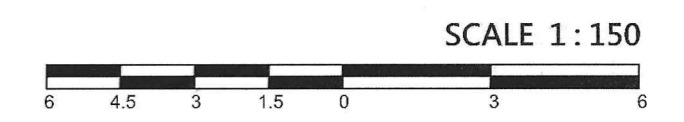
Committee of Adjustment
Received | Reçu le
2024-08-01
City of Ottawa | Ville d'Ottawa
Comité de dérogation

BEARING NOTES
BEARINGS ARE MTM GRID, DERIVED FROM CAN-NET GPS OBSERVATIONS AND ARE REFERRED TO THE CENTRAL MERIDIAN 76.5° WEST LONGITUDE OF MTM ZONE 9 NAD83 (CSRS)(2010.0).
FOR BEARING COMPARISONS A ROTATION OF 00°54'25" COUNTER-CLOCKWISE WAS APPLIED TO P1 TO CONVERT TO GRID BEARINGS.

UTILITY NOTE
THIS DRAWING DOES NOT SERVE AS A COMPREHENSIVE CONFIRMATION OF ALL UTILITIES PRESENT. IT IS THE USER'S RESPONSIBILITY TO CONTACT THE RELEVANT UTILITY AUTHORITIES FOR VERIFICATION.
ONLY UTILITIES VISIBLE ON THE SURFACE HAVE BEEN IDENTIFIED. PRIOR TO ANY ACTIVITIES SUCH AS DIGGING, IT IS MANDATORY TO OBTAIN A FIELD LOCATION OF UNDERGROUND UTILITIES FROM THE APPROPRIATE AUTHORITY.

ELEVATION NOTE
ELEVATIONS ARE GEODETIC AND REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD2878) BY DIRECT MEASUREMENT TO A REAL TIME NETWORK.
THE USER OF THIS INFORMATION BEARS THE RESPONSIBILITY TO CONFIRM THAT THE JOB BENCHMARK REMAINS UNALTERED AND UNDISTURBED, AND THAT ITS RELATIVE HEIGHT AND DESCRIPTION ALIGN WITH THE DETAILS PRESENTED IN THIS PLAN.

TOPOGRAPHIC PLAN OF SURVEY OF
**PART OF LOT 5
JUNCTION GORE**
Geographic Township of Gloucester
CITY OF OTTAWA
MONUMENT-URSO SURVEYING LTD.



METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 20TH DAY OF JULY, 2024.

June 28 2024
DATE
STEFAN BAZAR
ONTARIO LAND SURVEYOR

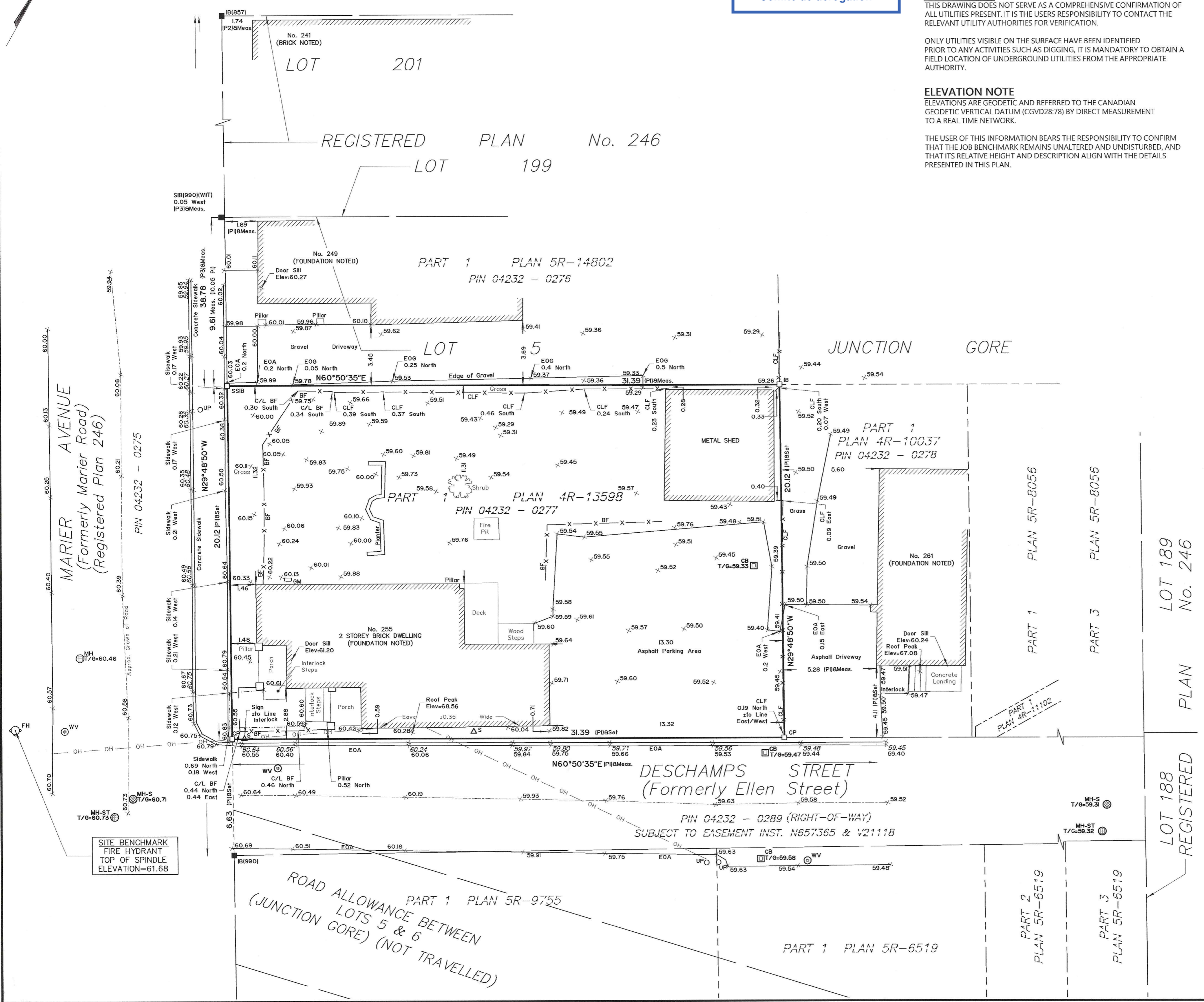
LEGEND

DENOTES	
■	FOUND SURVEY MONUMENT
□	PLANTED SURVEY MONUMENT
IB	IRON BAR
SIB	STANDARD IRON BAR
SSIB	SHORT STANDARD IRON BAR
IBØ	ROUND IRON BAR
CP	CONCRETE PIN
RB	ROCK BAR
(WIT)	WITNESS
MEAS.	MEASURED
(L476)	MONUMENT-URSO SURVEYING LTD.
(P1)	PLAN 4R-13598
(P2)	PLAN 5R-14802
(P3)	PLAN 4R-10037
EOA	EDGE OF ASPHALT
EOG	EDGE OF GRAVEL
BF	BOARD FENCE
CLF	CHAIN LINK FENCE
Elev	ELEVATION
T/G	TOP OF GRATE
ΔS	SIGN
Ø	DIAMETER
MH	MAINTENANCE HOLE - UNIDENTIFIED
MH-S	MAINTENANCE HOLE - SANITARY
MH-ST	MAINTENANCE HOLE - STORMWATER
●	DECIDUOUS TREE
x 88.00	EXISTING ELEVATIONS
+88.00	TOP OF CURB ELEVATIONS
FH	FIRE HYDRANT
WV	WATER VALVE
UP	UTILITY POLE
OH	OVERHEAD WIRES
C/L	CENTRELINE
GM	GAS METER
CB	CATCH BASIN

AREA
631.53 sq.m.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-80076
THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
IN ACCORDANCE WITH
REGULATION 1026, SECTION 29(3).

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Monument-Urso Surveying Ltd.
Ontario Land Surveyors | Canada Land Surveyors
1755 WOODWARD DRIVE-SUITE 300
OTTAWA ON, K2C 0P9
536 C FOURTH LINE EAST
SAULT STE. MARIE ON, P6A 6J8
TEL: (613) 800-1583
TEL: (705) 254-7851
FAX: (705) 254-5571
DRAWN: DG
FIELD: SB/KC/AD
PROCESSED: SB
CHECKED: SB
FILE No: 24-0065 255MarierAve Topo F



SITE BENCHMARK
FIRE HYDRANT
TOP OF SPINDLE
ELEVATION=61.68

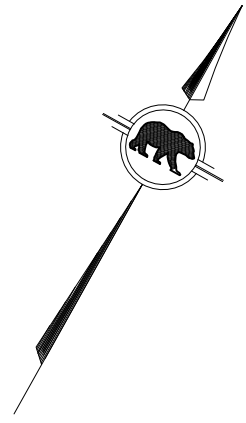
ROAD ALLOWANCE BETWEEN
LOTS 5 & 6
(JUNCTION GORE) (NOT TRAVELLED)

DESCHAMPS STREET
(Formerly Ellen Street)
PIN 04232 - 0289 (RIGHT-OF-WAY)
SUBJECT TO EASEMENT INST. N657365 & V21118

PART 1 PLAN 5R-6519

PART 2
PLAN 5R-6519
PART 3
PLAN 5R-6519

LOT 189
No. 246
PLAN
LOT 188
REGISTERED



CARILLON STREET
(Formerly Main Street)

Committee of Adjustment
Received | Reçu le

2024-08-01

City of Ottawa | Ville d'Ottawa
Comité de dérogation

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CO-ORDINATE NOTES

CO-ORDINATES ARE DERIVED FROM CAN-NET REAL-TIME NETWORK GPS OBSERVATIONS, MTM ZONE 9 NAD83(CRS)(2010.0).

COORDINATES ARE TO URBAN ACCURACY PER SECTION 14(2) OF O.REG 216/10.

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

POINT ID	NORTHING	EASTING
A	5033408.30	370343.78
B	5033351.47	370376.34

SCHEDULE

PART	LOT	CONCESSION	PIN
1	PART OF 5	Junction Gore	ALL OF 04232-0277
2			

PLAN OF SURVEY OF
PART OF LOT 5
JUNCTION GORE
Geographic Township of Gloucester
CITY OF OTTAWA
MONUMENT-URSO SURVEYING LTD.

SCALE 1 : 150



The intended plot size of the plan is 610 mm in width by 457 mm in height when plotted at a scale of 1:150.

METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON XXXXXXXXXXXXXXXX

DATE

COEL STOREY
ONTARIO LAND SURVEYOR

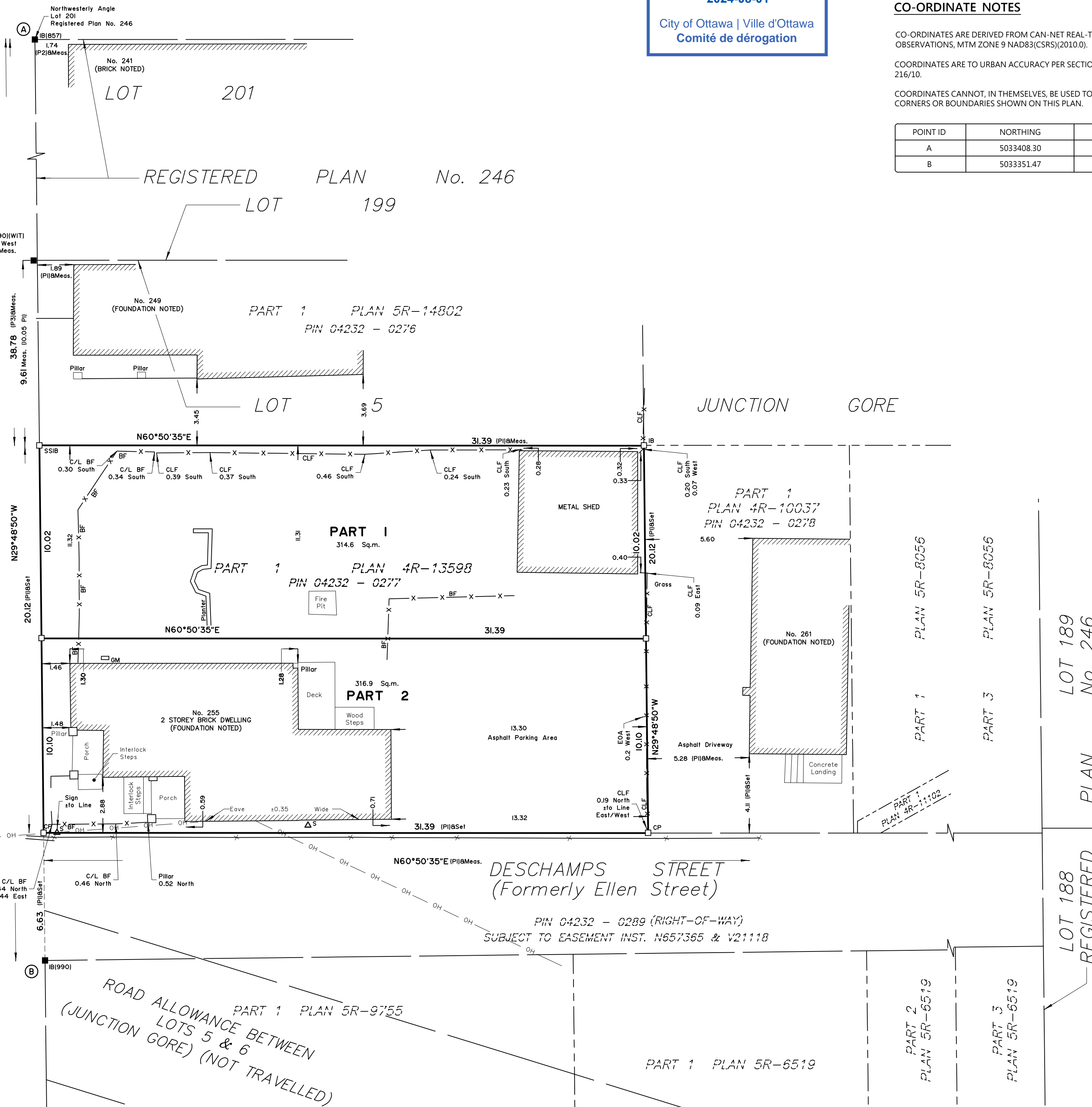
This plan of survey relates to AOLS Plan Submission Form Number V-XXXXX

LEGEND

DENOTES	
■	FOUND SURVEY MONUMENT
□	PLANTED SURVEY MONUMENT
IB	IRON BAR
SIB	STANDARD IRON BAR
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BF	BOARD FENCE
CLF	CHAIN LINK FENCE
Δs	SIGN
○UP	UTILITY POLE
—OH—	OVERHEAD WIRES

MARIER AVENUE
(Formerly Marier Road)
(Registered Plan 246)

PIN 04232 - 0275



DESCHAMPS STREET
(Formerly Ellen Street)

PIN 04232 - 0289 (RIGHT-OF-WAY)
SUBJECT TO EASEMENT INST. N657365 & V21118

ROAD ALLOWANCE BETWEEN
LOTS 5 & 6
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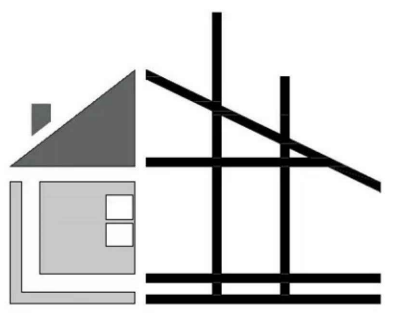
LOT 189
No. 246
PLAN

LOT 188
REGISTERED

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Ontario Land Surveyors | Canada Land Surveyors
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536° C FOURTH LINE EAST
SAULT STE. MARIE ON, P6A 6J8

TEL: (613) 800-1583
TEL: (705) 254-7851
FAX: (705) 254-5571

DRAWN: CS	FIELD: JC/ES	FILE No: 24-0065 255MarierAve Draft RP
PROCESSED: SB	CHECKED: XX	

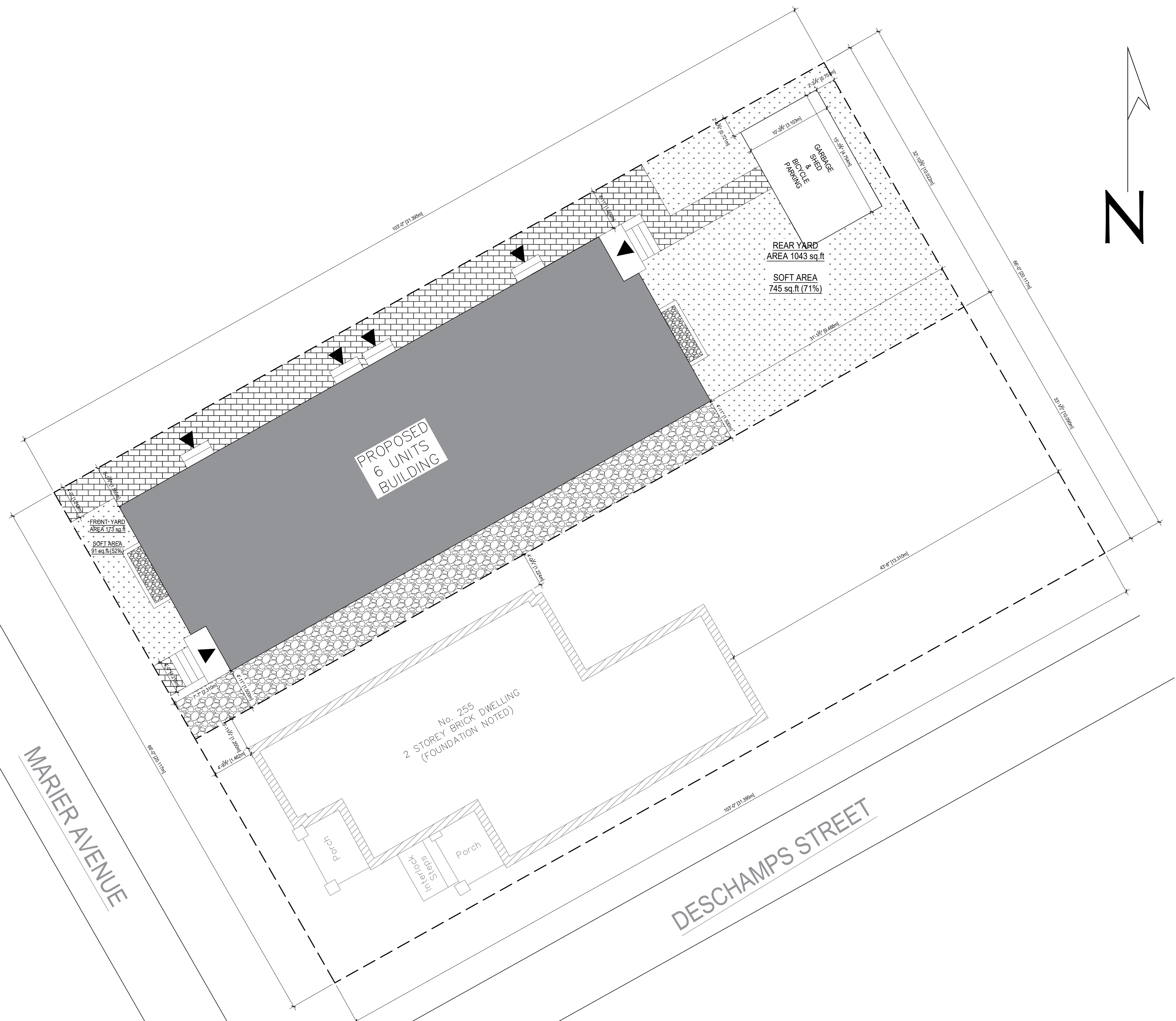
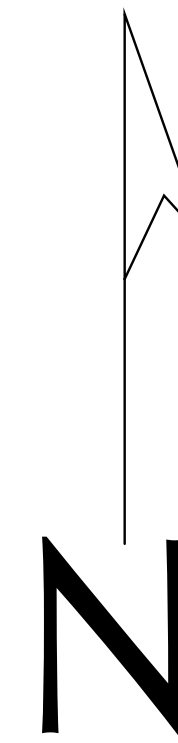


PDA Construction

CONTRACTOR MUST VERIFY SITE
CONDITIONS AND DIMENSIONS
PREVIOUS WORK EXECUTION.

