

LEGAL DESCRIPTION PART OF LOT 25 RESISTER PLAN 42482 CITY OF OTTAWA

SURVEY PREPARED BY: FARLEY, SMITH & DENIS SURVEYING LTD. ONTARIO LAND SURVEYORS DATED: 10 JUNE 2021 182 MURRAY STREET - THREE UNIT DWELLING

ZONING BY-LAW 2008-250 R4UD [452] 574 MATURE NEIGHBOURHOOD OVERLAY HERITAGE OVERLAY

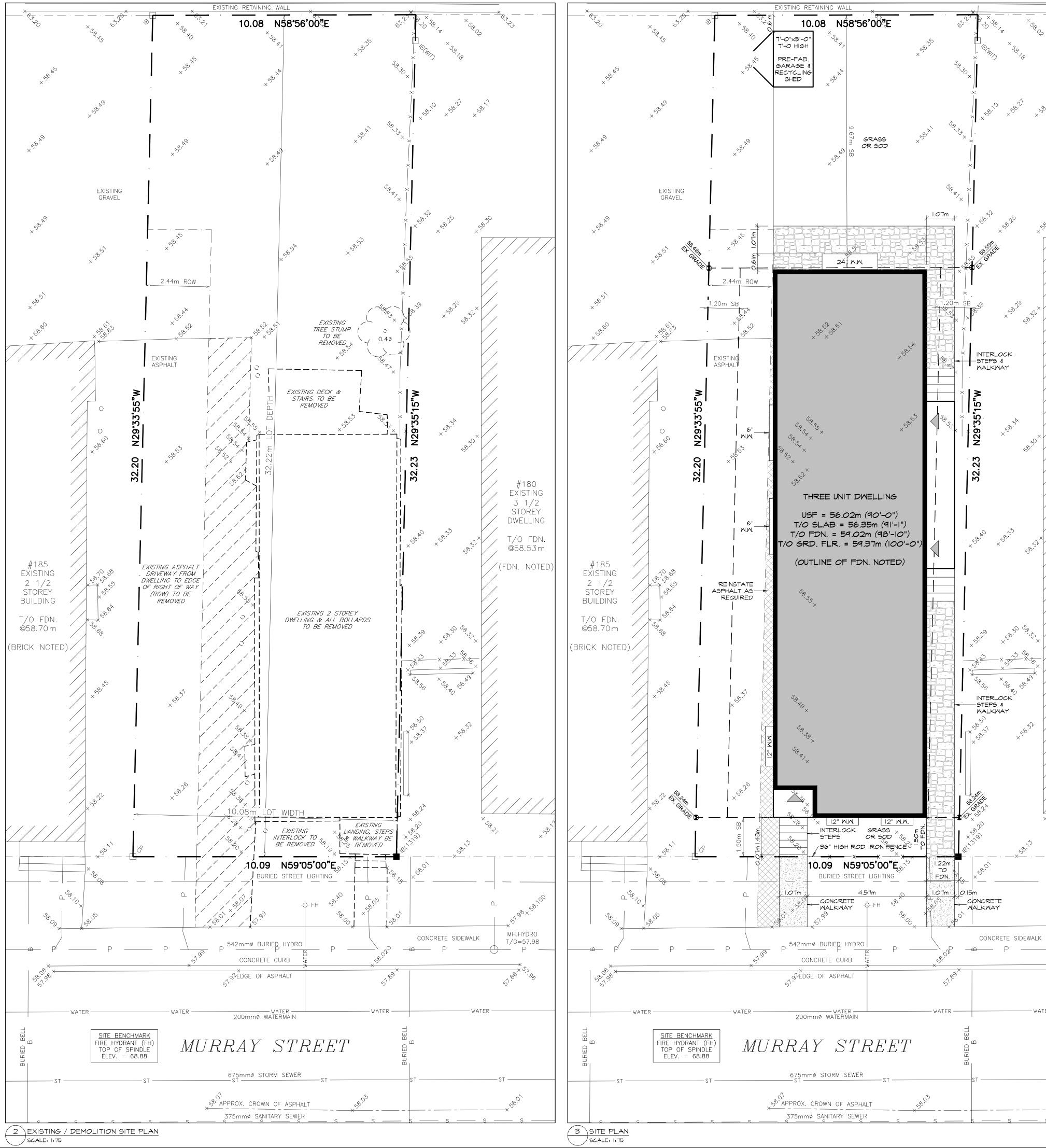
EXISTING REAR GRADE

HERITAGE OVERLAY					
PERFORMANCE STANDARD	BY-LAW REQUIREMENT		PROVIDED		
MINIMUM LOT WIDTH	10.0 m	10.0 m		10.08 m	
LOT DEPTH (LD)	NR		32.22 m		
MINIMUM LOT AREA (LA)	300.0 sq.m	300.0 sq.m		ą.m	
MAXIMUM BUILDING HEIGHT	8.3 m FOR FIRST 18	8.3 m FOR FIRST 18.29 m		7.65 sq.m	
	11.8 m FOR REMAINE	11.8 m FOR REMAINDER			
MINIMUM FRONT YARD SETBACK	1.5 m	1.5 m		1.5 m	
FRONT YARD AREA (FYA)	NR	NR		11.47 sq.m	
MINIMUM FRONT YARD SOFT LANDSCAPING AREA	20.0 % OF FYA / 2	20.0 % OF FYA / 2.29 sq.m		53.26 % OF FYA / 6.11 sq.m	
MINIMUM INTERIOR SIDE YARD SETBACK	1.20 m	1.20 m		1.20 m	
MINIMUM REAR YARD SETBACK	30.0 % OF LD / 9.6	30.0 % OF LD / 9.67 m		9.67 m	
MINIMUM REAR YARD AREA SETBACK	25.0 % OF LA / 81.	25.0 % OF LA / 81.15 sq.m		29.10 % OF LA / 94.49 sq.m	
MINIMUM REAR YARD SOFT LANDSCAPING AREA	35.0 sq.m	35.0 sq.m		59.28 sq.m	
GROUND FLOOR PRINCIPAL ENTRANCE LOCATION	FRONT / STREET AC	FRONT / STREET ACCESS		STREET ACCESS	
