



182 MURRAY STREET - BUILDING INFORMATION				
BUILDING HEIGHT ELEVATION	EX. GRADE TO MID. PT. ROOF	66.02 m		
BUILDING HEIGHT	EX. GRADE TO MID. PT. ROOF	7.65 m		
FOOTPRINT		124.78 sq.m	(1346.44sq.ft)	
FOUNDATION AREA	0/5 FOUNDATION	124.78 sq.m	(1346.44sq.ft)	
BASEMENT AREA	0/5 FOUNDATION	121.76 sq.m	(1310.60 sq.ft)	
BASEMENT AREA	1/5 FOUNDATION	10.58 sq.m	(1140.38 sq.ft)	
BASEMENT AREA	1/5 FRAMING	102.75 sq.m	(1106.05 sq.ft)	
BASEMENT AREA	NO STAIR 1/5 FRAMING	98.64 sq.m	(1062.34 sq.ft)	
GROUND FLOOR AREA	0/5 CLADDING	121.32 sq.m	(1305.94 sq.ft)	
GROUND FLOOR AREA	0/5 FRAMING	117.43 sq.m	(1264.44 sq.ft)	
GROUND FLOOR AREA	1/5 FRAMING	105.84 sq.m	(1137.24sq.ft)	
GROUND FLOOR AREA	NO STAIR 1/5 FRAMING	103.64 sq.m	(1116.07 sq.ft)	
SECOND FLOOR AREA	0/5 CLADDING	121.32 sq.m	(1305.94 sq.ft)	
SECOND FLOOR AREA	0/5 FRAMING	117.43 sq.m	(1264.44 sq.ft)	
SECOND FLOOR AREA	1/5 FRAMING	105.84 sq.m	(1137.24 sq.ft)	
SECOND FLOOR AREA	NO STAIR 1/5 FRAMING	103.64 sq.m	(1115.17 sq.ft)	



CHECKED:	PR
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0.414

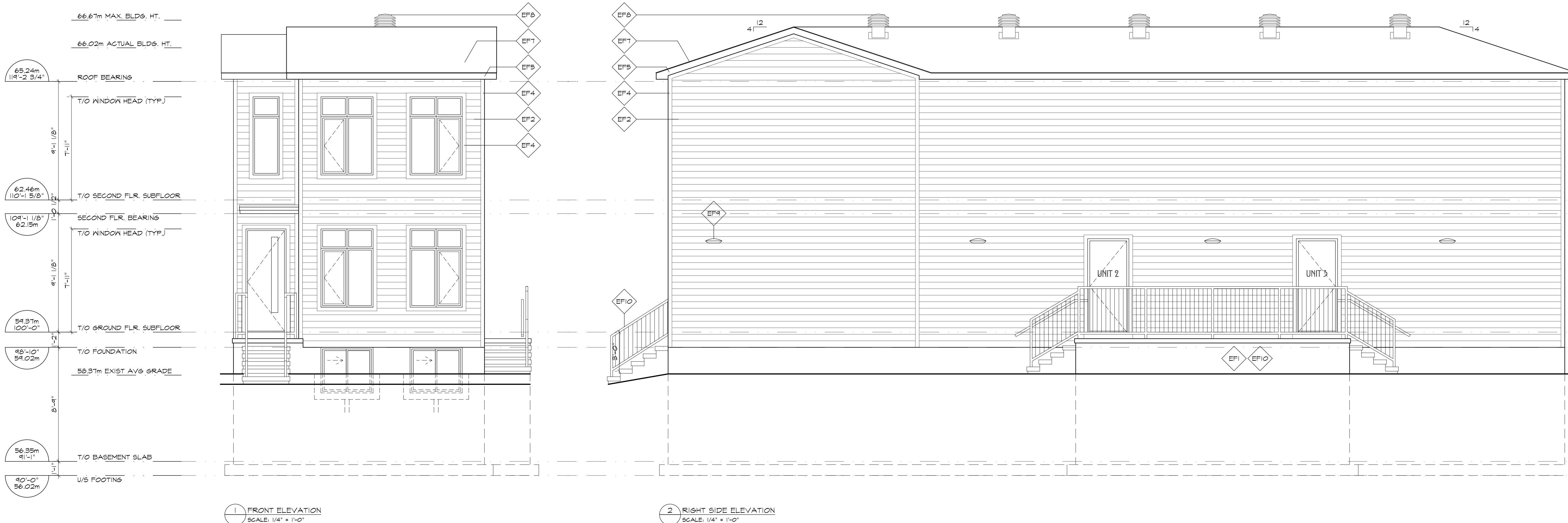


ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL CODES, BYLAWS & OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE.