DO NOT SCALE DRAWINGS.

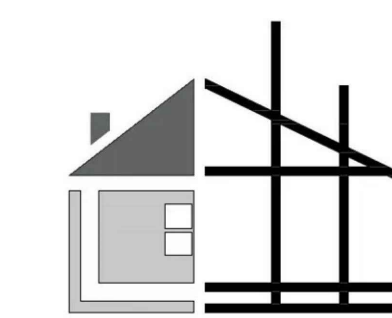
Committee of Adjustment
Received | Reçu le
2024-08-01
City of Ottawa | Ville d'Ottawa
Comité de dérogation



1 SITE PLAN SCALE: N.T.S.

1	ISSUED FOR COORDINATION	JULY16/2024
PROJECT	255 MARIER AVE OTTAWA ON K1L 5P9	
DRAWING TITLE	BUILDING SECTION & DETAILS	
DRAWN BY	KARLA ESCOBEDO, DIP. ARCH. TECH.	
REVIEWED BY	PABLO RANGEL BCIN 107353	
DATE	JUNE 23, 2024	SHEET SP
SCALE	AS SHOWN	

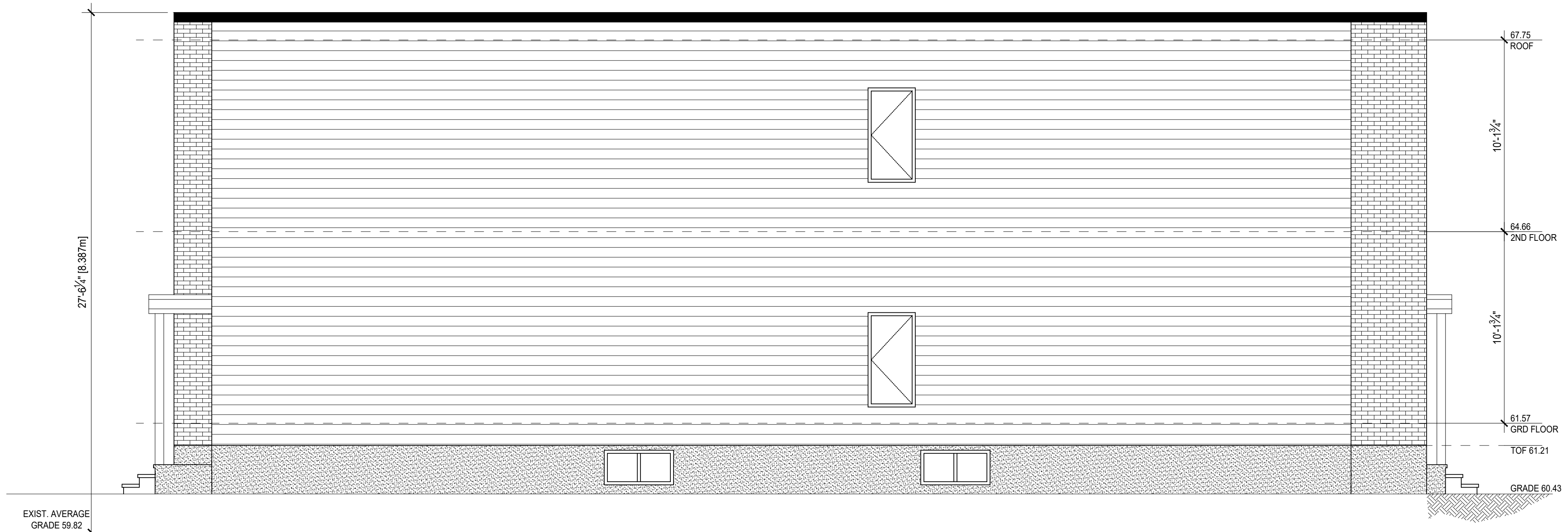
Committee of Adjustment
 Received | Reçu le
 2024-08-01
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



PDA Construction

CONTRACTOR MUST VERIFY SITE
 CONDITIONS AND DIMENSIONS
 PREVIOUS WORK EXECUTION.

DO NOT SCALE DRAWINGS.



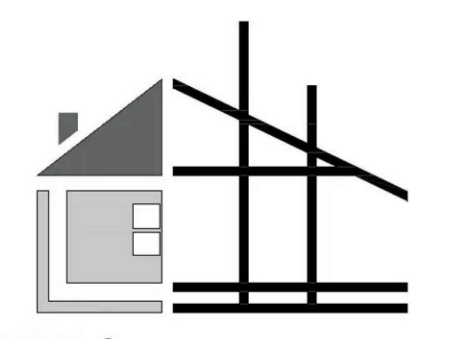
1 SOUTH ELEVATION SCALE: 1/4" = 1'-0"



2 WEST ELEVATION SCALE: 1/4" = 1'-0"

1	ISSUED FOR COORDINATION	JULY16/2024
PROJECT		
255 MARIER AVE OTTAWA ON K1L 5P9		
DRAWING TITLE		
SOUTH & WEST ELEVATIONS		
DRAWN BY		
KARLA ESCOBEDO, DIP.ARCH.TECH.		
REVIEWED BY		
PABLO RANGEL BCIN 107353		
DATE	SHEET	A3
JUNE 23, 2024		
SCALE	AS SHOWN	

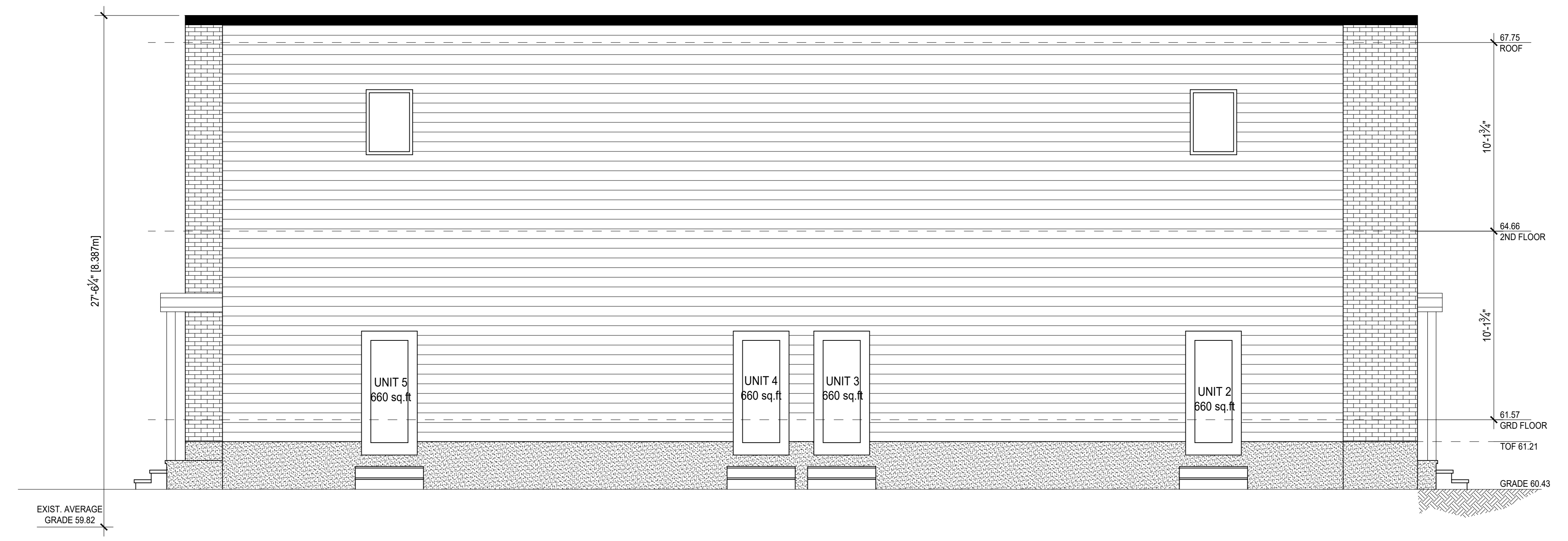
Committee of Adjustment
Received | Reçu le
2024-08-01
City of Ottawa | Ville d'Ottawa
Comité de dérogation



PDA Construction

CONTRACTOR MUST VERIFY SITE
CONDITIONS AND DIMENSIONS
PREVIOUS WORK EXECUTION.

DO NOT SCALE DRAWINGS.



1 NORTH ELEVATION SCALE: 1/4" = 1'-0"



2 EAST ELEVATION SCALE: 1/4" = 1'-0"

1 ISSUED FOR COORDINATION JULY 16/2024

PROJECT
**255 MARIER AVE
OTTAWA ON K1L 5P9**

DRAWING TITLE
**NORTH & EAST
ELEVATIONS**

DRAWN BY
KARLA ESCOBEDO, DIP. ARCH. TECH.

REVIEWED BY
PABLO RANGEL BCIN 107353

DATE
JUNE 23, 2024

SCALE
AS SHOWN

SHEET
A4

NOTICE OF HEARING

Pursuant to the Ontario *Planning Act*

Minor Variance Application

Panel 1

Wednesday, September 18, 2024

1 p.m.

Ben Franklin Place, Main Floor Chamber, 101 Centrepointe Drive
and by videoconference

Owners of neighbouring properties within 60 metres of the property address below are receiving this notice in case they want to comment on the application(s) and/or participate at the hearing.

The hearing can also be viewed on the Committee of Adjustment [YouTube](#) page.

Simultaneous interpretation in both official languages, accessible formats and communication supports are available for any specific agenda item by contacting the Committee of Adjustment at least 72 hours before the hearing.

File Nos.: D08-02-24/A-00212
Application: Minor Variance under section 45 of the *Planning Act*
Applicant: Thusanth Thuraisingam
Property Address: 249 Shakespeare Street
Ward: 12 – Rideau-Vanier
Legal Description: Lot 336, Registered Plan 246
Zoning: R4UA
Zoning By-law: 2008-250

APPLICANT'S PROPOSAL / PURPOSE OF THE APPLICATION:

The Applicant wants to construct a three-storey, eight-unit low-rise apartment building, as shown on the plans filed with the application. The existing dwelling and garage will be demolished.

REQUESTED VARIANCES:

The Applicant requires the Committee's authorization for a minor variance from the Zoning By-law to permit a reduced rear yard setback of 4.7 metres, whereas the By-law requires a minimum rear yard setback of 7.5 metres.

The property is not the subject of any other current application under the *Planning Act*.

FIND OUT MORE ABOUT THE APPLICATION(S)

For more information about this matter, contact the Committee of Adjustment at the address, email address, website or QR code below.

Visit **[Ottawa.ca/CommitteeofAdjustment](https://ottawa.ca/CommitteeofAdjustment)** and follow the link to **Next hearings** to view panel agendas and application documents, including **proposal cover letters, plans, tree information, hearing notices, circulation maps, and City planning reports**. Written decisions are also published once issued and translated.

If you don't participate in the hearing, you won't receive any further notification of the proceedings.

If you want to be notified of the decision following the hearing, and of any subsequent appeal to the Ontario Land Tribunal, send a written request to the Committee.

HOW TO PARTICIPATE

Submit written or oral comments before the hearing: Email your comments to cofa@ottawa.ca at least 24 hours before the hearing to ensure they are received by the panel adjudicators. You may also call the Coordinator at 613-580-2436 to have your comments transcribed.

Register to Speak at the hearing at least 24 hours before by contacting the Committee Coordinator at 613-580-2436 or at cofa@ottawa.ca. You will receive details on how to participate by videoconference. If you want to share a visual presentation, the Coordinator can provide details on how to do so. Presentations are limited to five minutes, and any exceptions are at the discretion of the Chair.

Hearings are governed by the Committee of Adjustment's *Rules of Practice and Procedure* accessible online.

ALL SUBMITTED INFORMATION BECOMES PUBLIC

Be aware that, in accordance with the *Planning Act*, the *Municipal Act* and the *Municipal Freedom of Information and Privacy Act*, all information presented to the Committee of Adjustment is considered public information and can be shared with any interested individual. Information you choose to disclose in your correspondence and during the hearing, including your personal information, will become part of the public record, and shared with Committee Members, the Applicant(s) or their agent and any other

interested individual, and potentially posted online and become searchable on the Internet.

COMMITTEE OF ADJUSTMENT

The Committee of Adjustment is the City of Ottawa's quasi-judicial tribunal created under the Ontario *Planning Act*. Each year, it holds hearings on hundreds of applications under the *Planning Act* in accordance with the Ontario *Statutory Powers Procedure Act*, including consent to sever land and minor variances from the zoning requirements.

DATED: August 30, 2024



Ce document est également offert en français.

Committee of Adjustment
City of Ottawa
101 Centrepointe Drive
Ottawa ON K2G 5K7
[Ottawa.ca/CommitteeofAdjustment](https://ottawa.ca/CommitteeofAdjustment)
cofa@ottawa.ca
613-580-2436



Comité de dérogation
Ville d'Ottawa
101, promenade Centrepointe
Ottawa ON K2G 5K7
[Ottawa.ca/Comitedederogation](https://ottawa.ca/Comitedederogation)
cded@ottawa.ca
613-580-2436

AVIS D'AUDIENCE

Conformément à la *Loi sur l'aménagement du territoire* de l'Ontario

Demande de dérogation mineure

Groupe 1

Mercredi 18 septembre 2024

13 h

**Place-Ben-Franklin, salle Chamber, 101, promenade Centrepointe
et par vidéoconférence**

Les propriétaires des biens-fonds situés dans un rayon de 60 mètres de l'adresse ci-dessous reçoivent le présent avis afin de formuler des observations sur la ou les demandes et de participer à l'audience s'ils le souhaitent.

L'audience peut aussi être visionnée sur la page [YouTube](#) du Comité de dérogation.

Les participants peuvent bénéficier de l'interprétation simultanée dans les deux langues officielles, de formats accessibles et d'aides à la communication pour toute question de l'ordre du jour en s'adressant au Comité de dérogation au moins 72 heures à l'avance.

Dossier : D08-02-24/A-00212
Demande : Dérogation mineure en vertu de l'article 45 de la *Loi sur l'aménagement du territoire*
Requérant : Thusanth Thuraisingam
Adresse municipale : 249, rue Shakespeare
Quartier : 12 – Rideau-Vanier
Description officielle : Lot 336, plan enregistré 246
Zonage : R4UA
Règlement de zonage : n° 2008-250

PROPOSITION DU REQUÉRANT ET OBJET DE LA DEMANDE :

Le requérant souhaite construire un petit immeuble d'habitation de trois étages abritant huit logements, conformément aux plans déposés auprès du Comité. Il est prévu démolir la maison et le garage situés sur la propriété.

DÉROGATION DEMANDÉE :

Le requérant demande au Comité d'accorder une dérogation mineure au Règlement de zonage afin de permettre la réduction de la marge de recul de la cour arrière à 4,7 mètres, alors que le Règlement exige une marge de recul arrière d'au moins 7,5 mètres.

La propriété ne fait l'objet d'aucune autre demande en cours en vertu de la *Loi sur l'aménagement du territoire*.

POUR EN SAVOIR PLUS SUR LA DEMANDE

Pour obtenir plus de renseignements à ce sujet, communiquez avec le Comité de dérogation via l'adresse, le courriel, le site Web ou le code QR ci-dessous.

Visitez le site **Ottawa.ca/Comité de dérogation** et suivez le lien **Prochaines audiences** pour consulter l'ordre du jour du Comité et les documents relatifs aux demandes, y compris **les lettres d'accompagnement des propositions, les plans, l'information sur les arbres, les avis d'audience, les cartes de diffusion et les rapports d'urbanisme de la Ville**. Les décisions écrites sont également publiées une fois rendues et traduites.

Si vous ne participez pas à l'audience, vous ne recevrez pas d'autre avis à ce sujet.

Si vous souhaitez recevoir un avis de la décision prise à l'issue de l'audience et de tout appel ultérieur interjeté devant le Tribunal ontarien de l'aménagement du territoire, faites-en la demande par écrit au Comité.

COMMENT PARTICIPER

Présentez vos observations écrites ou orales avant l'audience : Veuillez faire parvenir vos observations par courriel à cded@ottawa.ca au moins 24 heures avant l'audience afin de vous assurer que les membres des groupes chargés du rendu des décisions les ont bien reçues. Vous pouvez également téléphoner au coordonnateur ou à la coordonnatrice au numéro 613-580-2436 pour demander que vos observations soient transcrites.

Inscrivez-vous au moins 24 heures à l'avance en communiquant avec le coordonnateur ou la coordonnatrice du Comité au numéro 613-580-2436 ou à l'adresse à cded@ottawa.ca. Vous recevrez des détails sur la façon de participer par vidéoconférence. Si vous souhaitez faire une présentation visuelle, le coordonnateur ou la coordonnatrice sera en mesure de vous fournir des détails sur la façon de procéder. Les présentations sont limitées à cinq minutes et toute exception est laissée à la discrétion du président ou de la présidente.

Les audiences sont régies par les *Règles de pratique et de procédure* du Comité de dérogation et sont accessibles en ligne.

TOUS LES RENSEIGNEMENTS PRÉSENTÉS DEVIENNENT PUBLICS

Sachez que, conformément à la *Loi sur l'aménagement du territoire*, à la *Loi sur les municipalités* et à la *Loi sur l'accès à l'information municipale et la protection de la vie privée*, les observations écrites adressées au Comité de dérogation sont considérées comme des renseignements publics et peuvent être communiquées à toute personne intéressée. Les renseignements que vous choisissez de divulguer dans votre correspondance, notamment vos renseignements personnels,

seront versés au dossier public et communiqués aux membres du Comité, au(x) requérant(s) ou à l'agent, l'agente, ainsi qu'à toute autre personne intéressée et pourront éventuellement être affichés en ligne et faire l'objet d'une recherche sur Internet.

COMITÉ DE DÉROGATION

Le Comité de dérogation est le tribunal quasi judiciaire de la Ville d'Ottawa créé en vertu de la *Loi sur l'aménagement du territoire* de l'Ontario. Chaque année, il tient des audiences sur des centaines de demandes en vertu de la *Loi sur l'aménagement du territoire*, conformément à la *Loi sur l'exercice des compétences légales* de l'Ontario, y compris des demandes d'autorisation de morcellement de terrain et de dérogation mineure aux exigences en matière de zonage.

