



ADDRESS: 271 QUEEN MARY STREET, OTTAWA, ON, K2G 2E2

LEGAL DESCRIPTION: LOTS 890, 891, 892, 893 REGISTERED PLAN 375 PIN: 04689-0071 WARD 8, COLLEGE

ZONING: RAUC ZONING BY-LAW 2008-250/2020-289 & INFILL PROVISIONS 2020-288

	ZONING	UNIT A	UNIT B	UNIT C
TOWNHOMES		PROPOSED	PROPOSED	PROPOSED
MIN. LOT WIDTH	4.5m	5.05m	5.11m	5.08m
MIN. LOT AREA	135m ²	129m ²	132m ²	131m ²
MAX. BUILDING HEIGHT	11m	10.95m	10.95m	10.95m
MIN. FRONT YARD SETBACK	4.5m	4.55m	4.55m	4.55m
REAR YARD SETBACK	30% (7.76m)	31.47% (8.15m)	31.47% (8.15m)	31.47% (8.15m)
MIN. REAR YARD AREA	25% lot area	31.89% (41.15m ²)	31.54% (41.64m ²)	31.60% (41.40m ²)
MIN. INTERIOR YARD SETBACK	1.2m	0.6m	-	0.6m

ENDNOTES:

(4) Where located within Schedule 342, see Part V, Section 144 - Alternative Yard Setbacks for Low-rise Residential Uses in the Greenbelt for the minimum required rear yard setback.

TABLE 1568

Where located outside Area A on Schedule 342, the minimum rear yard setback is 25% of the lot depth which must comprise at least 25% of the area of the lot, however it need not exceed 7.5 m. Notwithstanding the foregoing, where the rear lot line abuts the interior side lot line of an abutting lot, the minimum required rear yard setback is equal to the minimum required interior side yard setback of the abutting lot along each point of the shared lot line. On lots with depths of 15 m or less, the minimum rear yard setback is 4 m. (By-law 2020-288)

(10) Where the building has a peaked roof having a slope of 1 in 3 (4/12 pitch) or steeper, the maximum building height is 11 m.

Where the property is located outside of Area A on Schedule 342, the maximum building height is 11 m.

Section 144

Rear Yards on Interior or through lots

(3) Where a lot's rear lot line abuts either an R1, R2, R3 or R4 zone, or abuts a lane that abuts an R1, R2, R3, or R4 zone on either side, except in the case of a Planned Unit Development:

(a) the rear yard must comprise at least 25 percent of the lot area; and the minimum rear yard setback is pursuant to Table 144A or 144B below.

(i) where the minimum front yard is 4.5 m or less, the minimum rear yard depth is determined by Table 144A

Lot Depth | greater than 25 metres
 Minimum Rear Yard | 30% of the lot depth

MINOR VARIANCES REQUESTED:

UNIT A (PARTS 1-2):

a) To permit a reduced lot area of 129 square metres, whereas the By-law requires a minimum lot area of 135 square metres. [Table 162A]

b) To permit a reduced interior side yard setback of 0.60 metres, whereas the By-law requires a minimum interior side yard setback of 1.2 metres. [Table 162A]

bb) To permit a reduced parking space length of 4.88 metres, whereas the By-law requires a minimum parking space length of 5.2 metres. [Sec. 106(1)(c)]

UNIT B (PARTS 3-7):

c) To permit a reduced lot area of 132 square metres, whereas the By-law requires a minimum lot area of 135 square metres. [Table 162A]

