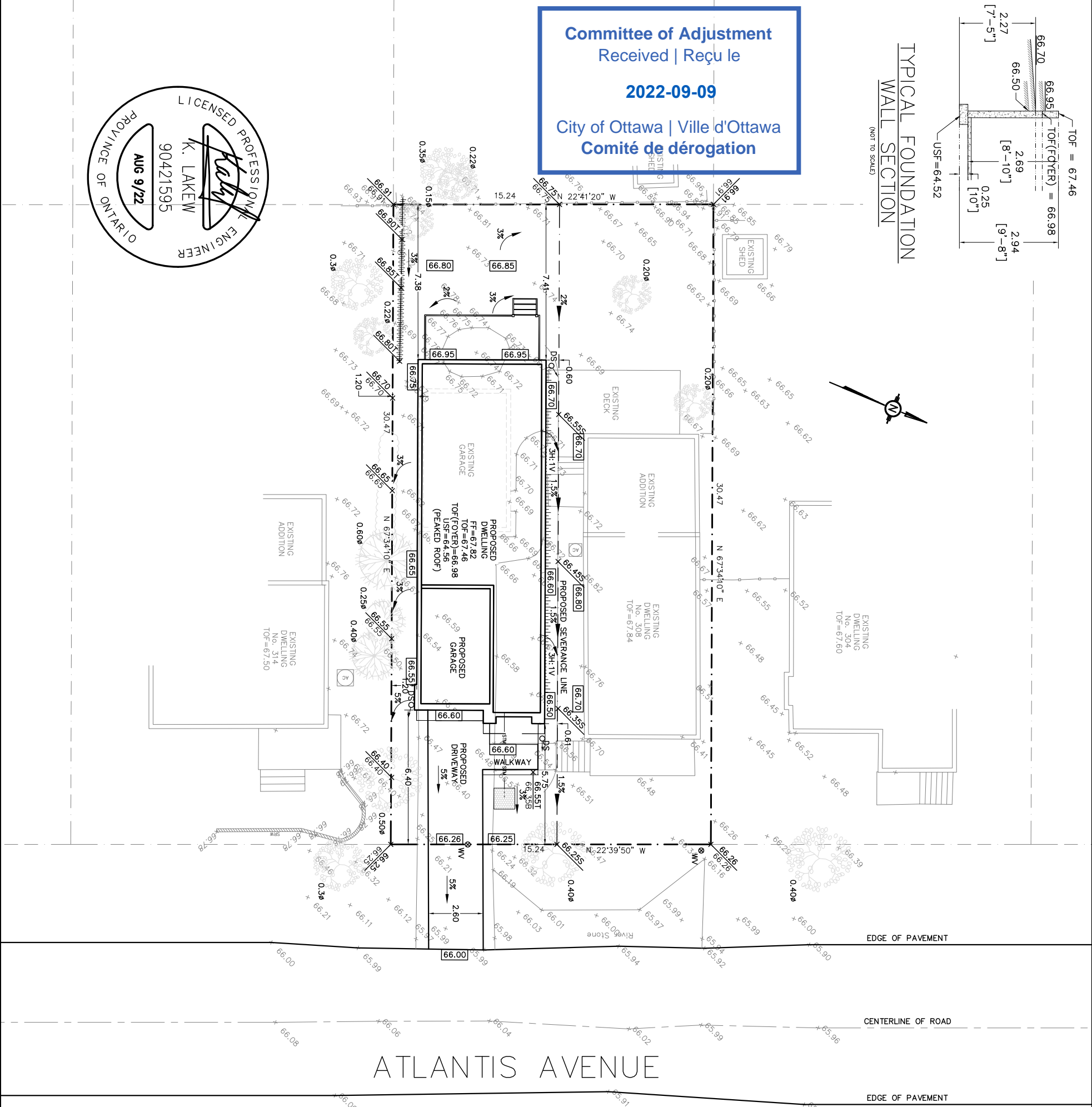
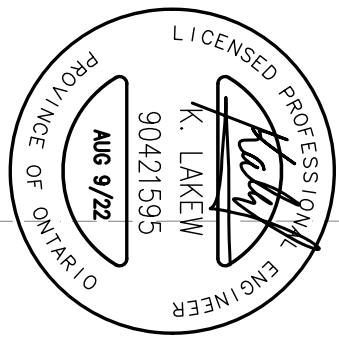


TYPICAL FOUNDATION WALL SECTION

(NOT TO SCALE)

Committee of Adjustment
Received | Reçu le
2022-09-09
City of Ottawa | Ville d'Ottawa
Comité de dérogation