FAIT : 30 août 2024

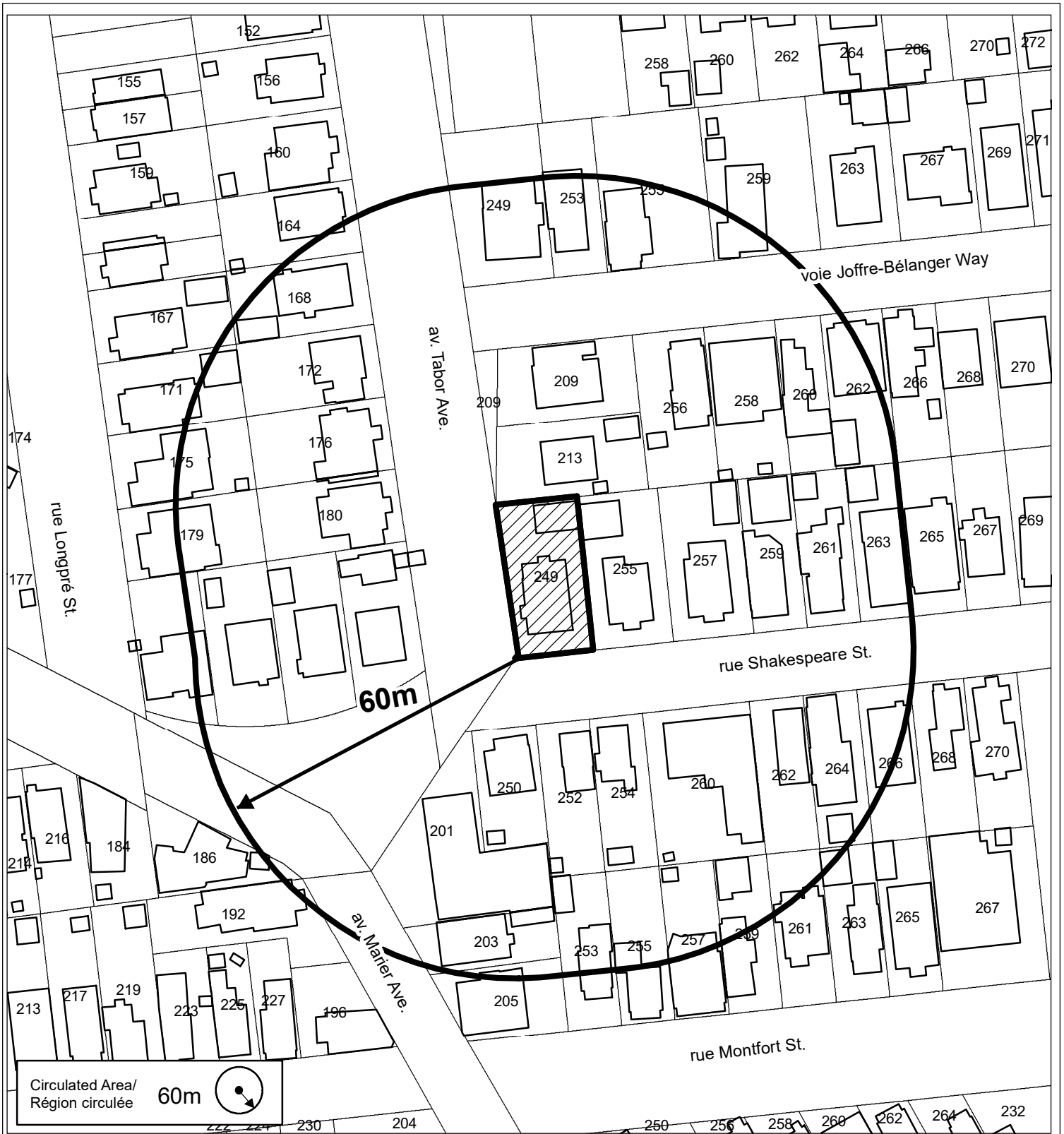


This document is also available in English.

Committee of Adjustment
City of Ottawa
101 Centrepointe Drive
Ottawa ON K2G 5K7
[Ottawa.ca/CommitteeofAdjustment](https://ottawa.ca/CommitteeofAdjustment)
cofa@ottawa.ca
613-580-2436



Comité de dérogation
Ville d'Ottawa
101, promenade Centrepointe
Ottawa ON K2G 5K7
[Ottawa.ca/Comitedederogation](https://ottawa.ca/Comitedederogation)
cded@ottawa.ca
613-580-2436



Circulated Area/
Région circulée 60m

 **Committee of Adjustment**
Comité de dérogation

CIRCULATION MAP /
PLAN DE CIRCULATION

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SUBJECT LAND / TERRE EN QUESTION
249 rue. Shakespeare St.



NOT TO SCALE
NON À L'ÉCHELLE



This document is presented in the language it was provided.
Ce document est présenté dans la langue dans laquelle il a été fourni.

July 30, 2024

Ms. Krista Libman

Secretary-Treasurer
Committee of Adjustment
City of Ottawa
101 Centrepointe Drive
Ottawa, ON, K2G 5K7

Committee of Adjustment

Received | Reçu le

2024-08-06

City of Ottawa | Ville d'Ottawa

Comité de dérogation

Dear Ms. Libman,

Reference: Application Minor Variance for **249-251 Shakespeare Street**

Open Concept Home Design has been retained to file application for a minor variance on behalf of **Thusanth Thuraisingam** the property owner, to facilitate the construction of a new 3-storey, 8 unit low-rise residential building. The subject property is legally described as Lot 336, Registered Plan 246 of the City of Ottawa. The property is located on the corner of Shakespeare Street and Tabor Street within Rideau-Vanier Ward 12.

The subject property has a lot area of 419.47 m², a depth of 28.55 m, and a frontage of 14.10 m along Shakespeare Street. The property is designated as General Urban Area on Schedule B of the City of Ottawa Official Plan, and is zoned **R4UA** in the City of Ottawa Comprehensive Zoning **By-law 2009-164, area A on schedule 342**. The immediate surrounding neighbourhood consists of low to mid density development in the form of varying residential buildings.

Project Description

The proposed building is a 3-storey, 8 unit low-rise residential building. The 8 units will be above grade varying from bachelor, 1 bedroom, 2 bedroom and 3 bedroom apartments. The building will be of standard wood framed construction with full brick veneer exterior finishes.

Minor Variance Application

The purpose of this application is to seek relief from provisions of Zoning By-law 2020-290, as they relate to the proposed 3 storey residential building to include the following variance:

Minor Variance

By-law 2009-164 Area A schedule 342, to permit a reduced rear yard setback of **4.7m**, whereas the By-law requires a minimum rear yard of **7.5m**.

The proposed Low-Rise residential building will replace the existing 3 unit residential building which was recently purchased in a partially demolished condition. The existing building appears to have been poorly designed and built. The request for relief of the existing rear yard setback will allow for a design that includes 8 units within 3 storeys.

Minor Variance 4 Point Test:

1. Are the variances minor?

We believe that the above minor variance request is minor as it is a request for a single variance of reduced rear yard setback. The additional 2.8 meters of building length will allow for a total of 8 dwelling units in the proposed 3 storey building.

2. Are the variances desirable for the appropriate development or use of the property?

The proposed building is desirable for the appropriate development or use of the property in the R4 zone as it will increase the existing greenspace of the property while providing living accommodations in 8 new dwelling units.

The existing detached garage at the rear of the property will be removed allowing for a greater area of soft landscaping.

The proposed residential building will be a vast improvement over the existing multi unit building. The proposal has a smart design incorporating form and space with an abundance of natural light. Applied current building code standards make the proposed building both structurally and architecturally sound.

The installation of high level insulation and vapour barrier, a quality window and door package and high efficient appliances will ensure a high grade energy efficiency for the proposed building.

3. Is the general intent and purpose of the Zoning By-law maintained?

The proposal does meet the intent of the Zoning By-law as the design is being applied to the existing property. The proposed is a low rise apartment dwellings of only 3 storeys which shows an efficient land use and is compatible with similar developing land use patterns in the neighbourhood.

The property is in an area of the Rideau-Vanier ward which is a developing community in design and construction of quality residential buildings.

4. Is the general intent and purpose of the Official Plan maintained?

Section 3.6.1 – General Urban Areas of the Official Master Plan speak to the versatility and malleability of housing typologies, dependant on occupant’s evolving needs and lifestyles.

This proposal meets the intent of infill II as the proposed residential low-rise building is considerate of the surrounding environment, both natural and manmade as the architectural design is not imposing to the property. This will be achieved while at the same time meeting the cities needs of increasing intensification of the property.

While most of the proposed dwelling layouts are below 1000 sq.ft. (92.9 m2) in size, the compact designs are efficient with an open concept design in mind.

As well, sufficient soft landscaping with the absence of vehicle parking blends with official plan objectives.

Thank you for your consideration of this application. Please do not hesitate to contact me if you require any additional information.

Yours truly,

A handwritten signature in blue ink, appearing to read 'Niels Luetgge', with a stylized, cursive script.

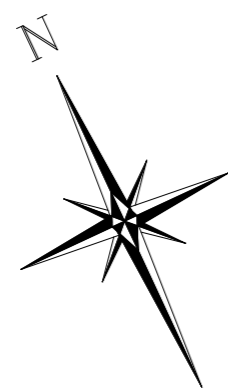
Niels Luetgge

Open Concept Home Design
BCIN 36502

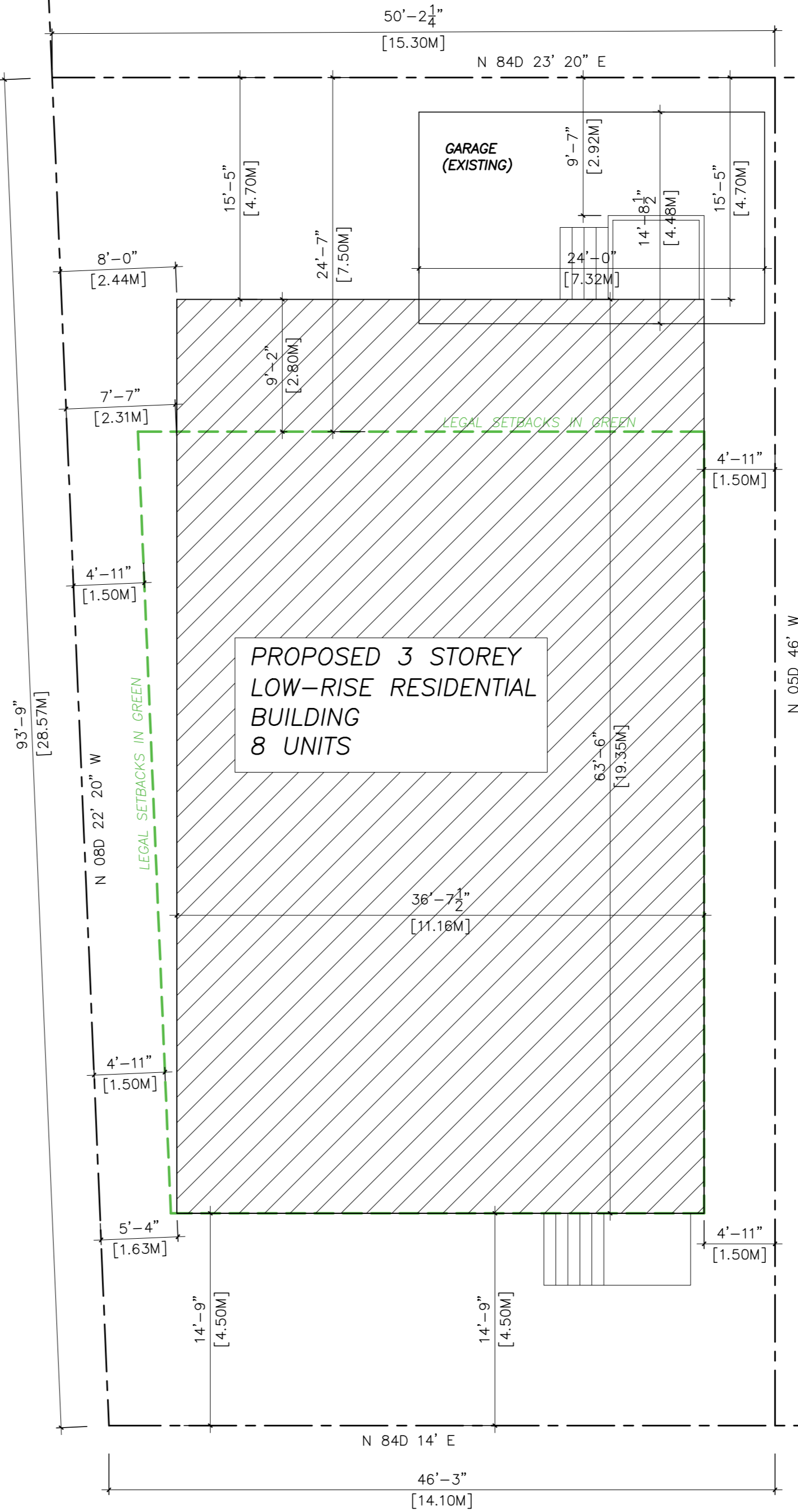
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Tabor Street

PROPOSED 3 STOREY
 LOW-RISE RESIDENTIAL
 BUILDING
 8 UNITS



Site Plan
 scale: 1" = 7.5'

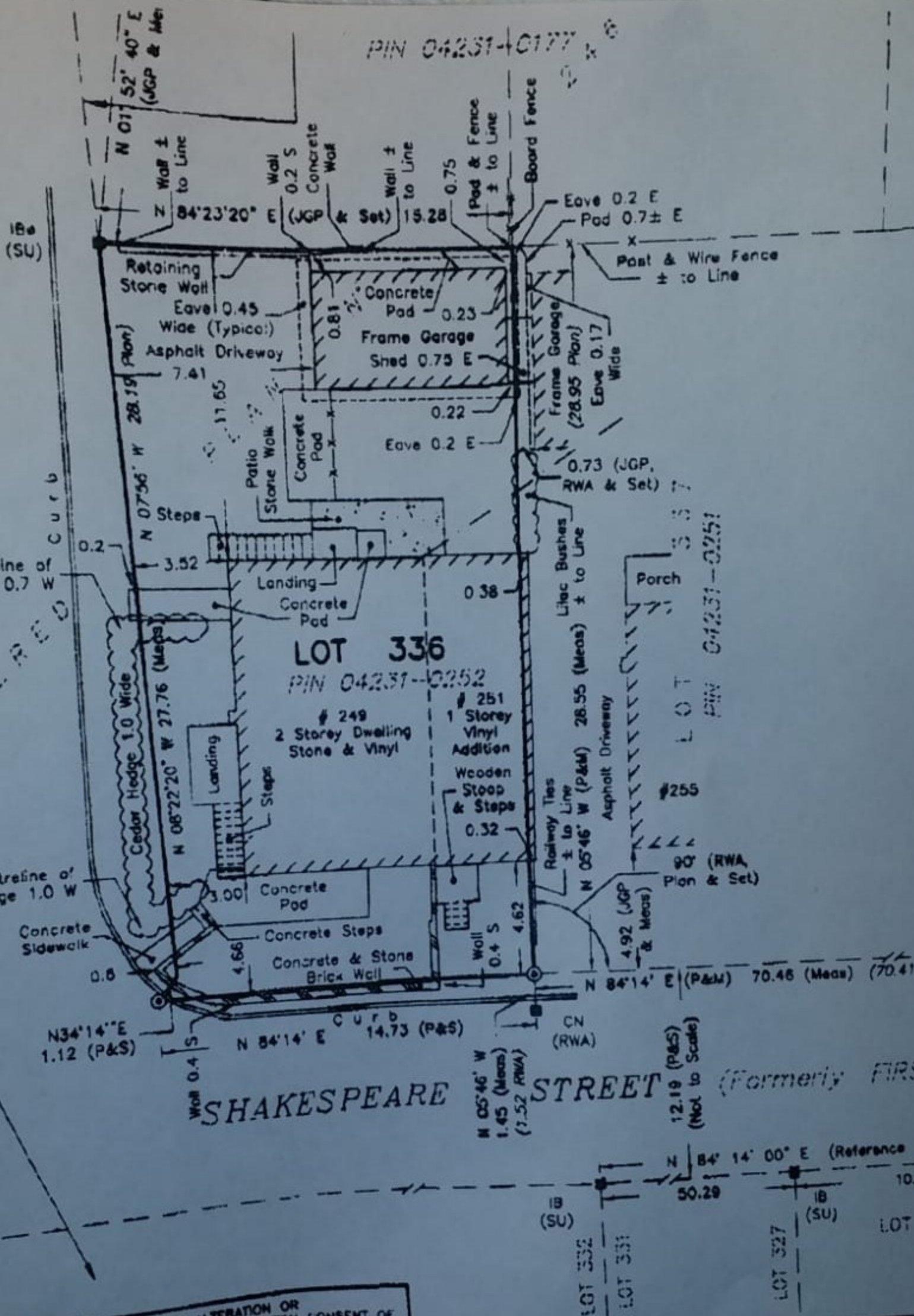


RETAINING WALL
 ← STREET SLOPE

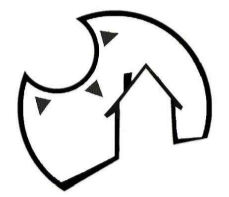
Shakespeare Street

OpenCONCEPT Home Design (613) 277-7398		GENERAL NOTES: 1. THIS PLAN IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT. 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. 4. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT. 5. THE DESIGNER IS NOT RESPONSIBLE FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS PLAN.	
PROPERTY: 249-251 Shakespeare Street 8 UNIT LOW RISE BUILDING		DATE: MARCH 4, 2024	
SCALE: 1" = 7.5'		DRAWING TITLE: SITE PLAN	
SHEET NO. A0			

REGISTERED T A B O R S T R E E T



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OpenCONCEPT
Home Design
(613) 277 7306

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2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME NUMBER AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN ORIGINAL DOCUMENTS.
4. DO NOT SCALE DRAWINGS.
5. THESE DRAWINGS ARE THE INTELLECTUAL PROPERTY OF OPEN CONCEPT HOME DESIGN AND ARE NOT TO BE REPLICATED OR USED FOR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT.

POST SCHEDULE
P1 - 2" DIA. GALVALUME STEEL TELEPOST
BOSS POUND CAP (M.N.)
P2 - 2"x2" OR 3"x2"
P3 - 3"x2" OR 5"x2"
P4 - 4"x2" OR 3"x3"
P5 - 5"x2" OR 4"x2"
P6 - HSS 3"x3" 188 C/W 3"x3" 188 B.P. & C.P.
P7 - HSS 4"x4" 188 C/W 4"x3" 188 B.P. & C.P.

BRICK LINTELS
OPENINGS UP TO L SIZE
5'-0" L 3 1/2"x3 1/2"x5/16"
6'-0" L 4"x3 1/2"x5/16"
8'-0" L 5"x3 1/2"x5/16"
10'-0" L 6"x3 1/2"x5/16"
12'-0" L 8"x3 1/2"x5/16"
6" MIN. BEARING EACH END

No.	DATE	DESCRIPTION	INT.
1	04.03.2024	FOR REVIEW	NL

REVISIONS

No.	DATE	DESCRIPTION	INT.

SEAL

A - DETAIL NUMBER
B - SHEET NUMBER (OVER SHEETS)
C - SHEET NUMBER (TOTAL SHEETS)



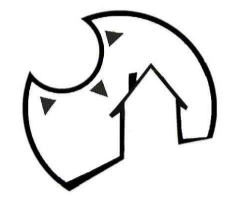
Front Elevation (Shakespeare Street)
scale: 1/4" = 1'-0"

DRAWING TITLE
FRONT ELEVATION

CLIENT
249-251 Shakespeare Street
8 UNIT LOW RISE BUILDING

DATE: MARCH 4, 2024
SCALE: AS NOTED
DRAWN BY: NL
CHECKED: NL

A6



openCONCEPT
Home Design
(613) 277 7306

GENERAL NOTES:
 1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY SHOULD BE REPORTED TO THE CLIENT IMMEDIATELY.
 2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
 3. ADDITIONAL DRAWINGS MAY BE SOUGHT FOR CLARIFICATION TO AVOID THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND EFFECT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
 4. DO NOT SCALE DRAWINGS.