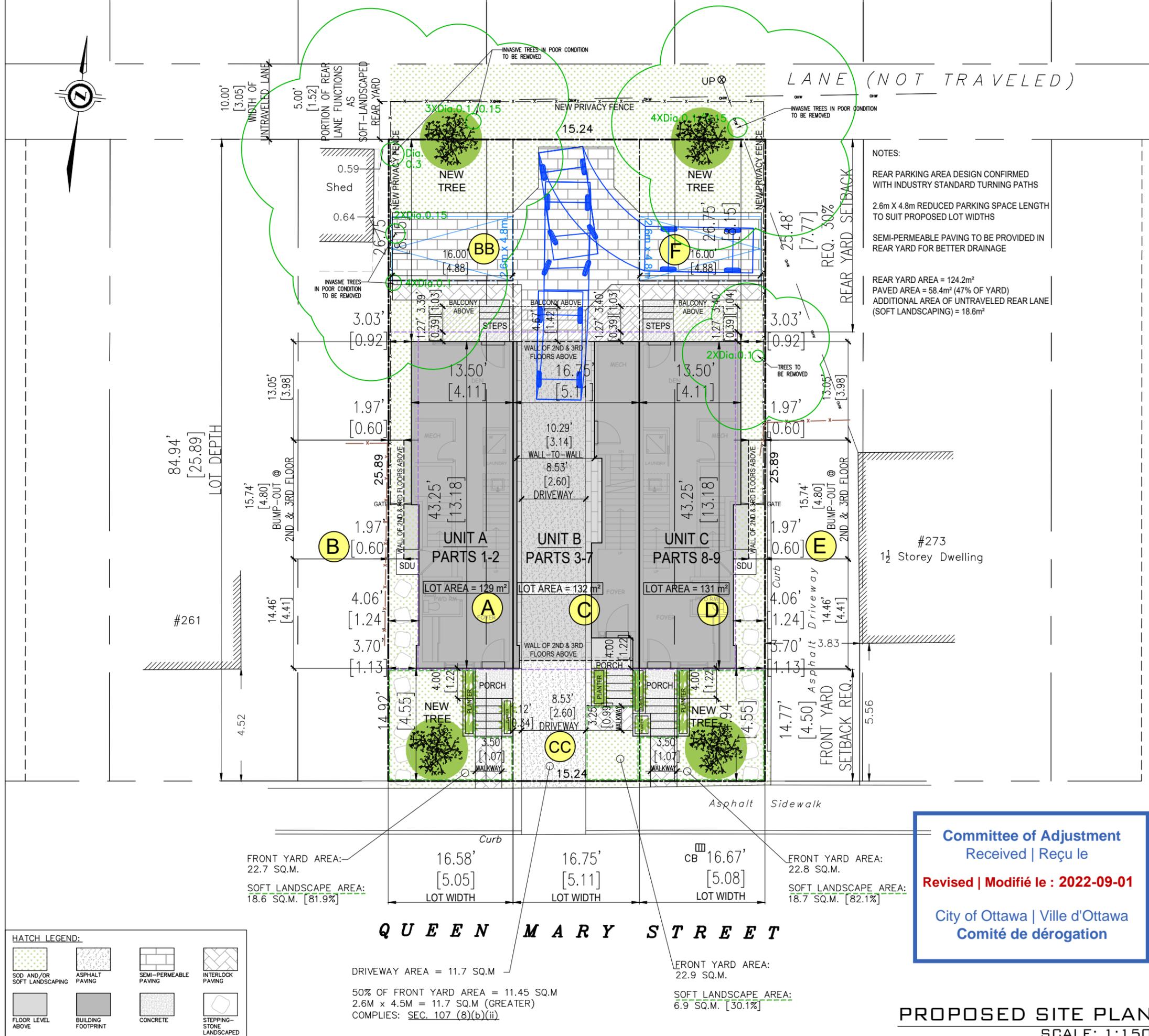
cc) To permit a 2.6 metre wide single driveway, whereas no individual driveway is permitted on lots less than 6.0 metres wide. [Table 139(3)]

UNIT C (PARTS 7-8):

d) To permit a reduced lot area of 131 square metres, whereas the By-law requires a minimum lot area of 135 square metres.

e) To permit a reduced interior side yard setback of 0.60 metres, whereas the By-law requires a minimum interior side yard setback of 1.2 metres. [Table 162A]

f) To permit a reduced parking space length of 4.88 metres, whereas the By-law requires a minimum parking space length of 5.2 metres. [Sec. 106(1)(c)]



HATCH LEGEND:

SOD AND/OR SOFT LANDSCAPING	ASPHALT PAVING	SEMI-PERMEABLE PAVING	INTERLOCK PAVING
FLOOR LEVEL ABOVE	BUILDING FOOTPRINT	CONCRETE	STEPPING-STONE LANDSCAPED PATH

Committee of Adjustment
 Received | Reçu le
Revised | Modifié le : 2022-09-01
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

GENERAL NOTES:

- THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE CONSULTANT.
- ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
- FOOTINGS DESIGNED FOR 2000 P.S.F. ASSUMED BEARING. BEARING CAPACITY, GRANULAR MATERIAL AND COMPACTION TO BE INSPECTED AND APPROVED BY SOILS CONSULTANT PRIOR TO POURING CONCRETE.
- DO NOT SCALE THE DRAWINGS.

NO.	DESCRIPTION & DATE	REVISIONS
2	REVISED PARKING CONFIGURATION & LANDSCAPING SEPTEMBER 1, 2022	
1	EXISTING TREE LOCATIONS UPDATED FOR TIR MAY 16, 2022	

JOB TITLE: PROPOSED THREE STOREY KEY PLAN ZONING INFORMATION MINOR VARIANCES REQUESTED

PROPOSED SITE PLAN

SCALE: 1:150

SCALE: AS SHOWN DWG NO. **S1.1**

DRAWN: M.D.

CHECKED:

DATE: MAY 2022

PRINT DATE: