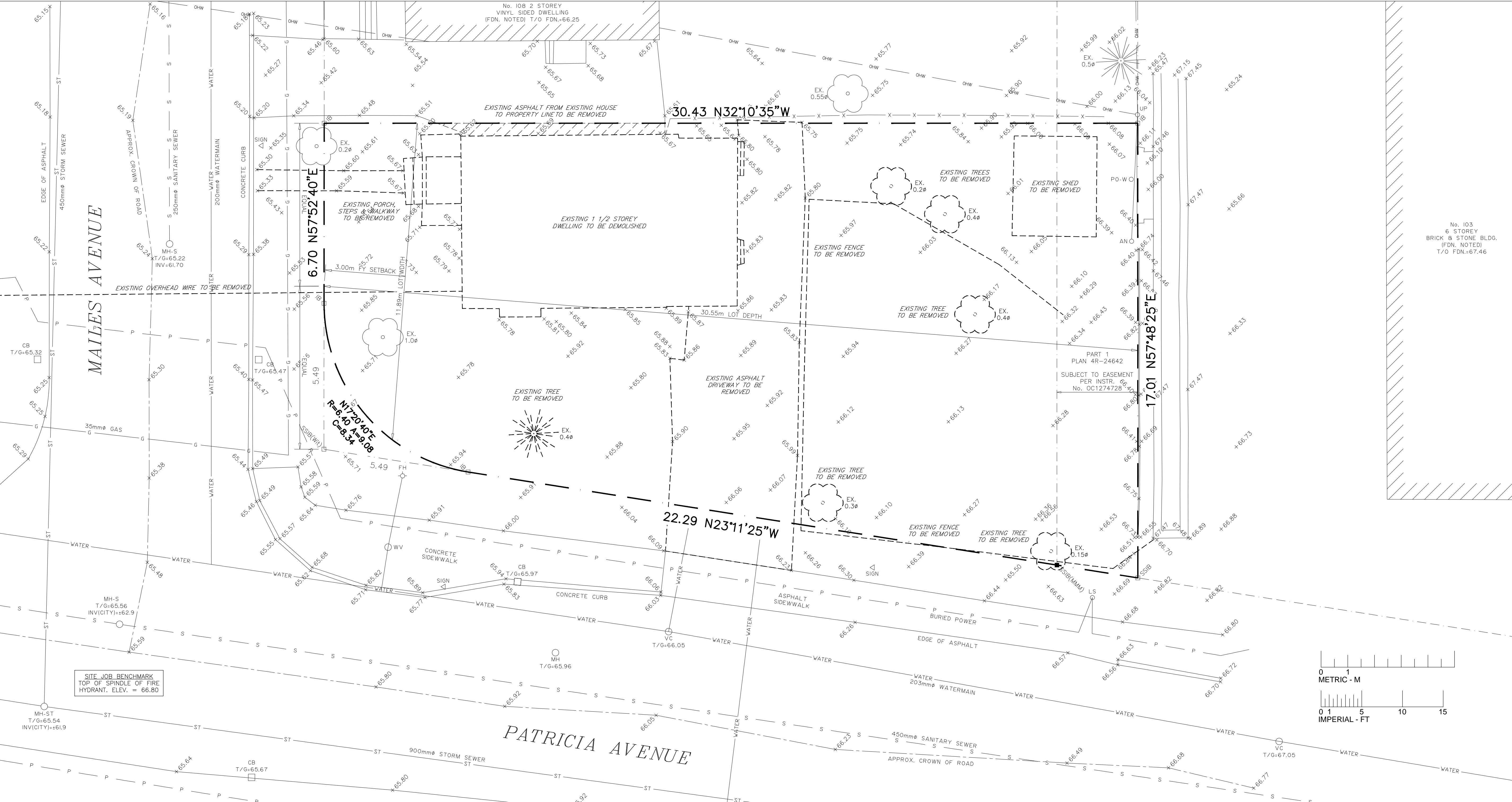