POST SCHEDULE
 P1 - 3" DIA. ADA/STAIR STEEL TELEPOST
 8500 POUND CAP. (MIN.)
 P2 - 2"x2" OR 3"x4"
 P3 - 3"x4" OR 5"x4"
 P4 - 4"x4" OR 5"x4"
 P5 - 5"x4" OR 4"x2"
 P6 - HSS 3"x3" 188" C/W 8"x3/8" B.P. & C.P.
 P7 - HSS 4"x4" 188" C/W 8"x3/8" B.P. & C.P.

BRICK LINTELS
 OPENINGS UP TO L SIZE
 5'-0" L 3 1/2"x3 1/2"x16"
 6'-0" L 4"x3 1/2"x16"
 8'-0" L 5"x3 1/2"x16"
 10'-0" L 6"x3 1/2"x16"
 6" MIN. BEARING EACH END

No.	DATE	FOR REVIEW	DESCRIPTION	INIT.
1	04.03.2024			

REVISIONS
A - DETAIL NUMBER
B - DETAIL NUMBER
C - DETAIL NUMBER

REAR ELEVATION

CLIENT

249-251 Shakespeare Street
8 UNIT LOW RISE BUILDING

DATE MARCH 4, 2024 SHEET No.

SCALE AS NOTED

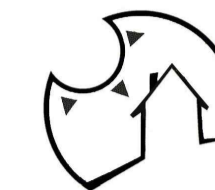
DRAWN BY: NL

CHECKED:

A7



Rear Elevation
 scale: 1/4" = 1'-0"



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Home Design
(613) 277 7306

GENERAL NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.
2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
3. ADDITIONAL DRAWINGS MAY BE SOLED FOR CLARIFICATION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND EFFECT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
4. DO NOT SCALE DRAWINGS.

POST SCHEDULE
P1 - 3" DIA. ADJUSTABLE STEEL TELEPOST 8500 POUND CAP. (MIN.)
P2 - 2"x2" OR 3"x4"
P3 - 3"x2" OR 5"x4"
P4 - 4"x4" OR 5"x4"
P5 - 5"x2" OR 4"x2"
P6 - HSS 2"x2" 188 C/W 8"x3/8" B.P. & C.P.
P7 - HSS 4"x4" 188 C/W 8"x3/8" B.P. & C.P.

BRICK LINELS
OPENINGS UP TO L SIZE
5'-0" L 3 1/2"x1 1/2"x1/8"
6'-0" L 4"x1 1/2"x5/16"
8'-0" L 5"x3 1/2"x5/16"
10'-0" L 5"x3 1/2"x3/8"
12'-0" L 6"x4"x3/8"
*THIN BEARING EACH END

No.	DATE	DESCRIPTION	INITIALS

NO.	DATE	FOR REVIEW	DESCRIPTION	INITIALS

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

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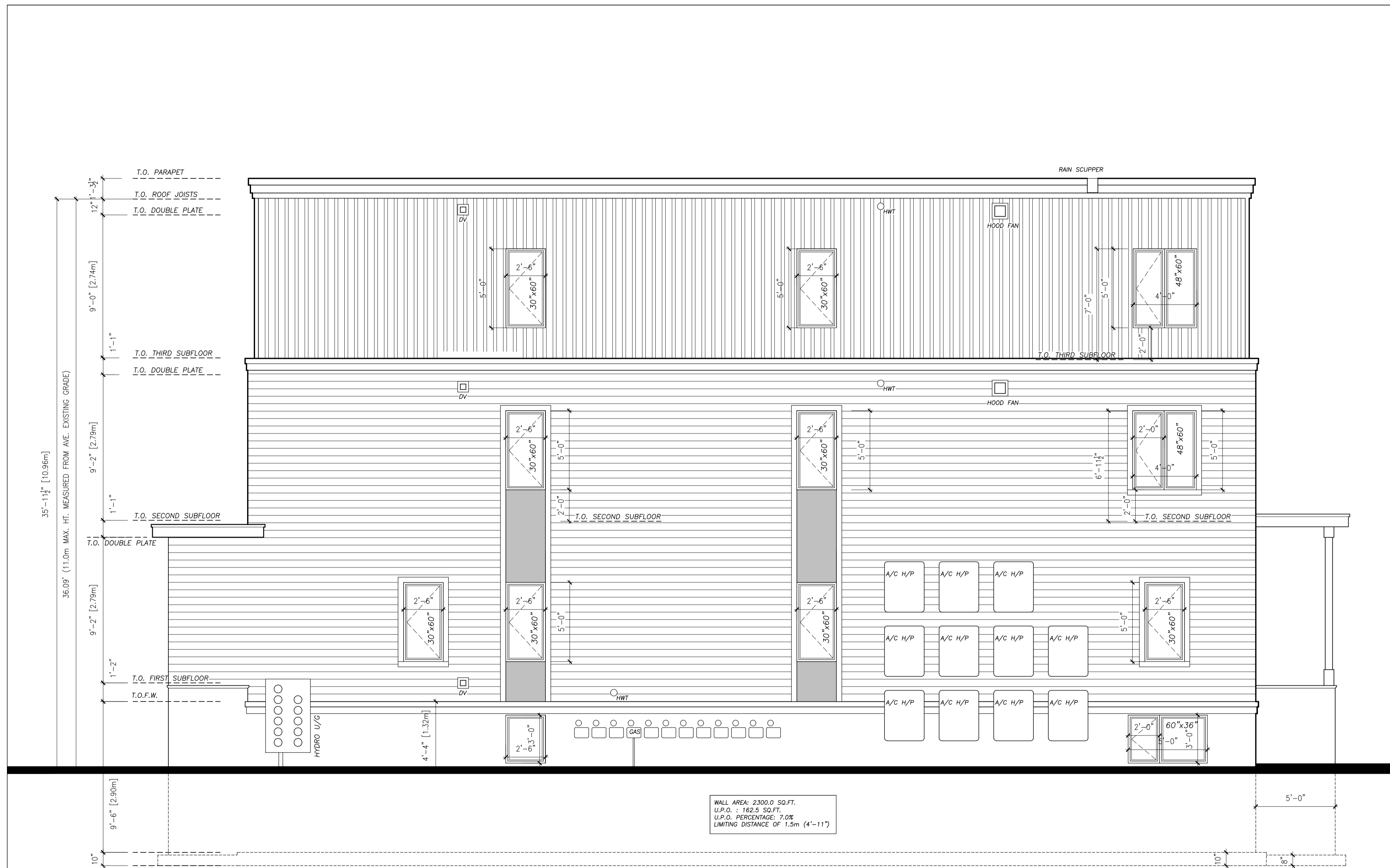
NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION



WALL AREA: 2300.0 SQ.FT.
U.P.O. : 162.5 SQ.FT.
U.P.O. PERCENTAGE: 7.0%
LIMITING DISTANCE OF 1.5m (4'-11")

Right Side Elevation (Interior Side Yard)

scale: 1/4" = 1'-0"

DRAWING TITLE

RIGHT SIDE ELEVATION

CLIENT

249-251 Shakespeare Street
8 UNIT LOW RISE BUILDING

DATE

MARCH 4, 2024

SCALE

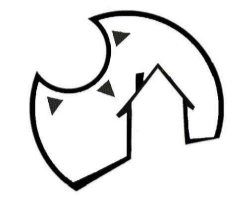
AS NOTED

DRAWN BY

NL

CHECKED

SHEET NO.
A8



openCONCEPT
Home Design
(613) 277 7306

GENERAL NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.
2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION. TO ASSIST THE CONTRACTOR IN THE EXECUTION OF WORK, SUCH DRAWINGS WILL HAVE THE SAME BEARING AND INTENT AS IF THEY WERE INCLUDED IN THE PLANS IN CONTRACT DOCUMENTS.
4. DO NOT SCALE DRAWINGS.

POST SCHEDULE
P1 - 3" DIA. ADJUSTABLE STEEL TELEPOST
8500 POUND CAP. (MAX)
P2 - 2"x4" OR 3"x4"
P3 - 3"x6" OR 5"x4"
P4 - 4"x4" OR 5"x4"
P5 - 5"x6" OR 4"x6"
P6 - HSS 3"x4", 188" C/W 5"x3/8" B.P. & C.P.
P7 - HSS 4"x4", 188" C/W 6"x3/8" B.P. & C.P.

BRICK LINETS
OPENINGS UP TO L SIZE L 1/2"x3 1/2"x10/16"
5'-0" L 4"x4 1/2"x5/16"
6'-0" L 5"x5 1/2"x5/16"
8'-0" L 6"x6 1/2"x5/16"
10'-0" L 8"x8 1/2"x5/16"
@MIN. BEARING EACH END

NO.	DATE	FOR REVIEW	DESCRIPTION	INIT.
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				

NO.	DATE	FOR REVIEW	DESCRIPTION	INIT.
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				

SEAL

A - DETAIL NUMBER
B - SHEET NUMBER
C - SHEET NUMBER
E - DETAIL LOCATION

DATE: MARCH 4, 2024
SCALE: AS NOTED
DRAWN BY: NL
CHECKED:

A9

DRAWING TITLE
LEFT SIDE ELEVATION

CLIENT
249-251 Shakespeare Street
8 UNIT LOW RISE BUILDING

DATE: MARCH 4, 2024
SCALE: AS NOTED
DRAWN BY: NL
CHECKED:

A9

DRAWING TITLE
LEFT SIDE ELEVATION

CLIENT
249-251 Shakespeare Street
8 UNIT LOW RISE BUILDING

DATE: MARCH 4, 2024
SCALE: AS NOTED
DRAWN BY: NL
CHECKED:

A9

DRAWING TITLE
LEFT SIDE ELEVATION

CLIENT
249-251 Shakespeare Street
8 UNIT LOW RISE BUILDING

DATE: MARCH 4, 2024
SCALE: AS NOTED
DRAWN BY: NL
CHECKED:

A9

DRAWING TITLE
LEFT SIDE ELEVATION

CLIENT
249-251 Shakespeare Street
8 UNIT LOW RISE BUILDING

DATE: MARCH 4, 2024
SCALE: AS NOTED
DRAWN BY: NL
CHECKED:

A9

DRAWING TITLE
LEFT SIDE ELEVATION

CLIENT
249-251 Shakespeare Street
8 UNIT LOW RISE BUILDING

DATE: MARCH 4, 2024
SCALE: AS NOTED
DRAWN BY: NL
CHECKED:

A9

DRAWING TITLE
LEFT SIDE ELEVATION

CLIENT
249-251 Shakespeare Street
8 UNIT LOW RISE BUILDING

DATE: MARCH 4, 2024
SCALE: AS NOTED
DRAWN BY: NL
CHECKED:

A9



Left Side Elevation (Tabor Street)
scale: 1/4" = 1'-0"







TabOR Ave.
Shakespeare St.



NOTICE OF HEARING

Pursuant to the Ontario *Planning Act*

Minor Variance Application

Panel 1

Wednesday, September 18, 2024

1 p.m.

Ben Franklin Place, Main Floor Chamber, 101 Centrepointe Drive
and by videoconference

Owners of neighbouring properties within 60 metres of the property address below are receiving this notice in case they want to comment on the application(s) and/or participate at the hearing.

The hearing can also be viewed on the Committee of Adjustment [YouTube](#) page.

Simultaneous interpretation in both official languages, accessible formats and communication supports are available for any specific agenda item by contacting the Committee of Adjustment at least 72 hours before the hearing.

File No.: D08-02-24/A-00217
Application: Minor Variance under section 45 of the *Planning Act*
Applicant: 2465269 ONTARIO INC
Property Address: 55 Gordon Street
Ward: 17 - Capital
Legal Description: Part of Lot 2, Registered Plan 33446
Zoning: R3P [1474]
Zoning By-law: 2008-250

APPLICANT'S PROPOSAL / PURPOSE OF THE APPLICATION:

The Applicant wants to convert the existing duplex dwelling into a three-unit dwelling through the conversion of the basement level, as shown on plans filed with the Committee.

REQUESTED VARIANCES:

The Applicant requires the Committee's authorization for minor variances from the Zoning By-law as follows:

- a) To permit a reduced lot width of 9.24 metres, whereas the By-law requires a minimum lot width of 12 metres.
- b) To permit a reduced lot area of 297 square metres, whereas the By-law requires a minimum lot area of 360 square metres.
- c) To permit a reduced (northerly) interior side yard setback of 0.41 metres, whereas the Zoning By-law requires a minimum interior side yard setback of 1.2 metres.

The property is not the subject of any other current application under the *Planning Act*.

FIND OUT MORE ABOUT THE APPLICATION

For more information about this matter, contact the Committee of Adjustment at the address, email address, website or QR code below.

Visit **Ottawa.ca/CommitteeofAdjustment** and follow the link to **Next hearings** to view panel agendas and application documents, including **proposal cover letters, plans, tree information, hearing notices, circulation maps, and City planning reports**. Written decisions are also published once issued and translated.

If you don't participate in the hearing, you won't receive any further notification of the proceedings.

If you want to be notified of the decision following the hearing, and of any subsequent appeal to the Ontario Land Tribunal, send a written request to the Committee.

HOW TO PARTICIPATE

Submit written or oral comments before the hearing: Email your comments to cofa@ottawa.ca at least 24 hours before the hearing to ensure they are received by the panel adjudicators. You may also call the Coordinator at 613-580-2436 to have your comments transcribed.

Register to Speak at the hearing at least 24 hours before by contacting the Committee Coordinator at 613-580-2436 or at cofa@ottawa.ca. You will receive details on how to participate by videoconference. If you want to share a visual presentation, the Coordinator can provide details on how to do so. Presentations are limited to five minutes, and any exceptions are at the discretion of the Chair.

Hearings are governed by the Committee of Adjustment's *Rules of Practice and Procedure* accessible online.

ALL SUBMITTED INFORMATION BECOMES PUBLIC

Be aware that, in accordance with the *Planning Act*, the *Municipal Act* and the *Municipal Freedom of Information and Privacy Act*, all information presented to the Committee of

Adjustment is considered public information and can be shared with any interested individual. Information you choose to disclose in your correspondence and during the hearing, including your personal information, will become part of the public record, and shared with Committee Members, the Applicant(s) or their agent and any other interested individual, and potentially posted online and become searchable on the Internet.

COMMITTEE OF ADJUSTMENT

The Committee of Adjustment is the City of Ottawa's quasi-judicial tribunal created under the Ontario *Planning Act*. Each year, it holds hearings on hundreds of applications under the *Planning Act* in accordance with the Ontario *Statutory Powers Procedure Act*, including consent to sever land and minor variances from the zoning requirements.

DATED: August 30, 2024



Ce document est également offert en français.

Committee of Adjustment
City of Ottawa
101 Centrepointe Drive
Ottawa ON K2G 5K7
[Ottawa.ca/CommitteeofAdjustment](https://ottawa.ca/CommitteeofAdjustment)
cofa@ottawa.ca
613-580-2436



Comité de dérogation
Ville d'Ottawa
101, promenade Centrepointe
Ottawa ON K2G 5K7
[Ottawa.ca/Comitedederogation](https://ottawa.ca/Comitedederogation)
cded@ottawa.ca
613-580-2436

AVIS D'AUDIENCE

Conformément à la *Loi sur l'aménagement du territoire* de l'Ontario

Demande de dérogations mineures

Groupe 1

Mercredi 18 septembre 2024

13 h

**Place-Ben-Franklin, salle Chamber, 101, promenade Centrepointe
et par vidéoconférence**

Les propriétaires des biens-fonds situés dans un rayon de 60 mètres de l'adresse ci-dessous reçoivent le présent avis afin de formuler des observations sur la ou les demandes et de participer à l'audience s'ils le souhaitent.

L'audience peut aussi être visionnée sur la page [YouTube](#) du Comité de dérogation.

Les participants peuvent bénéficier de l'interprétation simultanée dans les deux langues officielles, de formats accessibles et d'aides à la communication pour toute question de l'ordre du jour en s'adressant au Comité de dérogation au moins 72 heures à l'avance.

Dossier : D08-02-24/A-00217
Demande : Dérogations mineures en vertu de l'article 45 de la *Loi sur l'aménagement du territoire*
Requérante : 2465269 ONTARIO INC
Adresse municipale : 55, rue Gordon
Quartier : 17 - Capitale
Description officielle : Partie du lot 2, plan enregistré 33446
Zonage : R3P [1474]
Règlement de zonage : n° 2008-250

PROPOSITION DE LA REQUÉRANTE ET OBJET DE LA DEMANDE :

La requérante souhaite convertir le duplex existant en un bâtiment de trois logements en réaménageant le sous-sol, conformément aux plans déposés auprès du Comité.

DÉROGATIONS DEMANDÉES :

La requérante demande au Comité d'accorder les dérogations mineures au Règlement de zonage décrites ci-après :

- a) Permettre la réduction de la largeur du lot à 9,24 mètres, alors que le Règlement exige une largeur de lot minimale de 12 mètres.
- b) Permettre la réduction de la superficie du lot à 297 mètres carrés, alors que le Règlement exige une superficie de lot minimale de 360 mètres carrés.
- c) Permettre la réduction de la marge de recul de la cour latérale intérieure (nord) à 0,41 mètre, alors que le Règlement exige une marge de recul de la cour latérale intérieure d'au moins 1,2 mètre.

La propriété ne fait l'objet d'aucune autre demande en cours en vertu de la *Loi sur l'aménagement du territoire*.

POUR EN SAVOIR PLUS SUR LA DEMANDE

Pour obtenir plus de renseignements à ce sujet, communiquez avec le Comité de dérogation via l'adresse, le courriel, le site Web ou le code QR ci-dessous.

Visitez le site **Ottawa.ca/Comité de dérogation** et suivez le lien **Prochaines audiences** pour consulter l'ordre du jour du Comité et les documents relatifs aux demandes, y compris **les lettres d'accompagnement des propositions, les plans, l'information sur les arbres, les avis d'audience, les cartes de diffusion et les rapports d'urbanisme de la Ville**. Les décisions écrites sont également publiées une fois rendues et traduites.

Si vous ne participez pas à l'audience, vous ne recevrez pas d'autre avis à ce sujet.

Si vous souhaitez recevoir un avis de la décision prise à l'issue de l'audience et de tout appel ultérieur interjeté devant le Tribunal ontarien de l'aménagement du territoire, faites-en la demande par écrit au Comité.

COMMENT PARTICIPER

Présentez vos observations écrites ou orales avant l'audience : Veuillez faire parvenir vos observations par courriel à cded@ottawa.ca au moins 24 heures avant l'audience afin de vous assurer que les membres des groupes chargés du rendu des décisions les ont bien reçues. Vous pouvez également téléphoner au coordonnateur ou à la coordonnatrice au numéro 613-580-2436 pour demander que vos observations soient transcrites.

Inscrivez-vous au moins 24 heures à l'avance en communiquant avec le coordonnateur ou la coordonnatrice du Comité au numéro 613-580-2436 ou à l'adresse à cded@ottawa.ca. Vous recevrez des détails sur la façon de participer par vidéoconférence. Si vous souhaitez faire une présentation visuelle, le coordonnateur ou la coordonnatrice sera en mesure de vous fournir des détails sur la façon de procéder. Les présentations sont limitées à cinq minutes et toute exception est laissée à la discrétion du président ou de la présidente.

Les audiences sont régies par les *Règles de pratique et de procédure* du Comité de dérogation et sont accessibles en ligne.