ATLANTIS AVENUE

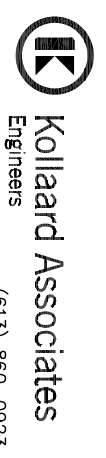
LEGEND	
	EXISTING ELEVATIONS
	PROPOSED ELEVATIONS
	DRAINAGE SLOPE
	EXISTING DRAINAGE
	PROPERTY LINE
	TERRACE AS NOTED
	FIRE HYDRANT
	HYDRO POLE
	TOP OF RETAINING WALL
	BOTTOM OF RETAINING WALL
	PROPOSED SWALE
	TEMPORARY BENCHMARK
	DOWN SPOUT

- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE. DRAINAGE AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE EXCAVATION OF THE EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEGMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY
- EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH SOFT LANDSCAPING
- DOWNSPOUTS TO DISCHARGE MINIMUM 1.5 METRES FROM PROPERTY LINE AND FOUNDATION WALL OR TO BE PROVIDED WITH SPLASH PAD
- ALL SWALES TO HAVE MINIMUM 450mm METRE CLEARANCE FROM PROPERTY LINE
- ALL RETAINING WALLS TO HAVE MINIMUM 150mm CLEARANCE FROM PROPERTY LINE
- EAVESTROUING FOR DWELLING SHALL BE INSTALLED AND WATER TO BE DIRECTED TO THE FRONT OF THE PROPERTY
- NO EXCESS DRAINAGE WILL BE DIRECTED TOWARDS THE NEIGHBOURING PROPERTIES DURING AND AFTER CONSTRUCTION
- THERE IS TO BE NO ALTERATION OF EXISTING GRADE AND DRAINAGE PATTERNS ON THE PROPERTY LINES
- TREE PERMIT REQUIRED FOR REMOVAL OF TREES WITH A DIAMETRE OF 300mm OR GREATER AND FOR ALL TREES IN THE R.O.W.
- EXISTING TREES SHALL BE PROTECTED DURING AND AFTER CONSTRUCTION
- THIS DRAWING IS NOT FOR CONSTRUCTION UNTIL APPROVED BY THE RELEVANT AUTHORITIES
- TBM = TOP OF SPINDLE ON FIRE HYDRANT ELEVATION 67.0 METRES AS PER PARLEY SMITH & DENIS SURVEYING LTD. FILE NO. 656-21.

DRAWING NUMBER: 220079-GR

CONSTRUCTION NOTES:

- All dimensions and elevations are in metres. Do not scale drawing.
- This drawing is not a legal survey, a utility plan or a site plan and is for grading purposes only.
- TBM = Top of spindle on fire hydrant. Elevation = 67.07 metres as per Farley, Smith & Denis Surveying Ltd. File No. 656-21.
- This drawing cannot be accepted as acknowledging all of the utilities, and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- This drawing is not for construction until approved by the relevant authorities.
- Contractor is responsible for location and protection of utilities.
- Top of Foundation (TOP) elevation and Under side of Footing (USF) elevation for dwelling are as shown on drawing.
- Finished grade around dwelling to be as shown.
- Maximum allowable slope on site is 3H:1V. Finished grade to slope away from house at all sides at a minimum of 2%, and a maximum of 7%. Maximum slope away from septic system area is 4H:1V.
- All dimensions to be verified on site by contractor prior to construction.
- Client is responsible for acquiring all necessary permits.
- The proposed grades have been set and verified for site grading control only. The grade rise at the house location should be verified with regard to subsurface conditions by qualified geotechnical personnel after completion of the excavation.
- The underside of footing elevation may not have accounted for actual ground water conditions at the exact house location and should be verified by qualified geotechnical personnel upon completion of the excavation.
- A geotechnical engineer should be retained to provide geotechnical recommendations with respect to the subgrade conditions prior to footing installation.
- Frost protection will be required for the foundation footing where the soil cover over the underside of footing is less than 1.52 metres.
- Any changes made to this plan must be verified and approved by Kollaard Associates Inc.



210 PRESCOTT STREET
PO BOX 189
KEMPVILLE ONTARIO
K0G 1J0

CLIENT: TOLOU GROUP INC.

PROJECT: SINGLE FAMILY DWELLING

DRAWING: PROPOSED LOT GRADING PLAN

LOCATION: 308 ATLANTIS AVENUE
R. PLAN M-28, SUBLOT 214
LOT 30, CONC. A,
CITY OF OTTAWA, ONTARIO

DESIGNED BY: NR DATE: FEB 14, 2022

DRAWN BY: NR SCALE: 1:200

KOLLAARD FILE NUMBER: 220079