MINIMUM PARKING SPACES	0	0		0	
MINIMUM BICYCLE PARKING SPACES	0	0			
GARBAGE / RECYCLE STORAGE	REQUIRED	REQUIRED		Ð	
GARBAGE / RECYCLE STORAGE LOCATION	WITHIN BLDG OR RE	WITHIN BLDG OR REAR YARD		ARD	
MINIMUM GARBAGE / RECYCLE STORAGE FLOOR AREA	2.0 sq.m	2.0 sq.m		n	
MINIMUM GARBAGE / RECYCLE STORAGE VOLUMN	3.50 cubic.m	3.50 cubic.m		c.m	
EXISTING AVERAGE GRADE CALCULATION					
	LEFT SIDE	RIGHT SII	DE		
EXISTING FRONT GRADE	58.24 m	58.24 m		F0 27	
EXISTING PEAR GRADE	58.48 m	58.37 m) 50.51 m	

58.48 m

58.55 m

182 MURRAY STREET - BUILDING INFORMATION EX. GRADE TO MID. PT ROOF 66.02 m BUILDING HEIGHT ELEVATION BUILDING HEIGHT 129.78 sq.m (1396.94sq.ft) FOUNDATION AREA 0/S FOUNDATION 129.78 sq.m (1396.94sq.ft) BASEMENT AREA 0/5 FOUNDATION 121.76 sq.m (1310.60 sq.ft) BASEMENT AREA 1/S FOUNDATION 110.59 sq.m (1190.38 sq.ft) BASEMENT AREA I/S FRAMING 102.75 sq.m (1106.05 sq.ft) BASEMENT AREA NO STAIR I/S FRAMING 98.69 sq.m (1062.34 sq.ft) GROUND FLOOR AREA 121.32 sq.m GROUND FLOOR AREA O/S FRAMING 117.93 sq.m (1269.44 sq.ft) GROUND FLOOR AREA I/S FRAMING 110.34 sq.m (1187.72sq.ft) GROUND FLOOR AREA NO STAIR I/S FRAMING 103.69 sq.m (1116.07 sq.ft) SECOND FLOOR AREA O/S CLADDING 121.32 sq.m SECOND FLOOR AREA O/S FRAMING 117.93 sq.m (1269.44 sq.ft) SECOND FLOOR AREA SECOND FLOOR AREA