TOUS LES RENSEIGNEMENTS PRÉSENTÉS DEVIENNENT PUBLICS

Sachez que, conformément à la *Loi sur l'aménagement du territoire*, à la *Loi sur les municipalités* et à la *Loi sur l'accès à l'information municipale et la protection de la vie privée*, les observations écrites adressées au Comité de dérogation sont considérées comme des renseignements publics et peuvent être communiquées à toute personne intéressée. Les renseignements que vous choisissez de divulguer dans votre correspondance, notamment vos renseignements personnels, seront versés au dossier public et communiqués aux membres du Comité, au(x) requérant(s) ou à l'agent, l'agente, ainsi qu'à toute autre personne intéressée et pourront éventuellement être affichés en ligne et faire l'objet d'une recherche sur Internet.

COMITÉ DE DÉROGATION

Le Comité de dérogation est le tribunal quasi judiciaire de la Ville d'Ottawa créé en vertu de la *Loi sur l'aménagement du territoire* de l'Ontario. Chaque année, il tient des audiences sur des centaines de demandes en vertu de la *Loi sur l'aménagement du territoire*, conformément à la *Loi sur l'exercice des compétences légales* de l'Ontario, y compris des demandes d'autorisation de morcellement de terrain et de dérogation mineure aux exigences en matière de zonage.

FAIT : 30 août 2024

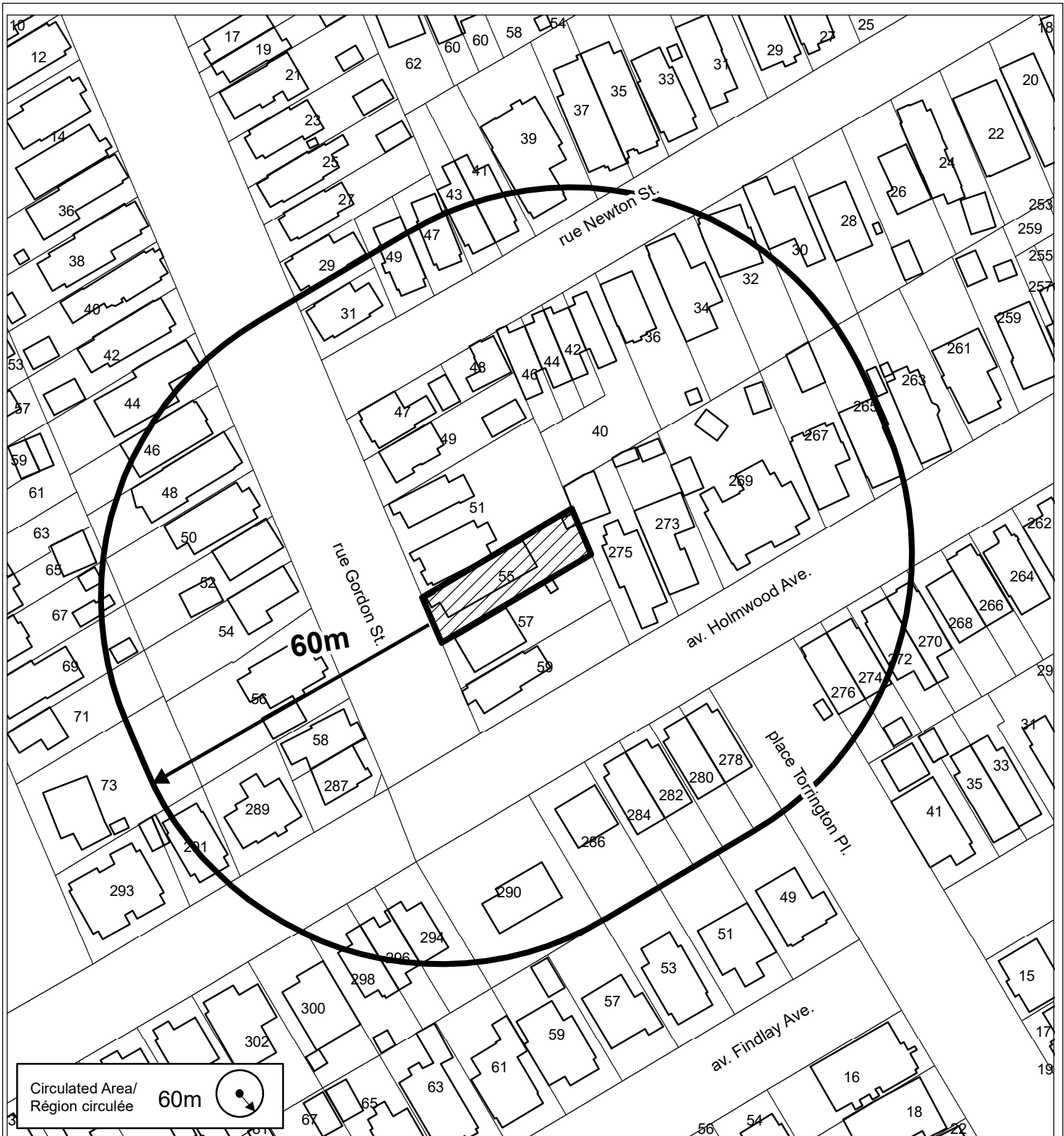


This document is also available in English.


Committee of Adjustment
 City of Ottawa
 101 Centrepointe Drive
 Ottawa ON K2G 5K7
Ottawa.ca/CommitteeofAdjustment
cofa@ottawa.ca
 613-580-2436



Comité de dérogation
 Ville d'Ottawa
 101, promenade Centrepointe
 Ottawa ON K2G 5K7
Ottawa.ca/Comitedederogation
cded@ottawa.ca
 613-580-2436



Circulated Area/
Région circulée 60m



 **Committee of Adjustment**
Comité de dérogation

CIRCULATION MAP /
PLAN DE CIRCULATION



SUBJECT LAND / TERRE EN QUESTION

55 rue Gordon Street

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NOT TO SCALE
NON À L'ÉCHELLE

funktional design

613-863-7369

www.funktionaldesign.ca

55 GORDON ST, OTTAWA, ON K1S 4C7 :
PROJECT INFORMATION RE: MINOR VARIANCE

EXISTING BUILDING / PROPERTY:

Description: 3-storey detached residential building

Zoning: R3-P [1475]

Existing Building Area: 104.2 sq.m. (1120.16 sq.ft.)

Building Height: 3-storey plus basement (approx. 10.0m (32'-9.5"))

Existing Gross Floor Area (above grade): 282.0 sq.m. (3032.5 sq.ft.) on 3 floors.

Parking: Existing parking is at the rear of the property, as shown on site plan.

PROPOSED DEVELOPMENT:

CONVERSION: The current building is a duplex with one unit comprising the lower basement level and the main ground floor level. The 2nd unit comprises the 2nd floor and 3rd Floor. The proposal is to add a kitchen to the basement level and revise the interior staircase to segregate the basement level as complete unit and convert the building to a triplex as a result.

APPLICATION FOR MINOR VARIANCE: Reference to Residential Zones - Section 161; 162

The zoning regulations do not allow 3-units as this property does not achieve the minimum lot width and area. The building is also closer to the interior side property line than regulation.

As a result, this application seeks relief from :

- Lot width (regulation = 12.0m; existing width = 9.24m)
- Lot Area (regulation = 360m²; existing area = 297m²)
- Interior Side lot setback (regulation for 3-unit building = 1.2m ; existing setback = 0.41m)

MINOR VARIANCE CONSIDERATIONS:

The building has existed in its current form since 2016. Its scale fits into the neighbourhood and no change to its size or outward appearance is proposed. The owner and agent therefore note that in our opinion, this proposal meets the following four test conditions.

1. The variances are minor in nature.
2. The variances are desirable for the appropriate development / use of the property.
3. The general intent and purpose of the Zoning By-law is maintained.
4. The general intent and purpose of the Official Plan is maintained.

IMPACT: Despite the intended proposal being non-conforming, it proposes structures and features that are consistent with other properties and in compliance with the general neighbourhood and pose little to no negative impact. We respectfully request the members of the Committee of Adjustments to reach the same conclusion.

Renzo Cecchetto, BCIN #377251



Committee of Adjustment
Received | Reçu le

Revised | Modifié le : 2024-08-22

City of Ottawa | Ville d'Ottawa
Comité de dérogation

PART OF LOT 2
REGISTERED PLAN 33446
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.



Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

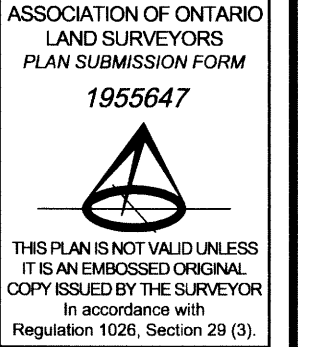
Surveyor's Certificate

I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 19th day of November, 2015.

Date: Nov 26/2015
Signature: Andre Roy
Ontario Land Surveyor

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH
SURVEY REPORT DATED: November 26, 2015

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to P. Zachar ("The Client"), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

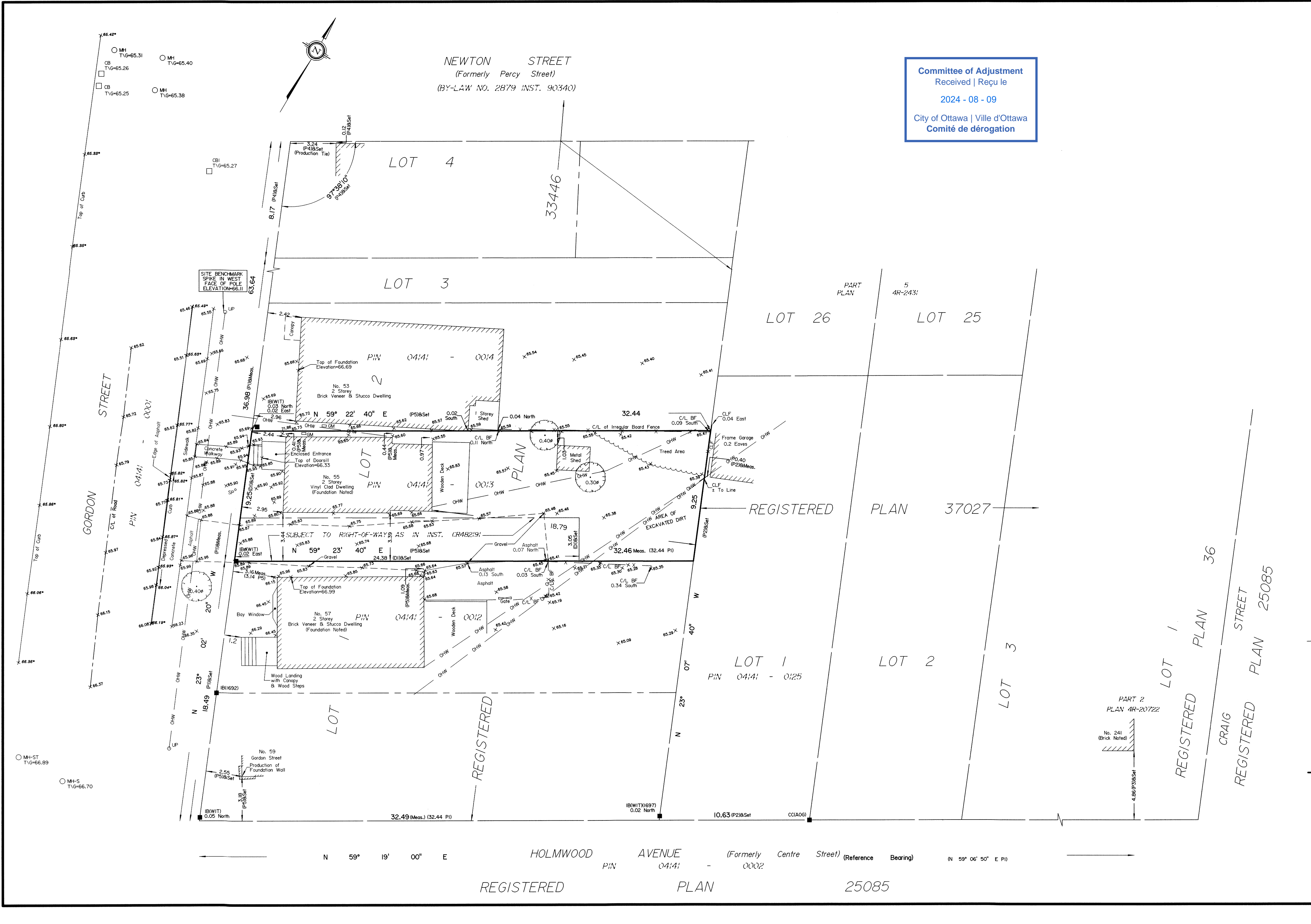


- Notes & Legend
- Denotes Survey Monument Planted
- SIB Standard Iron Bar
- SSIB Short Standard Iron Bar
- IB Iron Bar
- CC Cut Cross
- IB0 Round Iron Bar
- (WIT) Witness
- (AOG) Annis, O'Sullivan, Vollebakk Ltd.
- Meas. Measured
- (P1) Registered Plan 33446
- (P2) (AOG) Plan dated March 19, 2015
- (P3) Plan 4R-20722
- (P4) (AOG) File 33446-6
- (P5) (B57) Plan dated August 2, 1983
- (D1) Inst. CR482191
- MH-ST Maintenance Hole (Storm Sewer)
- MH-S Maintenance Hole (Sanitary)
- OW Overhead Wires
- UP Utility Pole
- CS Catch Basin
- WP Water Stand Post
- T/G Top of Gate
- GI Gas Meter
- Deciduous Tree
- CLF Chain Link Fence
- BF Board Fence
- Gate
- Diameter
- Location of Elevations
- Location of Top of Curb Elevations
- Centreline
- Property Line

For bearing comparisons, a rotation of 0°41'50" counter-clockwise was applied to bearings on (B57) Plan dated August 2, 1983 and Registered Plan 33446.
Bearings are grid bearings, derived from the Northerly Limit of Holmwood Avenue, shown to be N59°19'00"E on (AOG) Plan dated March 19, 2015 and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

© Annis, O'Sullivan, Vollebakk Ltd., 2015. THIS PLAN IS PROTECTED BY COPYRIGHT.
ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: nepean@annislvs.com

Committee of Adjustment
Received | Reçu le
2024 - 08 - 09
City of Ottawa | Ville d'Ottawa
Comité de dérogation



STAMP:



REVISIONS:

No.	DESCRIPTION	DATE
04	RE-ISSUED FOR BUILDING PERMIT	2016/03/16
03	ISSUED FOR BUILDING PERMIT	2016/02/19
02	ISSUED FOR PERMIT REVIEW	2016/02/05
01	ISSUED FOR COORDINATION	2016/01/04

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 ALL DIMENSIONS TO BE CHECKED AND VERIFIED

North:

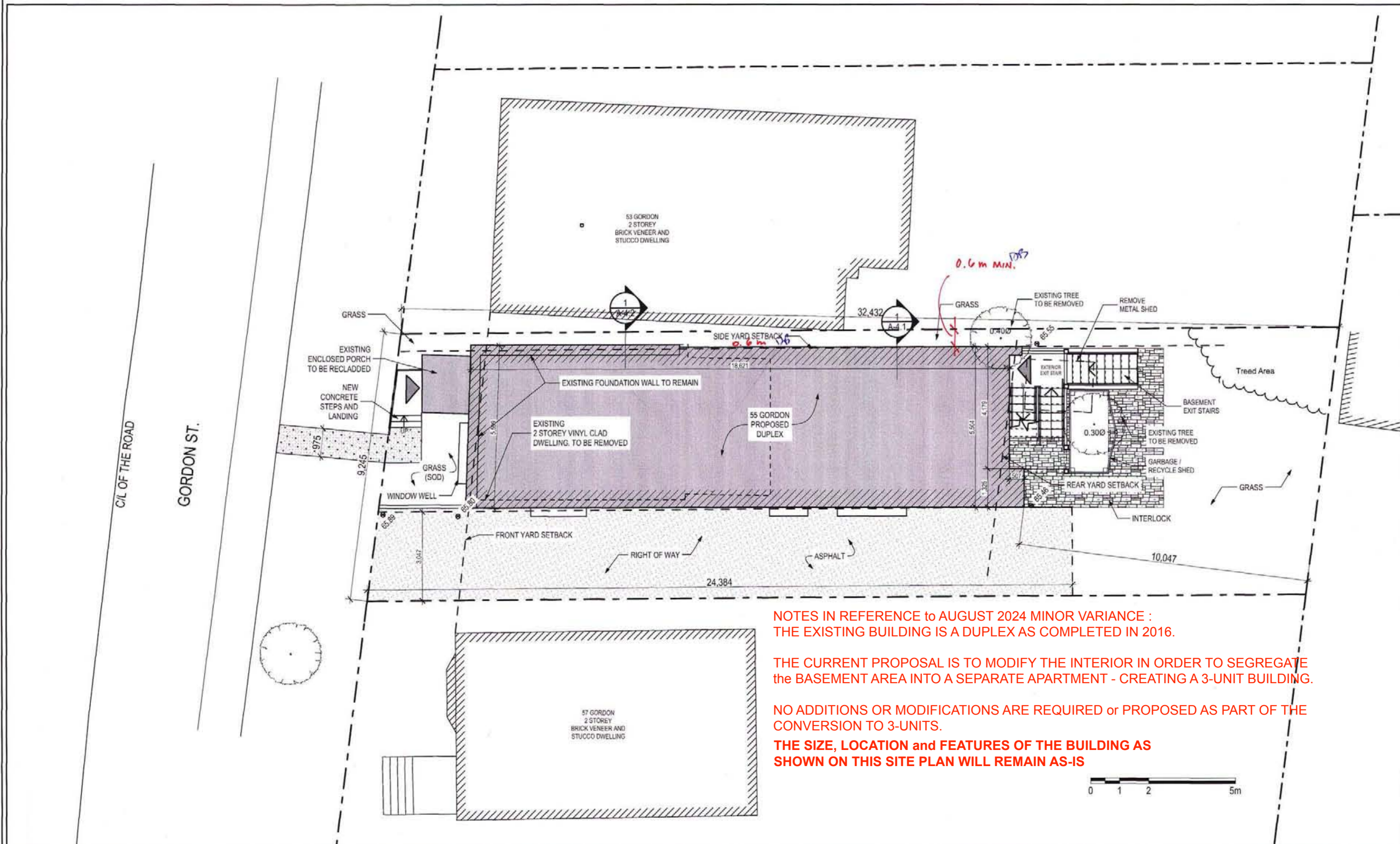
PROJECT:
55 GORDON ST. DEVELOPMENT

55 GORDON ST. OTTAWA, ONTARIO
 DRAWING:

SITE PLAN

APPROVED BY: RM
 DESIGNED BY: DB / NB
 DRAWN BY: NB
 DATE: 2016/01/04 SCALE: AS SHOWN
 RMA PROJECT NUMBER: SHEET NUMBER:

15212 A-0.1



NOTES IN REFERENCE TO AUGUST 2024 MINOR VARIANCE :
 THE EXISTING BUILDING IS A DUPLEX AS COMPLETED IN 2016.

THE CURRENT PROPOSAL IS TO MODIFY THE INTERIOR IN ORDER TO SEGREGATE THE BASEMENT AREA INTO A SEPARATE APARTMENT - CREATING A 3-UNIT BUILDING.

NO ADDITIONS OR MODIFICATIONS ARE REQUIRED OR PROPOSED AS PART OF THE CONVERSION TO 3-UNITS.