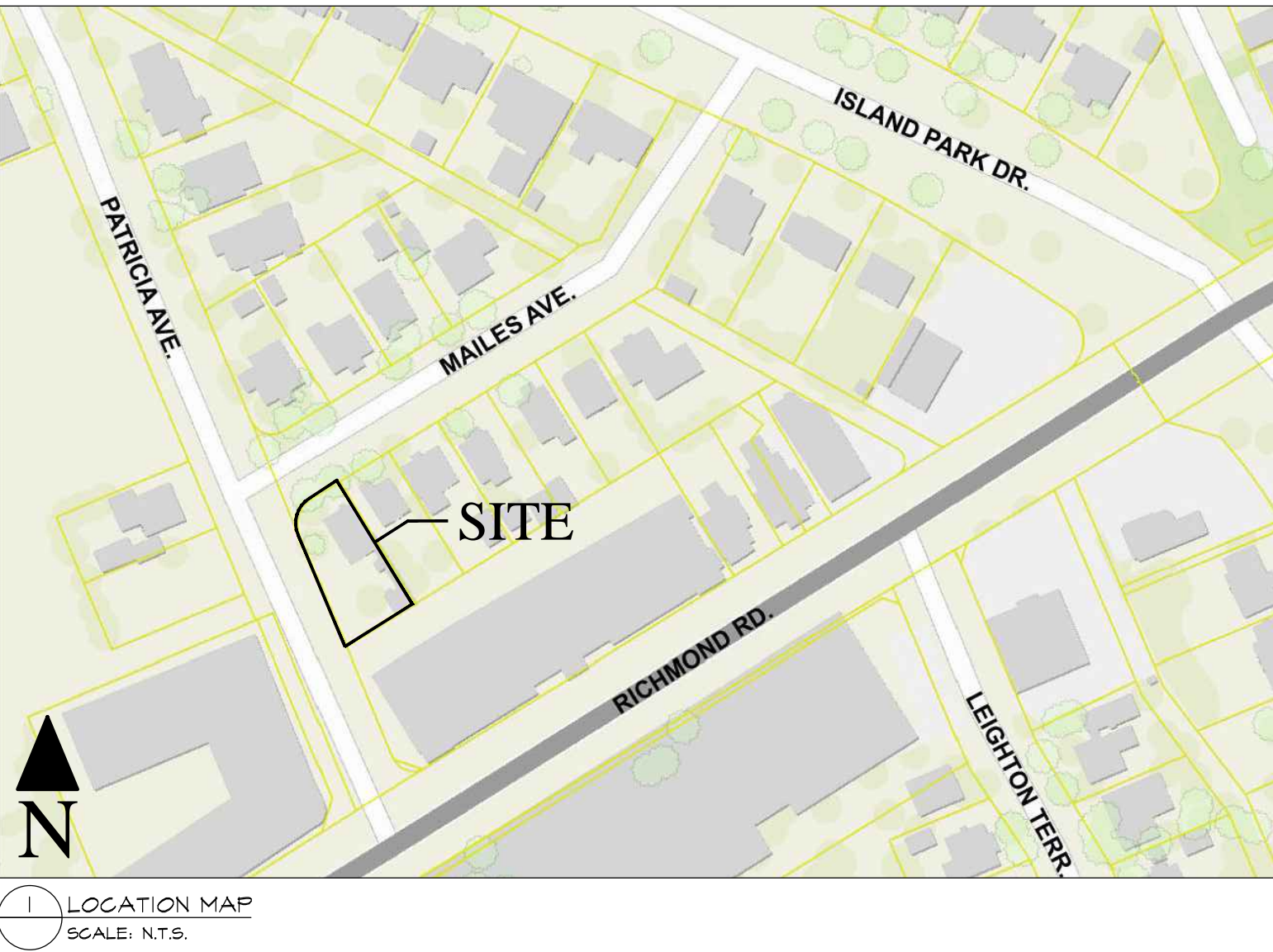