DO NOT SCALE DRAWINGS.



EXTERIOR FINISH LEGEND

- EF1 CEMENT PAVING ON ALL EXPOSED FOUNDATION TO 8" BELOW GRADE
- EF2 PRE-FINISHED HORIZONTAL SIDING JAMES HARDIE, HARDIEPLANK COLOUR: TBD
- EF3 RESERVED

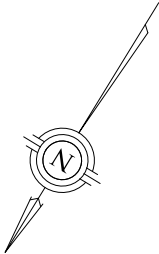
- EF4 PRE-FINISHED 4" CORNER / WINDOW / DOOR TRIM JAMES HARDIE, HARDIETRIM 4/4 NTS SMOOTH COLOUR: TBD
- EF5 PRE-FINISHED METAL SOFFIT & FASCIA, IDEAL ROOFING COLOUR: TBD
- EF6 PRE-FINISHED METAL FLASHING AT ALL VALLEYS & ROOF TO WALL INTERSECTIONS IDEAL ROOFING COLOUR: TO BE MATCH ROOF CLADDING

- EF7 MIN. 40 YEAR ASPHALT SHINGLES, IKO, COLOUR: TBD
- EF8 ROOF VENTS G/M BUG & BIRD SCREEN VENTILATION MAXIMUM: VMAX-301-12 COLOUR: TBD
- EF9 BUILDING EXTERIOR LIGHTING, MANUFACTURER: TBD COLOUR: TBD

- EF10 PAINTED METAL GUARD, HANDRAIL & PICKETS. SEE DETAIL 2/A. COLOUR: TBD
- EF11 ENTRY CANOPY. SEE DETAIL A/AX.

NOTE:  
ALL COLOUR & FINISH SELECTIONS TO BE COORDINATED, FINALIZED & APPROVED BY OWNER.



2	MINOR VARIANCE APPLICATION	2022.09.16
1	HERITAGE APPLICATION	2022.04.12
NO.	REVISION	DATE
<div>SEAL:</div> <div>NORTH:</div> <div></div>		
<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.</div> <div>Qualification Information</div> <div>Required unless design is exempt under Div. C-3.2.5.1. of the building code</div>		
<div>Name</div> <div>Signature</div> <div>BCIN</div>		
<div>Registration Information</div> <div>Required unless design is exempt under Div. C-3.2.4.1. of the building code</div>		
<div>Firm</div> <div>Signature</div> <div>BCIN</div>		

MURRAY TRIPLEX  
182 MURRAY STREET  
OTTAWA, ONTARIO, K1N 5M8

DRAWING:  
ELEVATIONS

DATE:	AUGUST 2021	SHEET NO.:
SCALE:	AS NOTED	
DRAWN:	PK	
CHECKED:	PR	
JOB NO.	0416	

EL1



1 FRONT-RIGHT SIDE PERSPECTIVE



1 REAR-RIGHT SIDE PERSPECTIVE



1 FRONT-ROOF PERSPECTIVE



1 FRONT-LEFT SIDE PERSPECTIVE



1 REAR-LEFT SIDE PERSPECTIVE

# P<sup>2</sup> concepts

739 RIDGEWOOD AVE., UNIT 201  
OTTAWA, ONTARIO, K1V 6M8

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Name Signature BCIN

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Firm Signature BCIN

## MURRAY TRIPLEX

182 MURRAY STREET  
OTTAWA, ONTARIO, K1N 5M8

DRAWING:  
ELEVATIONS - RENDERINGS

DATE:	AUGUST 2021	SHEET NO.:
SCALE:	AS NOTED	
DRAWN:	PK	
CHECKED:	PR	
JOB NO.	0416	

EL2