THE SIZE, LOCATION AND FEATURES OF THE BUILDING AS SHOWN ON THIS SITE PLAN WILL REMAIN AS-IS



STAMP:



REVISIONS:

No.	DESCRIPTION	DATE
04	RE-ISSUED FOR BUILDING PERMIT	2016/03/16
03	ISSUED FOR BUILDING PERMIT	2016/02/19
02	ISSUED FOR PERMIT REVIEW	2016/02/05
01	ISSUED FOR COORDINATION	2016/01/04

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North:

PROJECT:
55 GORDON ST. DEVELOPMENT

55 GORDON ST. OTTAWA, ONTARIO

DRAWING:
WEST & EAST ELEVATION

APPROVED BY: RM
 DESIGNED BY: DB / NB
 DRAWN BY: NB

DATE: 2016/01/04 SCALE: AS SHOWN

RMA PROJECT NUMBER: 15212 SHEET NUMBER: A-3.0

NOTES IN REFERENCE TO AUGUST 2024 MINOR VARIANCE :
 THE EXISTING BUILDING IS A DUPLEX AS COMPLETED IN 2016.

THE CURRENT PROPOSAL IS TO MODIFY THE INTERIOR IN ORDER
 TO SEGREGATE THE BASEMENT AREA INTO A SEPARATE
 APARTMENT - CREATING A 3-UNIT BUILDING.

NO ADDITIONS OR MODIFICATIONS ARE REQUIRED OR PROPOSED
 AS PART OF THE CONVERSION TO 3-UNITS.

**THE SIZE, LOCATION and FEATURES OF THE BUILDING AS
 SHOWN ON THIS ELEVATION DRAWING WILL REMAIN AS-IS**

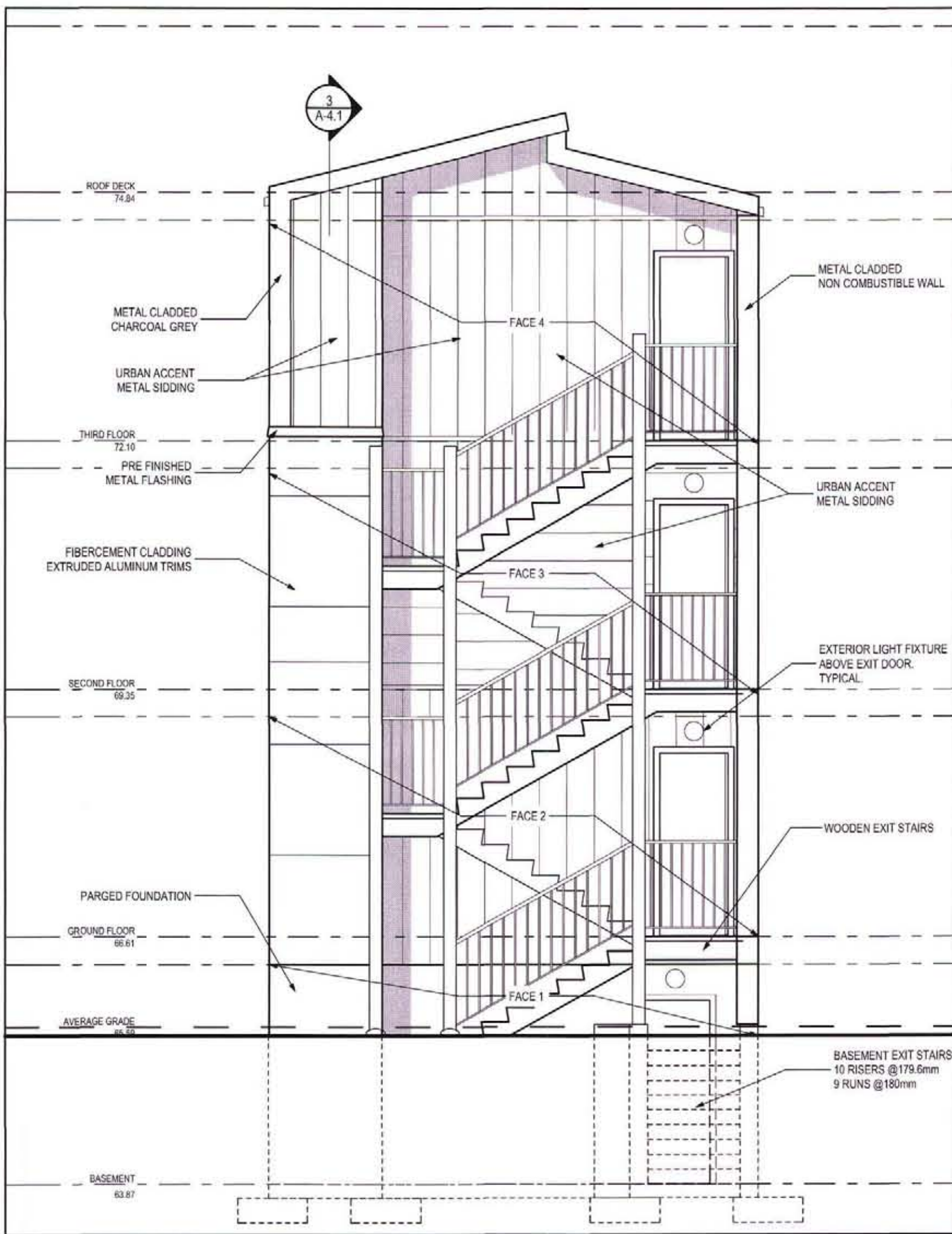
SOUTH ELEVATION UNPROTECTED OPENINGS EXPOSED BUILDING FACE 2, 3, 4:
 TOTAL AREA OF BUILDING FACE = 13.3m²
 DISTANCE MORE THAN 10.0m = 100% ALLOWED, 9.3% PROPOSED
 COMBUSTIBLE CONSTRUCTION
 COMBUSTIBLE CLADDING

WEST ELEVATION UNPROTECTED OPENINGS EXPOSED BUILDING FACE 1:
 TOTAL AREA OF BUILDING FACE = 4.3m²
 DISTANCE MORE THAN 10.0m = 100% ALLOWED, 15% PROPOSED
 COMBUSTIBLE CONSTRUCTION
 COMBUSTIBLE CLADDING

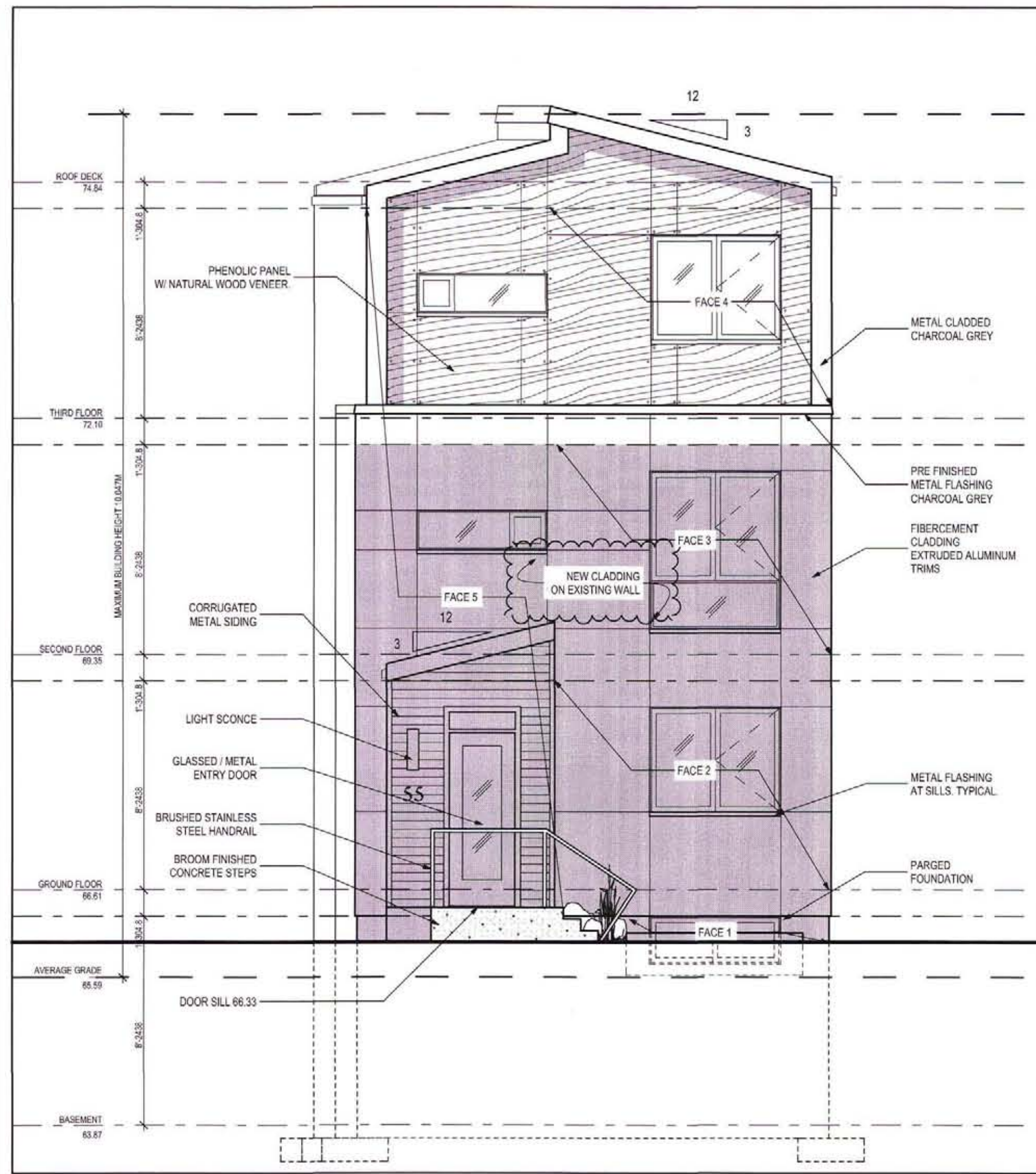
SOUTH ELEVATION UNPROTECTED OPENINGS EXPOSED BUILDING FACE 5:
 TOTAL AREA OF BUILDING FACE = 26m²
 DISTANCE 12.0m = 100% ALLOWED, 14% PROPOSED
 COMBUSTIBLE CONSTRUCTION
 COMBUSTIBLE CLADDING

SOUTH ELEVATION UNPROTECTED OPENINGS EXPOSED BUILDING FACE 2, 3, 4:
 TOTAL AREA OF BUILDING FACE = 7.7m²
 DISTANCE 12.0m = 100% ALLOWED, 23% PROPOSED
 COMBUSTIBLE CONSTRUCTION
 COMBUSTIBLE CLADDING

WEST ELEVATION UNPROTECTED OPENINGS EXPOSED BUILDING FACE 1:
 TOTAL AREA OF BUILDING FACE = 1.0m²
 DISTANCE 12.0m = 100% ALLOWED, 50% PROPOSED
 COMBUSTIBLE CONSTRUCTION
 COMBUSTIBLE CLADDING



2 EAST ELEVATION
 A-3.0 SCALE = 1/4"=1'-0"



1 WEST ELEVATION
 A-3.0 SCALE = 1/4"=1'-0"

SOUTH ELEVATION UNPROTECTED OPENINGS EXPOSED BUILDING FACE 5:
 TOTAL AREA OF BUILDING FACE = 4.5m²
 DISTANCE 5.9m = 100% ALLOWED, 11% PROPOSED
 COMBUSTIBLE CONSTRUCTION
 COMBUSTIBLE CLADDING

SOUTH ELEVATION UNPROTECTED OPENINGS EXPOSED BUILDING FACE 4:
 TOTAL AREA OF BUILDING FACE = 48m²
 DISTANCE 3.0m = 19% ALLOWED, 11% PROPOSED
 COMBUSTIBLE OR NON COMBUSTIBLE CONSTRUCTION
 NONCOMBUSTIBLE CLADDING

SOUTH ELEVATION UNPROTECTED OPENINGS EXPOSED BUILDING FACE 3:
 TOTAL AREA OF BUILDING FACE = 48m²
 DISTANCE 3.0m = 19% ALLOWED, 11% PROPOSED
 COMBUSTIBLE OR NON COMBUSTIBLE CONSTRUCTION
 NONCOMBUSTIBLE CLADDING

SOUTH ELEVATION UNPROTECTED OPENINGS EXPOSED BUILDING FACE 2:
 TOTAL AREA OF BUILDING FACE = 48m²
 DISTANCE 3.0m = 19% ALLOWED, 11% PROPOSED
 COMBUSTIBLE OR NON COMBUSTIBLE CONSTRUCTION
 NONCOMBUSTIBLE CLADDING

SOUTH ELEVATION UNPROTECTED OPENINGS EXPOSED BUILDING FACE 1:
 TOTAL AREA OF BUILDING FACE = 11.2m²
 DISTANCE 3.0m = 55% ALLOWED, 22% PROPOSED
 COMBUSTIBLE CONSTRUCTION
 COMBUSTIBLE CLADDING

NOTES IN REFERENCE to AUGUST 2024 MINOR VARIANCE :
 THE EXISTING BUILDING IS A DUPLEX AS COMPLETED IN 2016.

THE CURRENT PROPOSAL IS TO MODIFY THE INTERIOR IN ORDER
 TO SEGREGATE the BASEMENT AREA INTO A SEPARATE
 APARTMENT - CREATING A 3-UNIT BUILDING.

NO ADDITIONS OR MODIFICATIONS ARE REQUIRED or PROPOSED
 AS PART OF THE CONVERSION TO 3-UNITS.

THE SIZE, LOCATION and FEATURES OF THE BUILDING AS
 SHOWN ON THIS ELEVATION DRAWING WILL REMAIN AS-IS

STAMP:



REVISIONS:

No.	DESCRIPTION	DATE
04	RE-ISSUED FOR BUILDING PERMIT	2016/03/16
03	ISSUED FOR BUILDING PERMIT	2016/02/19
02	ISSUED FOR PERMIT REVIEW	2016/02/05
01	ISSUED FOR COORDINATION	2016/01/04

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 ALL DIMENSIONS TO BE CHECKED AND VERIFIED

North:

PROJECT:
55 GORDON ST. DEVELOPMENT

55 GORDON ST. OTTAWA, ONTARIO

DRAWING:
SOUTH ELEVATION

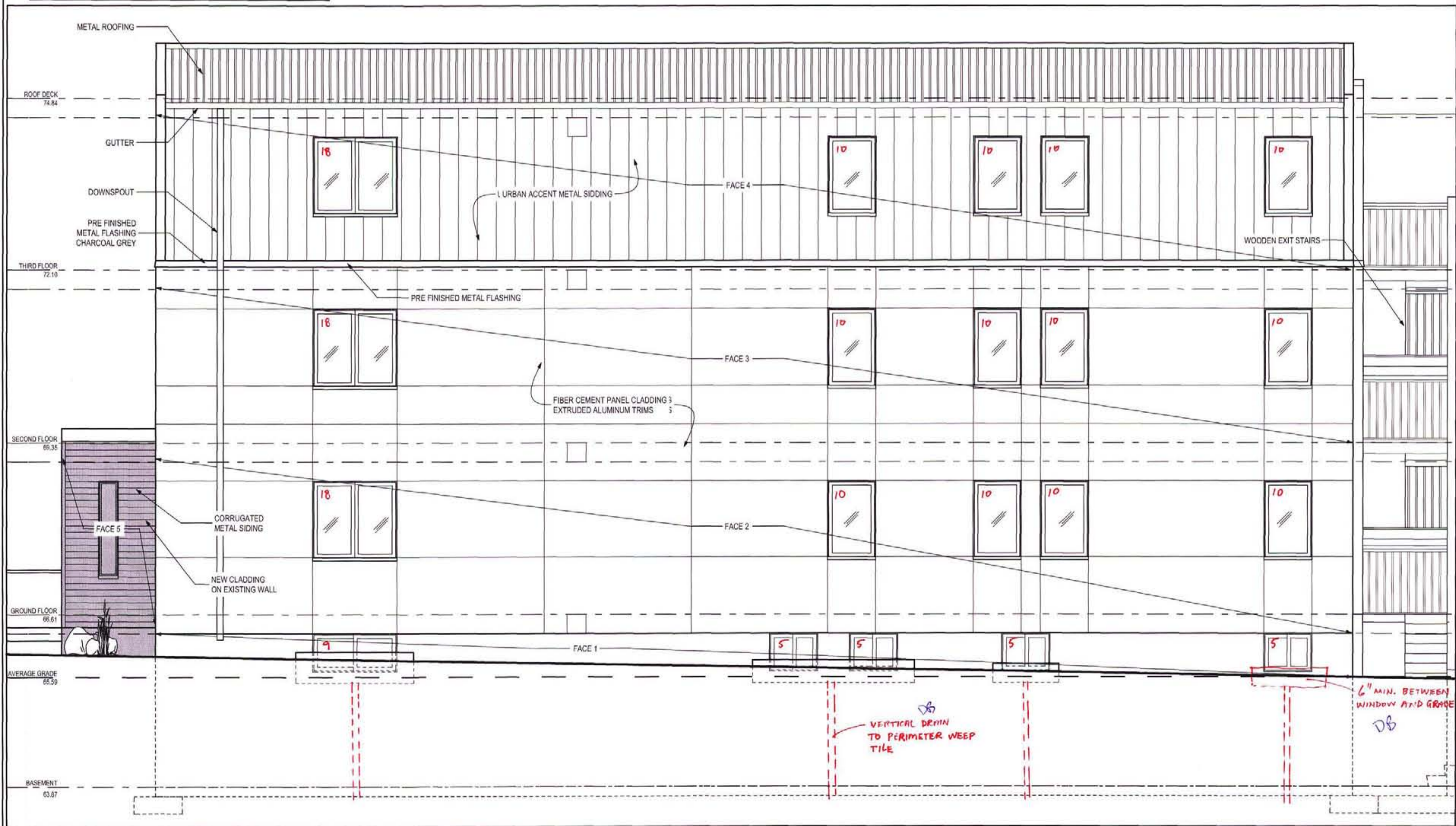
APPROVED BY:
 RM

DESIGNED BY:
 DB / NB

DRAWN BY:
 NB

DATE: 2016/01/04 SCALE: AS SHOWN

RMA PROJECT NUMBER: 15212 SHEET NUMBER: A-3.1



1 SOUTH ELEVATION
 A-3.1 SCALE = 1/4"=1'-0"

NOTES IN REFERENCE to AUGUST 2024 MINOR VARIANCE :
 THE EXISTING BUILDING IS A DUPLEX AS COMPLETED IN 2016.

THE CURRENT PROPOSAL IS TO MODIFY THE INTERIOR IN ORDER
 TO SEGREGATE the BASEMENT AREA INTO A SEPARATE
 APARTMENT - CREATING A 3-UNIT BUILDING.

NO ADDITIONS OR MODIFICATIONS ARE REQUIRED or PROPOSED
 AS PART OF THE CONVERSION TO 3-UNITS.