Committee of Adjustment
Received | Reçu le

Revised | Modifié le : 2022-10-11

City of Ottawa | Ville d'Ottawa
Comité de dérogation



2 EXISTING / DEMOLITION SITE PLAN
SCALE: 1:75

P² concepts
739 RIDGEWOOD AVE., UNIT 201
OTTAWA, ONTARIO, K1V 6M8

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

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DO NOT SCALE DRAWINGS.

5	MV RE-SUBMISSION	2022.09.21
4	MV RE-SUBMISSION	2022.08.19
3	PLANNER / CLIENT REVISIONS	2022.08.09
2	PLANNER REVISIONS	2022.07.12
1	PLANNER REVISIONS	2022.06.06

NO.	REVISION	DATE
SEAL:		
NORTH:		
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.		
Qualification Information Required unless design is exempt under Div. C-3.2.5.1. of the building code		
Name	Signature	BCIN
Registration Information Required unless design is exempt under Div. C-3.2.4.1. of the building code		
Firm	Signature	BCIN

MAILES CUSTOM HOME
112 MAILES AVENUE
OTTAWA, ONTARIO, K1Z 6V6

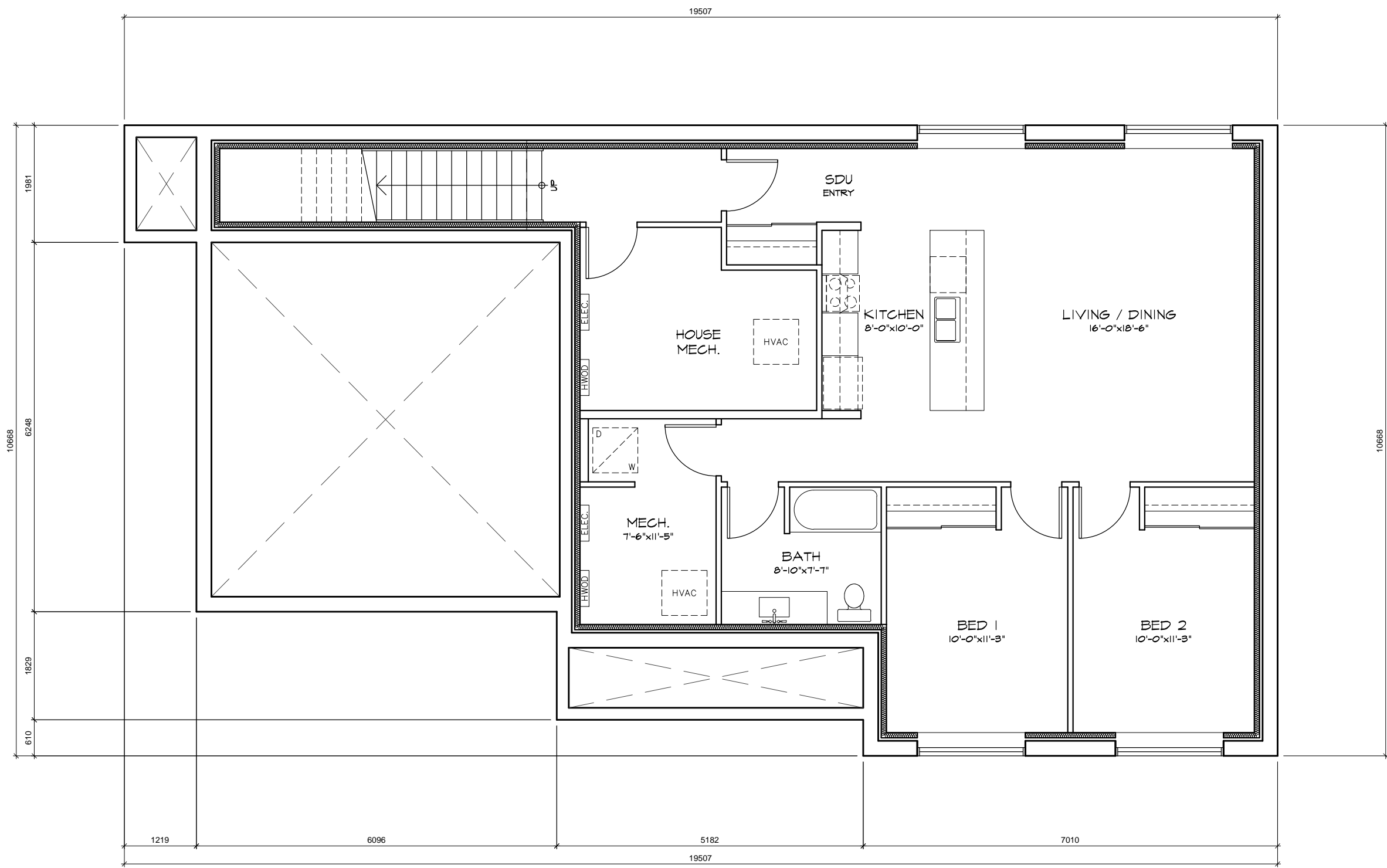
DRAWING: LOCATION MAP EXISTING / DEMOLITION SITE PLAN		
DATE:	FEBRUARY 2022	SHEET NO.:
SCALE:	AS NOTED	ESP1
DRAWN:	PK	
CHECKED:	PR	
JOB NO.	0459	

PLANTING SCHEDULE					
CODE	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
CO	CELTIS OCCIDENTALIS	HACKBERRY	2	MINIMUM 50mm CAL.	BURLAP # BASKET, SEE TREE PLANTING DETAIL 5/SPI.
QA	QUERCUS RUBRA	RED OAK	1	MINIMUM 50mm CAL.	BURLAP # BASKET, SEE TREE PLANTING DETAIL 5/SPI.