concepts

739 RIDGEWOOD AVE., UNIT 201 OTTAWA, ONTARIO, K1V 6M8

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL CODES, BYLAWS & OTHER AUTHORITIES HAVING JURISDICTION OVER

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWINGS.

Committee of Adjustment Received | Reçu le

2022-09-22

EXISTING

STOREY

DWELLING

T/O FDN.

@58.53m

/(FDN. NOTED

T/G=57.98

City of Ottawa | Ville d'Ottawa Comité de dérogation

7	MINOR VARIANCE APPLICATION		2022.09.16
6	HERITAGE APPLICATION		2022.04.12
5	HERITAGE REVISIONS		2022.01.24
4	ISSUED FOR BUILDING PERMIT		2021.10.29
3	CONSULTANT REVIEW		2021.09.03
2	STRUCTURAL REVIEW		2021.09.01
1	CLIENT REVIEW		2021.08.20
NO.	REVISION		DATE
SEAL:		NORTH:	
			/

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information Required unless design is exempt under Div. C - 3.2.5.1. of the building code

Registration Information Required unless design is exempt under Div. C - 3.2.4.1. of the building code

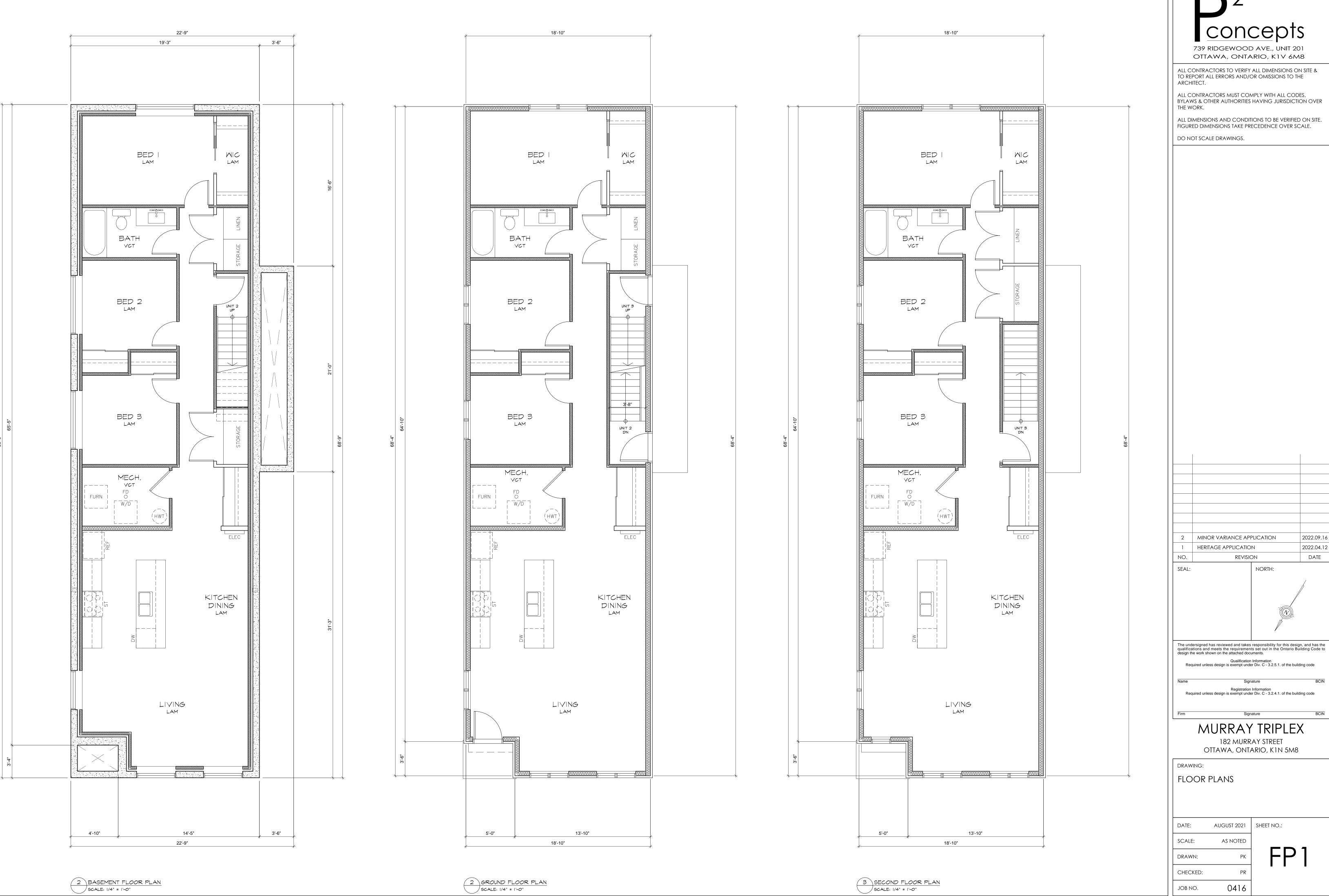