THE SIZE, LOCATION and FEATURES OF THE BUILDING AS
 SHOWN ON THIS ELEVATION DRAWING WILL REMAIN AS-IS

NORTH ELEVATION UNPROTECTED OPENINGS EXPOSED BUILDING FACE 3, 4 & 5:
 TOTAL AREA OF BUILDING FACE = 31m²
 DISTANCE LESS THAN 1.2m = 0% ALLOWED, 0% PROPOSED
 NON COMBUSTIBLE CONSTRUCTION
 NONCOMBUSTIBLE CLADDING

NORTH ELEVATION UNPROTECTED OPENINGS EXPOSED BUILDING FACE 2:
 TOTAL AREA OF BUILDING FACE = 48m²
 DISTANCE LESS THAN 1.2m = 0% ALLOWED, 0% PROPOSED
 NON COMBUSTIBLE CONSTRUCTION
 NONCOMBUSTIBLE CLADDING

NORTH ELEVATION UNPROTECTED OPENINGS EXPOSED BUILDING FACE 1:
 TOTAL AREA OF BUILDING FACE = 8m²
 DISTANCE LESS THAN 1.2m = 0% ALLOWED, 0% PROPOSED
 NON COMBUSTIBLE CONSTRUCTION
 NONCOMBUSTIBLE CLADDING

STAMP:



REVISIONS:

No.	DESCRIPTION	DATE
04	RE-ISSUED FOR BUILDING PERMIT	2016/03/16
03	ISSUED FOR BUILDING PERMIT	2016/02/19
02	ISSUED FOR PERMIT REVIEW	2016/02/05
01	ISSUED FOR COORDINATION	2016/01/04

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 ALL DIMENSIONS TO BE CHECKED AND VERIFIED

North:

PROJECT:

55 GORDON ST. DEVELOPMENT

55 GORDON ST. OTTAWA, ONTARIO

DRAWING:

NORTH ELEVATION

APPROVED BY:

RM

DESIGNED BY:

DB / NB

DRAWN BY:

NB

DATE:

2016/01/04

SCALE:

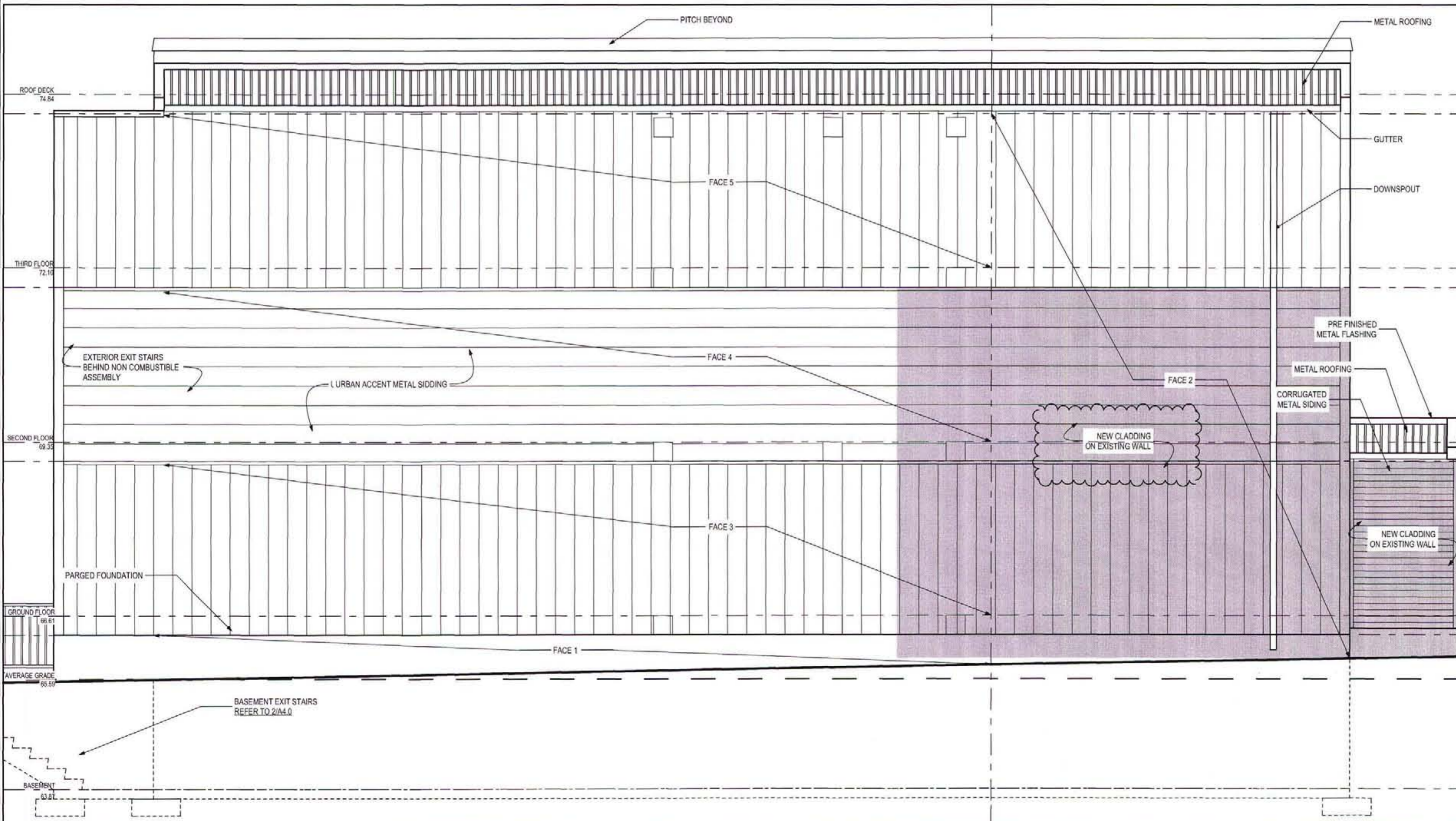
AS SHOWN

RMA PROJECT NUMBER

15212

SHEET NUMBER:

A-3.2



1 NORTH ELEVATION
 A-3.2 SCALE = 1/4"=1'-0"

NOTICE OF HEARING

Pursuant to the Ontario *Planning Act*

Consent Application

Panel 1

Wednesday, September 18, 2024

1 p.m.

Ben Franklin Place, Main Floor Chamber, 101 Centrepointe Drive
and by videoconference

Owners of neighbouring properties within 60 metres of the property address below are receiving this notice in case they want to comment on the application(s) and/or participate at the hearing.

The hearing can also be viewed on the Committee of Adjustment [YouTube](#) page.

Simultaneous interpretation in both official languages, accessible formats and communication supports are available for any specific agenda item by contacting the Committee of Adjustment at least 72 hours before the hearing.

File No.: D08-01-24/B-00162
Application: Consent under section 53 of the *Planning Act*
Applicant: 14766067 Canada Inc
Property Address: 461 Tweedsmuir Ave
Ward: 15 - Kitchissippi
Legal Description: Part of Lot 16, Registered Plan 272
Zoning: R2G
Zoning By-law: 2008-250

APPLICANT'S PROPOSAL / PURPOSE OF THE APPLICATION:

The Applicant wants to subdivide their property into two separate parcels of land to establish separate ownership for each half of a proposed semi-detached dwelling, currently under construction. Each dwelling contains two additional dwelling units.

CONSENT IS REQUIRED FOR THE FOLLOWING:

The Applicant requires the Committee's consent to sever the land. The property is shown as Parts 1 and 2 on a draft 4r-plan filed with the application and the separate parcels will be as follows:

The severed land is shown as Part 1 on the draft 4R-plan filed with the application, will have a frontage of 7.60 metres, a depth of 34.81 metres, and a lot area of 266.3 square metres. This parcel will contain one half of the existing semi-detached dwelling with 2 additional units. It will be known municipally as 459 Tweedsmuir Ave.

The retained land is shown as Part 2 on the draft 4R-plan filed with the application, has a frontage of 7.60 metres, a depth of 34.71 metres, and a lot area of 265.6 square metres. This parcel will contain one half of the existing semi-detached dwelling with 2 additional units. It will be known municipally as 461 Tweedsmuir Ave.

The property is not subject the subject of any other current applications under the *Planning Act*.

FIND OUT MORE ABOUT THE APPLICATION

For more information about this matter, contact the Committee of Adjustment at the address, email address, website or QR code below.

Visit **[Ottawa.ca/CommitteeofAdjustment](https://ottawa.ca/CommitteeofAdjustment)** and follow the link to **Next hearings** to view panel agendas and application documents, including **proposal cover letters, plans, tree information, hearing notices, circulation maps, and City planning reports**. Written decisions are also published once issued and translated.

If you don't participate in the hearing, you won't receive any further notification of the proceedings.

If you want to be notified of the decision following the hearing, and of any subsequent appeal to the Ontario Land Tribunal, send a written request to the Committee.

HOW TO PARTICIPATE

Submit written or oral comments before the hearing: Email your comments to cofa@ottawa.ca at least 24 hours before the hearing to ensure they are received by the panel adjudicators. You may also call the Coordinator at 613-580-2436 to have your comments transcribed.

Register to Speak at the hearing at least 24 hours before by contacting the Committee Coordinator at 613-580-2436 or at cofa@ottawa.ca. You will receive details on how to participate by videoconference. If you want to share a visual presentation, the Coordinator can provide details on how to do so. Presentations are limited to five minutes, and any exceptions are at the discretion of the Chair.

Hearings are governed by the Committee of Adjustment's *Rules of Practice and Procedure* accessible online.

ALL SUBMITTED INFORMATION BECOMES PUBLIC

Be aware that, in accordance with the *Planning Act*, the *Municipal Act* and the *Municipal Freedom of Information and Privacy Act*, all information presented to the Committee of Adjustment is considered public information and can be shared with any interested individual. Information you choose to disclose in your correspondence and during the hearing, including your personal information, will become part of the public record, and shared with Committee Members, the Applicant(s) or their agent and any other interested individual, and potentially posted online and become searchable on the Internet.

COMMITTEE OF ADJUSTMENT

The Committee of Adjustment is the City of Ottawa's quasi-judicial tribunal created under the Ontario *Planning Act*. Each year, it holds hearings on hundreds of applications under the *Planning Act* in accordance with the Ontario *Statutory Powers Procedure Act*, including consent to sever land and minor variances from the zoning requirements.

DATED: August 30, 2024



Ce document est également offert en français.

Committee of Adjustment
City of Ottawa
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cofa@ottawa.ca
613-580-2436



Comité de dérogation
Ville d'Ottawa
101, promenade Centrepointe
Ottawa ON K2G 5K7
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613-580-2436

AVIS D'AUDIENCE

Conformément à la *Loi sur l'aménagement du territoire* de l'Ontario

Demande d'autorisation

Groupe 1

Mercredi 18 septembre 2024

9 h

Place-Ben-Franklin, salle Chamber, 101, promenade Centrepointe
et par vidéoconférence

Les propriétaires des biens-fonds situés dans un rayon de 60 mètres de l'adresse ci-dessous reçoivent le présent avis afin de formuler des observations sur la ou les demandes et de participer à l'audience s'ils le souhaitent.

L'audience peut aussi être visionnée sur la page [YouTube](#) du Comité de dérogation.

Les participants peuvent bénéficier de l'interprétation simultanée dans les deux langues officielles, de formats accessibles et d'aides à la communication pour toute question de l'ordre du jour en s'adressant au Comité de dérogation au moins 72 heures à l'avance.

Dossier : D08-01-24/B-00162
Demande : Autorisation en vertu de l'article 53 de la *Loi sur l'aménagement du territoire*
Requérante : 14766067 Canada Inc
Adresse municipale : 461, avenue Tweedsmuir
Quartier : 15 - Kitchissippi
Description officielle : Partie du lot 16, plan enregistré 272
Zonage : R2G
Règlement de zonage : n° 2008-250

PROPOSITION DE LA REQUÉRANTE ET OBJET DE LA DEMANDE :

La requérante souhaite lotir sa propriété en deux parcelles distinctes en vue d'établir des titres de propriété distincts pour chaque moitié de la maison jumelée proposée, en cours de construction. Chaque unité d'habitation comprend deux logements supplémentaires.

AUTORISATION REQUISE :

La requérante nécessite l'autorisation du Comité pour morceler le bien-fonds. La propriété est représentée par les parties 1 et 2 sur le plan 4 R préliminaire joint à la demande. Les parcelles distinctes sont décrites ci-après :

Le terrain morcelé est représenté par la partie 1 sur le plan 4R préliminaire déposé avec la demande. Il aura une façade de 7,60 mètres, une profondeur de 34,81 mètres et une superficie de 266,3 mètres carrés. Cette parcelle comprendra une moitié de la maison jumelée et deux logements supplémentaires. Son adresse municipale sera le 459, avenue Tweedsmuir.

Le terrain conservé est représenté par la partie 2 sur le plan 4R préliminaire déposé avec la demande. Il a une façade de 7,60 mètres, une profondeur de 34,71 mètres et une superficie de 265,6 mètres carrés. Cette parcelle comprendra une moitié de la maison jumelée et deux logements supplémentaires. Son adresse municipale sera le 461, avenue Tweedsmuir.

La propriété ne fait l'objet d'aucune autre demande en cours en vertu de la *Loi sur l'aménagement du territoire*.

POUR EN SAVOIR PLUS SUR LA DEMANDE

Pour obtenir plus de renseignements à ce sujet, communiquez avec le Comité de dérogation via l'adresse, le courriel, le site Web ou le code QR ci-dessous.

Visitez le site **Ottawa.ca/Comité de dérogation** et suivez le lien **Prochaines audiences** pour consulter l'ordre du jour du Comité et les documents relatifs aux demandes, y compris **les lettres d'accompagnement des propositions, les plans, l'information sur les arbres, les avis d'audience, les cartes de diffusion et les rapports d'urbanisme de la Ville**. Les décisions écrites sont également publiées une fois rendues et traduites.

Si vous ne participez pas à l'audience, vous ne recevrez pas d'autre avis à ce sujet.

Si vous souhaitez recevoir un avis de la décision prise à l'issue de l'audience et de tout appel ultérieur interjeté devant le Tribunal ontarien de l'aménagement du territoire, faites-en la demande par écrit au Comité.

COMMENT PARTICIPER

Présentez vos observations écrites ou orales avant l'audience : Veuillez faire parvenir vos observations par courriel à cded@ottawa.ca au moins 24 heures avant l'audience afin de vous assurer que les membres des groupes chargés du rendu des décisions les ont bien reçues. Vous pouvez également téléphoner au coordonnateur ou à la coordonnatrice au numéro 613-580-2436 pour demander que vos observations soient transcrites.

Inscrivez-vous au moins 24 heures à l'avance en communiquant avec le coordonnateur ou la coordonnatrice du Comité au numéro 613-580-2436 ou à l'adresse à cded@ottawa.ca. Vous recevrez des détails sur la façon de participer par vidéoconférence. Si vous souhaitez faire une présentation visuelle, le coordonnateur ou la coordonnatrice sera en mesure de vous fournir des détails sur la façon de procéder. Les présentations sont limitées à cinq minutes et toute exception est laissée à la discrétion du président ou de la présidente.

Les audiences sont régies par les *Règles de pratique et de procédure* du Comité de dérogation et sont accessibles en ligne.

TOUS LES RENSEIGNEMENTS PRÉSENTÉS DEVIENNENT PUBLICS

Sachez que, conformément à la *Loi sur l'aménagement du territoire*, à la *Loi sur les municipalités* et à la *Loi sur l'accès à l'information municipale et la protection de la vie privée*, les observations écrites adressées au Comité de dérogation sont considérées comme des renseignements publics et peuvent être communiquées à toute personne intéressée. Les renseignements que vous choisissez de divulguer dans votre correspondance, notamment vos renseignements personnels, seront versés au dossier public et communiqués aux membres du Comité, au(x) requérant(s) ou à l'agent, l'agente, ainsi qu'à toute autre personne intéressée et pourront éventuellement être affichés en ligne et faire l'objet d'une recherche sur Internet.

COMITÉ DE DÉROGATION

Le Comité de dérogation est le tribunal quasi judiciaire de la Ville d'Ottawa créé en vertu de la *Loi sur l'aménagement du territoire* de l'Ontario. Chaque année, il tient des audiences sur des centaines de demandes en vertu de la *Loi sur l'aménagement du territoire*, conformément à la *Loi sur l'exercice des compétences légales* de l'Ontario, y compris des demandes d'autorisation de morcellement de terrain et de dérogation mineure aux exigences en matière de zonage.

FAIT : 30 août 2024



This document is also available in English.

Committee of Adjustment
 City of Ottawa
 101 Centrepointe Drive
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cded@ottawa.ca
 613-580-2436

This document is presented in the language it was provided.
Ce document est présenté dans la langue dans laquelle il a été fourni.

P. H. Robinson Consulting
Urban Planning, Consulting, and Project Management 2024 - 08 -20

Committee of Adjustment
Received | Reçu le

City of Ottawa | Ville d'Ottawa
August 21, 2024
Comité de dérogation

City of Ottawa Committee of Adjustment
101 Centrepoin Drive, 4th Floor
Ottawa, ON K2G 5K7

Attn: Mr. Michel Bellemare
Secretary Treasurer

Re: 459 & 461 Tweedsmuir Ave. (Consent application) - Ward 15
14766067 Canada Inc
Lot 16
Registered Plan 272, City of Ottawa

On behalf of the owners of the property at 461 Tweedsmuir, we are submitting the enclosed Consent application. The property is zoned R2G in the City of Ottawa Zoning By-Law and is designated as a Neighbourhood in the Inner Urban transect as per the Official Plan.

The subject property is the site of a pair of semi detached dwellings (Building permit issued on March 11th, 2024) which are nearing the completion of their construction (see photo on the following page). The intent of this application is to create two lots for a pair of semi-detached dwellings with two ADUs in each. Each new dwelling will be accessible via a single lane driveway to an interior yard parking space with a 1.32m building cantilever. ADU entrances for the units will be located on the front facade visible and accessible from the street.



Image of the **subject property**.

100 Palomino Drive, Ottawa, Ontario K2M 1N3
Phone: 613 599 9216
Email: probinson@probinsonconsulting.com

P. H. Robinson Consulting
Urban Planning, Consulting, and Project Management



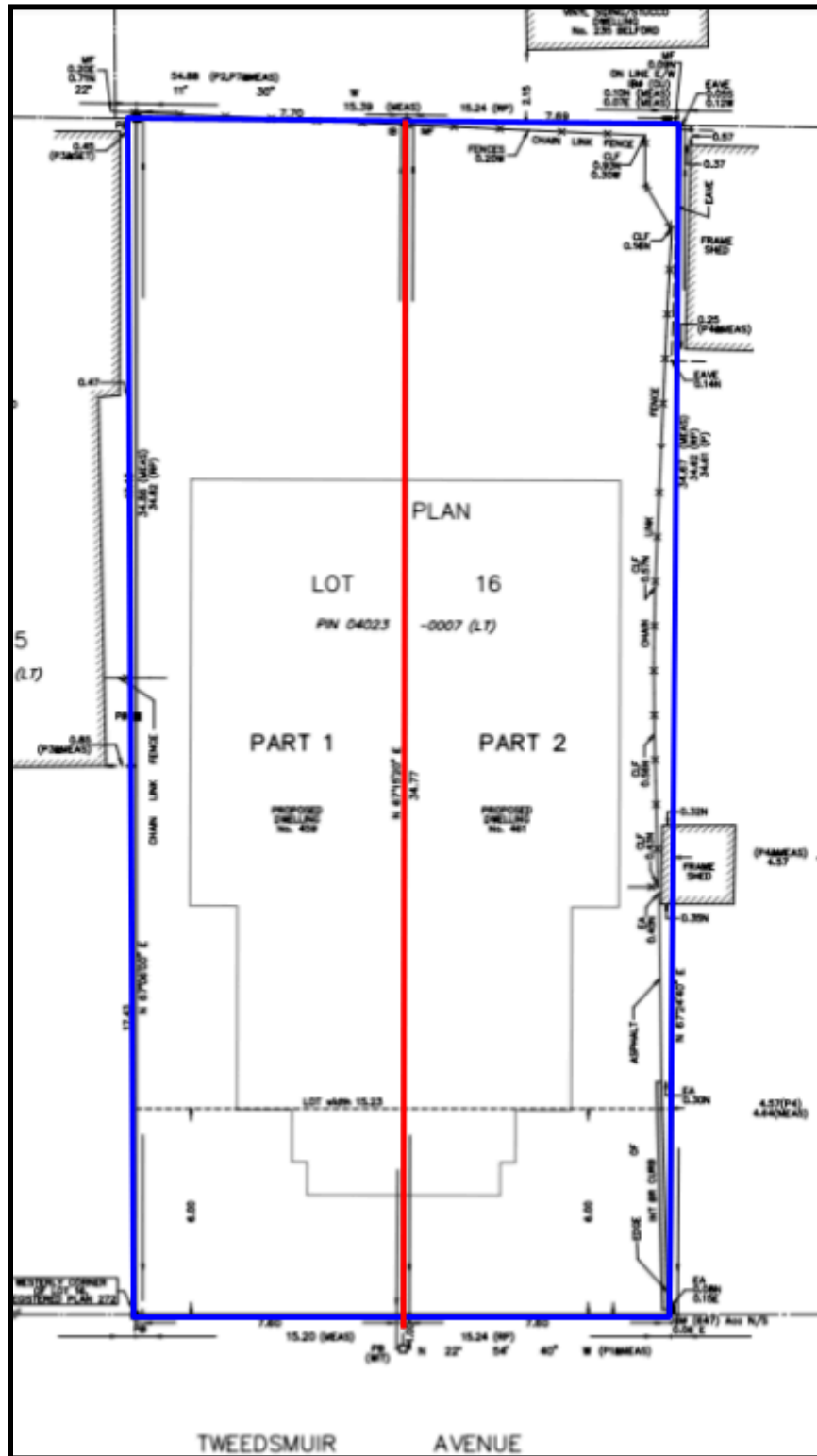
August 2024 site photo looking northeast showing the approximate locations of the lot lines.



August 2024 site photo looking southeast showing the approximate locations of the lot lines.

100 Palomino Drive, Ottawa, Ontario K2M 1N3
Phone: 613 599 9216
Email: probinson@probinsonconsulting.com

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Draft 4R plan showing the **site boundary** and the **proposed severance line**.

100 Palomino Drive, Ottawa, Ontario K2M 1N3
Phone: 613 599 9216
Email: probinson@probinsonconsulting.com

P. H. Robinson Consulting
Urban Planning, Consulting, and Project Management

Section 53 (1) of the Planning Act indicates that ‘ an owner, chargee or purchaser of land, or such owner’s, chargee’s or purchaser’s agent duly authorised in writing, may apply for a consent as defined in subsection 50 (1) and the council or the Minister, as the case may be, may, subject to this section, give a consent if satisfied that a plan of subdivision of the land is not necessary for the proper and orderly development of the municipality. 2021, c. 25, Sched. 24, s. 4 (1).

Section 51 (24) of the Planning Act states that in considering the draft of a subdivision, the following factors will be considered:

(a) the effect of development of the proposed subdivision on matters of provincial interest as referred to in section 2; i.e the adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems (f), the orderly development of safe and healthy communities (h), the appropriate location of growth and development (p), the promotion of development that is designed to be sustainable, to support public transit and to be oriented to pedestrians.

Provincial interests are maintained in this proposal as described in the Planning Act. The created lot and the retained lot will each have adequate provisions for sewage, water, and waste management systems as shown in the site plan submitted as part of the building permit application.

The application will also contribute to the orderly development of a safe and healthy community. The resulting lots will be compliant with zoning requirements and will follow the development precedent set by 503-505 Tweedsmuir, 442-444 Tweedsmuir, and 431-437 Tweedsmuir.

This is an appropriate location for growth because it is within a Neighbourhood designation in the Inner Urban transect as identified in the Official Plan. It is also in close proximity to main through streets such as Clare St., Churchill Ave., Richmond Rd. and Byron Ave. Various bus routes are available along these main through streets. For example, Clare St is serviced by lines 51 (Britannia / Tunney’s Pasture which runs from 7am to 11:30pm every 15-30 minutes) and 81 (Clyde / Tunney’s Pasture which runs from 6am to 9pm every 30 minutes). Churchill Ave is serviced by lines 50 (Tunney’s Pasture / Lincoln Fields which runs from 6am to 8pm every 30 minutes except Sundays) and 51. And Richmond Rd is serviced by lines 11 (Bayshore / Parliament which runs from 5am to 1am every 15-30 minutes), 81, 51, and 153 (Lincoln Fields / Tunney’s Pasture which runs from 9am to 7pm every 40-120 minutes).

Lastly, the compact nature of this development is sustainable as we are proposing to replace a single dwelling unit with a pair of semi-detached dwellings with two ADUs in each. This will result in six units accessed at grade.

(b) whether the proposed subdivision is premature or in the public interest;

The proposed development aligns with recent developments on Tweedsmuir and the existing road network supports frequent local traffic. Therefore, the proposed subdivision of the lands into 2 parcels through a severance application is not premature and is in the public interest.

(c) whether the plan conforms to the official plan and adjacent plans of subdivision, if any;

There are no adjacent plans of subdivision in this area. This proposal is within the Inner Urban transect designated as a Neighbourhood.

2.2.1 Intensification and Diversifying Housing options

Policy 1 - Direct residential growth within the built-up urban area to support an evolution towards 15-minute neighbourhoods.

Richmond Rd and Scott St are identified as Mainstreet Corridors in the Inner Urban transect and are approximately 300m and 630m from the subject property, respectively. The corridors provide a variety of amenities for daily and weekly needs such as pharmacies, clinics, grocery stores, banks, cafes and restaurants. Both mainstreets are serviced by a variety of bus routes. For example, line 11 (Bayshore / Parliament), 50 (Tunney's Pasture / Lincoln Fields), 81 (Tunney's Pasture / Clyde), and 153 (Tunney's Pasture / Lincoln Fields), and the Westboro bus station which is serviced by many more express and regular bus routes.

Churchill Ave N and Kirkwood Ave are Minor Corridors as indicated on Schedule B2 of the Official Plan and approximately 460m and 400m, respectively, from the subject site. These corridors are north-south corridors that connect Richmond Rd and Carling Ave. Carling Ave is also a Main Street Corridor that boasts an impressive variety of amenities but also acts as a transit corridor that features multiple bus stops and future O-Train stations. By replacing one primary dwelling unit with two primary dwellings and four ADUs, we are proposing to intensify a well-connected site which will support the evolution towards a 15-minute neighbourhood.

4.2.1 Enable greater flexibility and an adequate supply and diversity of housing options throughout the city

1) A diverse range of flexible and context-sensitive housing options in all areas of the city shall be provided through the Zoning By-law, by: a) Primarily regulating the density, built form, height, massing and design of residential development, rather than regulating through restrictions on building typology; b) Promoting diversity in unit sizes, densities and tenure options within neighbourhoods including diversity in bedroom count availability;

The design of this development is based on the context of the streetscape. There are examples of dwellings on Tweedsmuir Ave with similar density, built form, height, and massing as the proposed development. The existing dwelling is a detached dwelling and was intended for families. The replacement units, while on smaller lots, are also designed with families in mind with two and three bedroom units proposed. There is adequate soft landscaping in the front yard, and a suitable rear yard amenity area for each proposed dwelling.

2) The City shall support the production of a missing middle housing range of mid-density, low-rise multi-unit housing, in order to support the evolution of healthy walkable 15-minute neighbourhoods by: a) Allowing housing forms which are denser, small-scale, of generally three or more units per lot in appropriate locations, with lot configurations that depart from the traditional lot division and put the emphasis on the built form and the public realm, as-of-right within the Zoning By-law;

This proposal contains a total of two primary units where previously only one primary unit existed. The development is categorised as low-rise due to the proposed building height of 8m.

4.6.5 Ensure effective site planning that supports the objectives of Corridors, Hubs, Neighbourhoods and the character of our villages and rural landscapes

(3) Development shall minimise conflict between vehicles and pedestrians and improve the attractiveness of the public realm by internalising all servicing, loading areas, mechanical equipment and utilities into the design of the building, and by accommodating space on the site for trees, where possible. Shared service areas, and accesses should be used to limit interruptions along sidewalks. Where underground parking is not viable, surface parking must be visually screened from the public realm.

The proposed development will have vehicular access off of Tweedsmuir which will lead to single lane driveways and one parking space per semi. This ensures that private vehicular street parking will be limited.

5.2.2 Prioritise walking, cycling and transit within, and to and from, the Inner Urban transect

2) The transportation network for the Inner Urban Transect shall: a) Prioritise walking cycling and transit; b) Accommodate motor vehicle access and movement provided doing so does not erode the public realm nor undermine the priority of pedestrians, cyclists and transit users.

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The provided parking does not undermine the public realm and will not undermine the priority of pedestrians, cyclists, and public transit users. Proximity to amenities on Richmond Rd and Carling Ave, which are easily accessible via Churchill Ave N, encourage walking, cycling, and public transit use.

3) Motor vehicle parking in the Inner Urban Transect shall be managed as follows: d) Where new development is proposed to include parking as an accessory use, such parking: i) Shall be hidden from view of the public realm by being located behind or within the principal building, or underground; ii) Shall be accessed by driveways that minimise the impact on the public realm and on both City Owned trees and privately-owned distinctive trees.

Parking will be accessed by one single lane driveway per semi. The proposal of driveways required the removal of one private-owned tree on the subject property. The health of this tree was identified as poor in the preliminary TIR and its priority for retention was marked "low".

The Official Plan's general direction for new development includes directing residential development to the built-up urban area where municipal servicing is available, and supporting the 15-minute neighbourhood. Many of the policies in Section 5.2 - Inner Urban Transect and 6.3 - Neighbourhoods are also oriented towards enhancing the urban space and supporting 15-minute neighbourhoods.

The proposed development is in an area that is accessible via personal or public transit and is within 300 m - 600 m of daily amenities. The amenities include walking and cycling trails, grocery stores, retail stores, gas stations, the cultural centres, restaurants, and schools. As discussed above, public transit is available on Clare St., Churchill Ave., and Richmond Rd.

(d) the suitability of the land for the purposes for which it is to be subdivided;

The severance will allow for the construction of a pair of semis with two ADUs per side which are listed as permitted uses in the R2G zone. The resulting dwellings will be compatible with the fabric of the neighbourhood which is a mix of detached and semi-detached dwellings with a mix of old and new construction.

(f) the dimensions and shapes of the proposed lots;

The proposed lots are compliant in terms of lot width and lot area. The resulting parcels are a sufficient size to accommodate three residential units, one parking space, a driveway, the minimum required soft landscaping, and minimum setbacks.

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(i) the adequacy of utilities and municipal services;

The existing dwelling has connections to municipal water, sanitary, and storm systems therefore adequate services will be available for the new units. The property is nearing completion of construction and has been reviewed by the City Infrastructure services as part of the building permit process for municipal servicing.

(j) the adequacy of school sites;

Schools in the area include: Westboro Montessori School (375 m), Churchill Alternative School (420 m),

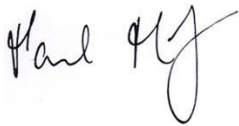
At this time we are submitting the following in support of the application:

- Completed application form for the consent application,
- Property owner's authorization for submission of the application
- Land Registry Office Transfer documents showing ownership
- Application fees
- Draft 4R Plan indicating the severance line along the party wall.
- Tree Information Report
- Lawyer's letter requesting a retained land certificate and confirming there are no ownership issues that would contravene section 50 of the Planning Act

When the notification signs are ready for this application could you please email the undersigned and I will arrange for their installation on the property.

Should you have any questions or require anything further, please do not hesitate to contact the undersigned at (613) 599 9216 or via email at probinson@probinsonconsulting.com

P H Robinson Consulting



Paul Robinson RPP

DRAFT

SCHEDULE				
PART	LOT	REG. PLAN	PIN	AREA [m ²]
1	ALL OF 16	272	ALL OF PIN 04023-0007 (LT)	266.3
2				265.6

Committee of Adjustment
Received | Reçu le
2024 - 08 - 20
City of Ottawa | Ville d'Ottawa
Comité de dérogation

PLAN OF SURVEY OF
LOT 16
REGISTERED PLAN 272
CITY OF OTTAWA

SCALE 1 : 100
0 5 metres

THE INTENDED PLOT SIZE OF THIS PLAN IS 915mm IN WIDTH BY 609mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:100

J.D. BARNES LIMITED
METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES
BEARINGS ARE MTM GRID, AND DERIVED FROM GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) BY REAL TIME NETWORK (RTN) OBSERVATIONS, MTM ZONE 9, NAD 83, (CSRS) (2010).
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999937.

INTEGRATION DATA			
OBSERVED REFERENCE POINTS (ORP's): MTM ZONE 9, NAD83 (CSRS) (2010.0).			
COORDINATES TO URBAN ACCURACY PER SECTION 14 (2) OF O.REG 216/10.			
POINT ID	EASTING	NORTHING	
ORP (A)	363 692.65	5 028 187.31	
2016-0328	368 493.90	5 026 699.86	
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.			

- LEGEND**
- ▲ DENOTES CONTROL MONUMENT
 - DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT SET
 - SIB DENOTES STANDARD IRON BAR
 - IB# DENOTES ROUND IRON BAR
 - IB DENOTES IRON BAR
 - PB DENOTES PLASTIC BAR
 - MEAS DENOTES MEASURED
 - OU DENOTES ORIGIN UNKNOWN
 - WT DENOTES WITNESS
 - Acc DENOTES ACCEPTED
 - RP DENOTES REGISTERED PLAN 272
 - P DENOTES SURVEYOR'S REAL PROPERTY REPORT BY FAIRHALL, MOFFATT & WOODLAND LIMITED, DATED APRIL 15, 2014
 - P1 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY J.G. PAYETTE LTD., DATED MAY 26, 1992
 - P2 DENOTES BUILDING LOCATION SURVEY BY E.F. LYN COLE SURVEYING LTD., DATED SEPTEMBER 7, 1989
 - P3 DENOTES BUILDING LOCATION SURVEY BY FAIRHALL & MOFFATT LIMITED, DATED AUGUST 5, 1981
 - P4 DENOTES BUILDING LOCATION SURVEY BY FARLEY & MARTIN LTD., DATED APRIL 2, 1980
 - P5 DENOTES BUILDING LOCATION SURVEY BY FARLEY & MARTIN LTD., DATED JUNE 18, 1980
 - P6 DENOTES BUILDING LOCATION SURVEY BY R.W. ARNETT, O.L.S., DATED NOVEMBER 16, 1978
 - P7 DENOTES PLAN 4R-30191
 - BR DENOTES BRICK
 - INT DENOTES INTERLOCK
 - EA DENOTES EDGE OF ASPHALT
 - CLF DENOTES CHAIN LINK FENCE
 - 647 DENOTES H.R. FARLEY, O.L.S.
 - MF DENOTES METAL FENCE
 - 857 DENOTES FAIRHALL, MOFFATT & WOODLAND LIMITED
 - DENOTES PROPERTY LINE
- N=NORTH / S=SOUTH / E=EAST / W=WEST
ALL FOUND SURVEY MONUMENTS ARE JDB UNLESS OTHERWISE NOTED.

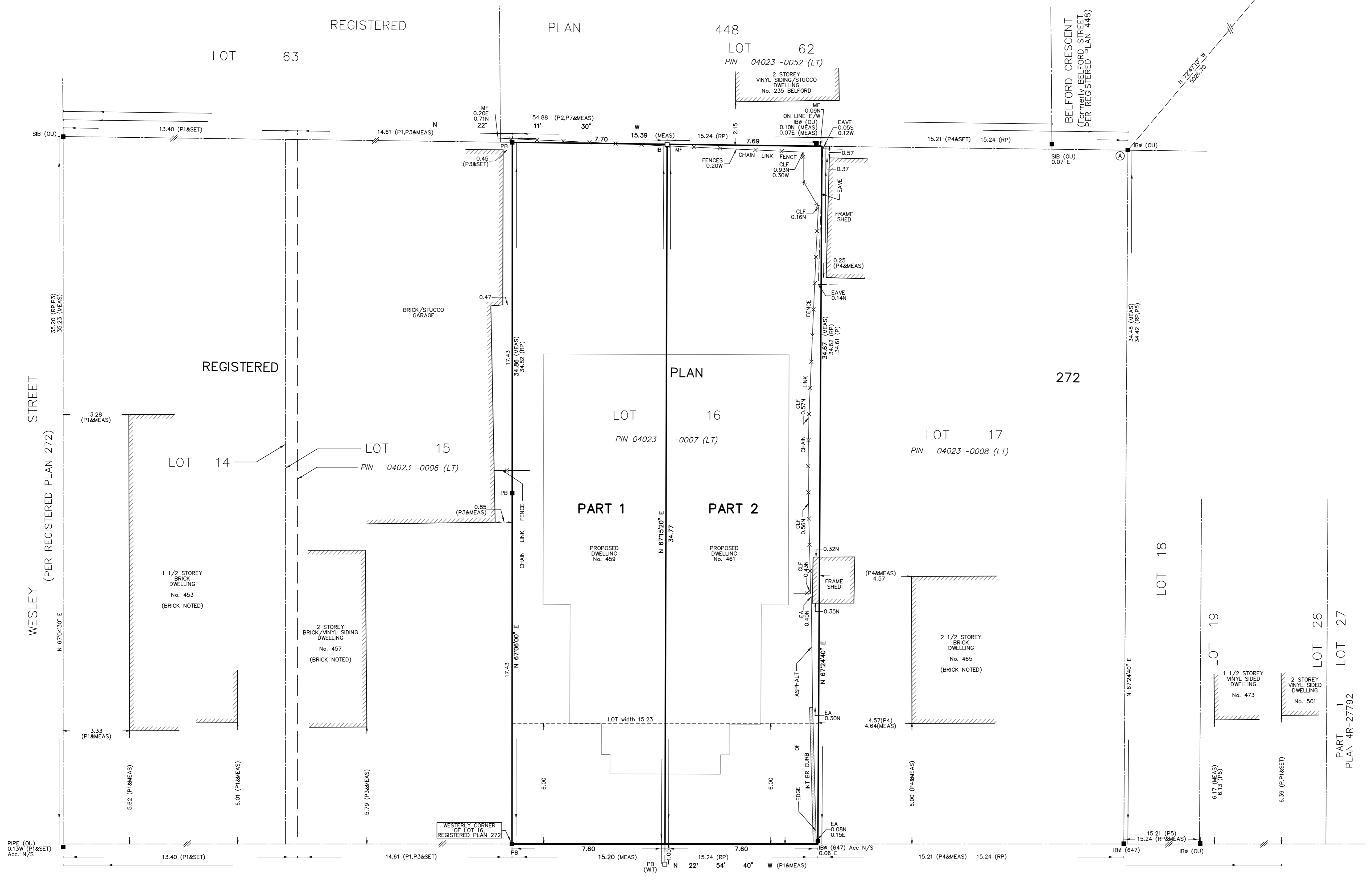
SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON SEPTEMBER 20, 2023.

DATE _____ GEORGE ZERVOS
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER XXXXXXX

J.D. BARNES SURVEYING MAPPING GIS
LIMITED
LAND INFORMATION SPECIALISTS
62 STACIE DRIVE, SUITE 103, OTTAWA, ON K2K 2A9
T: (613) 731-7244 F: (613) 731-8955 www.jdbarnes.com

DRAWN BY: KZ	CHECKED BY: GZ	REFERENCE NO.: 21-10-034-00
FILE: G:\21-10-034\00\Drawing\PLAN_211003400RPLAN.dgn		DATED: 09/14/2023
PLOTTED: 8/2/2024		



TWEEDSMUIR AVENUE
(Formerly STRATHCONA AVENUE PER REGISTERED PLAN 272)
PIN 04023 - 0205 (LT)