

PROJECT DATA - PROPOSED DWELLING
226 CRESTVIEW RD. , OTTAWA, ON
PROPERTY ZONING: R1GG

LOT AREA MINIMUM:	325.85m ²
LOT AREA PROPOSED:	266.1m ²
MINIMUM LOT WIDTH:	18m
LOT WIDTH PROPOSED:	14.28m

SETBACKS	
FRONT YARD MINIMUM:	4.5m
FRONT YARD PROPOSED:	4.5m
INTERIOR SIDE YARD MINIMUM:	1.2m
INTERIOR SIDE YARD PROPOSED:	1.2m
INTERIOR SIDE YARD MINIMUM:	2.4m
INTERIOR SIDE YARD PROPOSED:	2.4m
REAR YARD MINIMUM:	4.5m
REAR YARD PROPOSED:	4.5m

BUILDING HEIGHT MAXIMUM:	8 m
BUILDING HEIGHT PROPOSED:	8 m

REQUIRED AMENITY SPACE:	33.25m ²
PROPOSED AMENITY SPACE:	42.0m ²

DRIVEWAY HAS SAME FRONTAGE AS 1992 ALTA VISTA

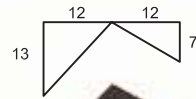
PROJECT DATA - EXISTING DWELLING
1992 ALTA VISTA DR., OTTAWA, ON
PROPERTY ZONING: R1GG

LOT AREA MINIMUM:	325.85m ²
LOT AREA PROPOSED:	379.4m ²
MINIMUM LOT WIDTH:	18m
LOT WIDTH PROPOSED:	18.29m

SETBACKS	
FRONT YARD MINIMUM:	6.0m
FRONT YARD EXISTING:	7.8m
CORNER SIDE YARD MINIMUM:	4.5m
CORNER SIDE YARD EXISTING:	5.2m
INTERIOR SIDE YARD MINIMUM:	1.2m
INTERIOR SIDE YARD EXISTING:	2.0m
REAR YARD MINIMUM:	2.4m
REAR YARD PROPOSED:	3.8m

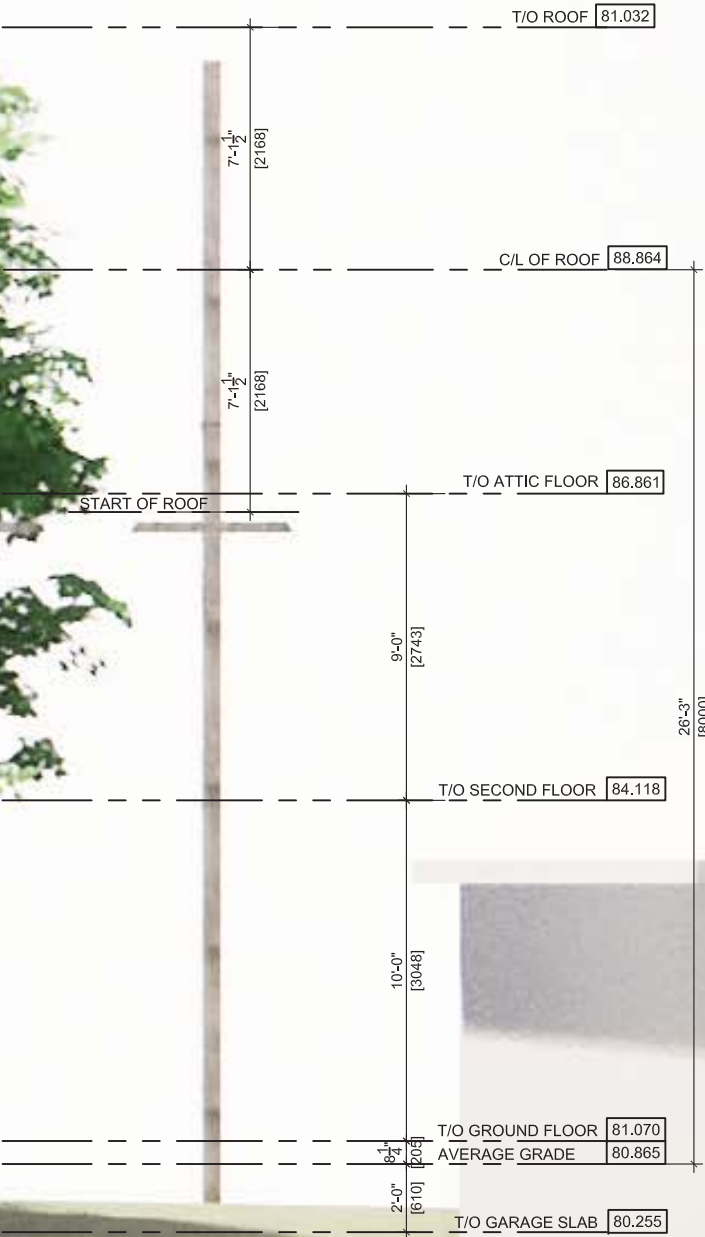
REQUIRED REAR AMENITY SPACE:	33.25m ²
PROPOSED REAR AMENITY SPACE:	19.00m ²
PROPOSED TOTAL AMENITY SPACE:	57.3m ²





Cladding

- Stained wood with directional accents
- Masonry accents & garage
- Powder coated metal accent panels
- Aluminum clad windows









This diagram indicates where the lot line would be if the lot was split into equal parcels with the same overall areas. Doing so would trigger more variances than are included in our application in order to keep the existing 1992 Alta Vista home. Demolishing this home in order to meet the zoning requirements would push the home towards Alta Vista, losing valuable greenspace along the street, and affecting the overall look of the established streetscape.



This diagram indicates the total building footprint allowed by current zoning by-laws if the lot was not severed. The ground floor footprint would be 500 sq ft. larger than the existing (1992 Alta Vista) and proposed (226 Crestview) footprints combined, and would result in a loss of valuable greenspace. Given the slope of the property and the resulting average grade, this building would be significantly taller than the proposed as well. Our proposed overall GFA for 226 Crestview is 2300 sq ft.



Our proposed design: 226 Crestview - 1031 sq ft footprint
Existing home: 1992 Alta Vista - 969 sq ft footprint
= Total 2000 sq ft footprint
Greenspace gained: 500 sq ft