MURRAY TRIPLEX

182 MURRAY STREET OTTAWA, ONTARIO, K1N 5M8

DRAWING:

LOCATION MAP & SITE PLAN ZONING INFORMATION BUILDING INFORMATION

ATE:	AUGUST 2021	SHEET NO.:
CALE:	AS NOTED	
RAWN:	PK	S
HECKED:	PR	
OB NO.	0416	



concepts

739 RIDGEWOOD AVE., UNIT 201 OTTAWA, ONTARIO, K1V 6M8

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Registration Information
Required unless design is exempt under Div. C - 3.2.4.1. of the building code MURRAY TRIPLEX 182 MURRAY STREET OTTAWA, ONTARIO, K1N 5M8

REVISION

NORTH:

2022.04.12

DATE

FLOOR PLANS

AUGUST 2021 SHEET NO.: AS NOTED

DRAWN: CHECKED: 0416





| FRONT-RIGHT SIDE PERSPECTIVE







REAR-LEFT SIDE PERSPECTIVE

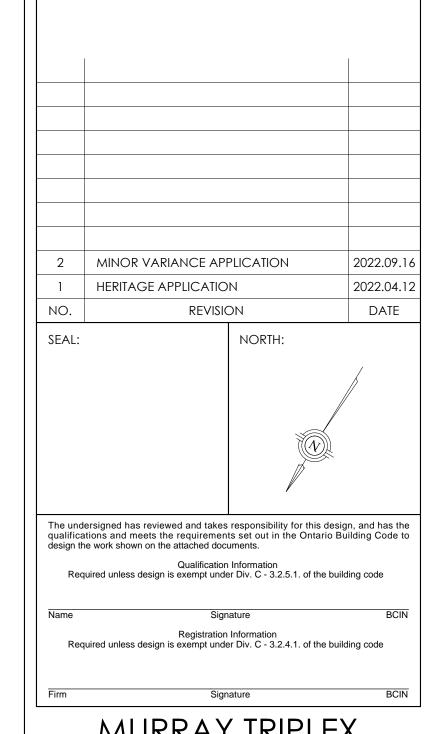
concepts

739 RIDGEWOOD AVE., UNIT 201 OTTAWA, ONTARIO, K1V 6M8

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MURRAY TRIPLEX

182 MURRAY STREET OTTAWA, ONTARIO, K1N 5M8

DRAWING:

ELEVATIONS - RENDERINGS

ATE:	AUGUST 2021	SHEET NO.:
CALE:	AS NOTED	
RAWN:	PK	
HECKED:	PR	
OB NO.	0416	