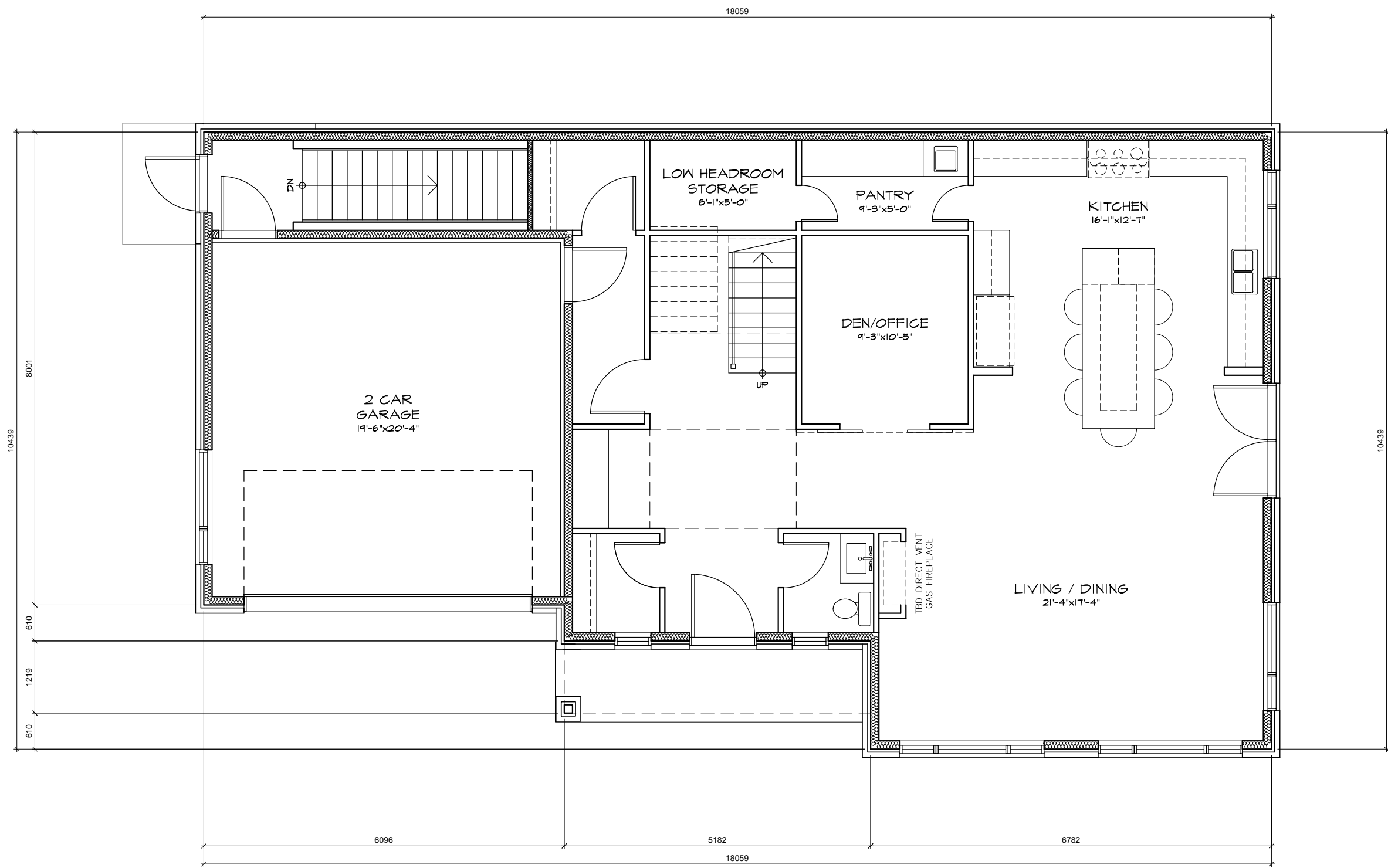
LOCATION MAP
SCALE: N.T.S.

- III BUILDING HEIGHT CALCULATED FROM THE EXISTING AVERAGE GRADE PRIOR TO ANY SITE ALTERATIONS. FRONT / CORNER YARD SETBACK IS THE AVERAGE OF THE ADJACENT LOTS EXISTING SETBACK, BUT NEED NOT EXCEED THE MIN. REQUIRED FOR SUBZONE A. NO CLOSER THAN 15m.
- IV FRONT YARD SOFT LANDSCAPE AREA IS MINIMUM OF 40% OF THE FRONT YARD AREA.
- V CORNER YARD SOFT LANDSCAPE AREA IS MINIMUM OF 40% OF THE CORNER YARD AREA.
- VI MINIMUM REAR YARD ARE NOT REQUIRED DUE ADJUTING A NONE RESIDENTIAL ZONE.

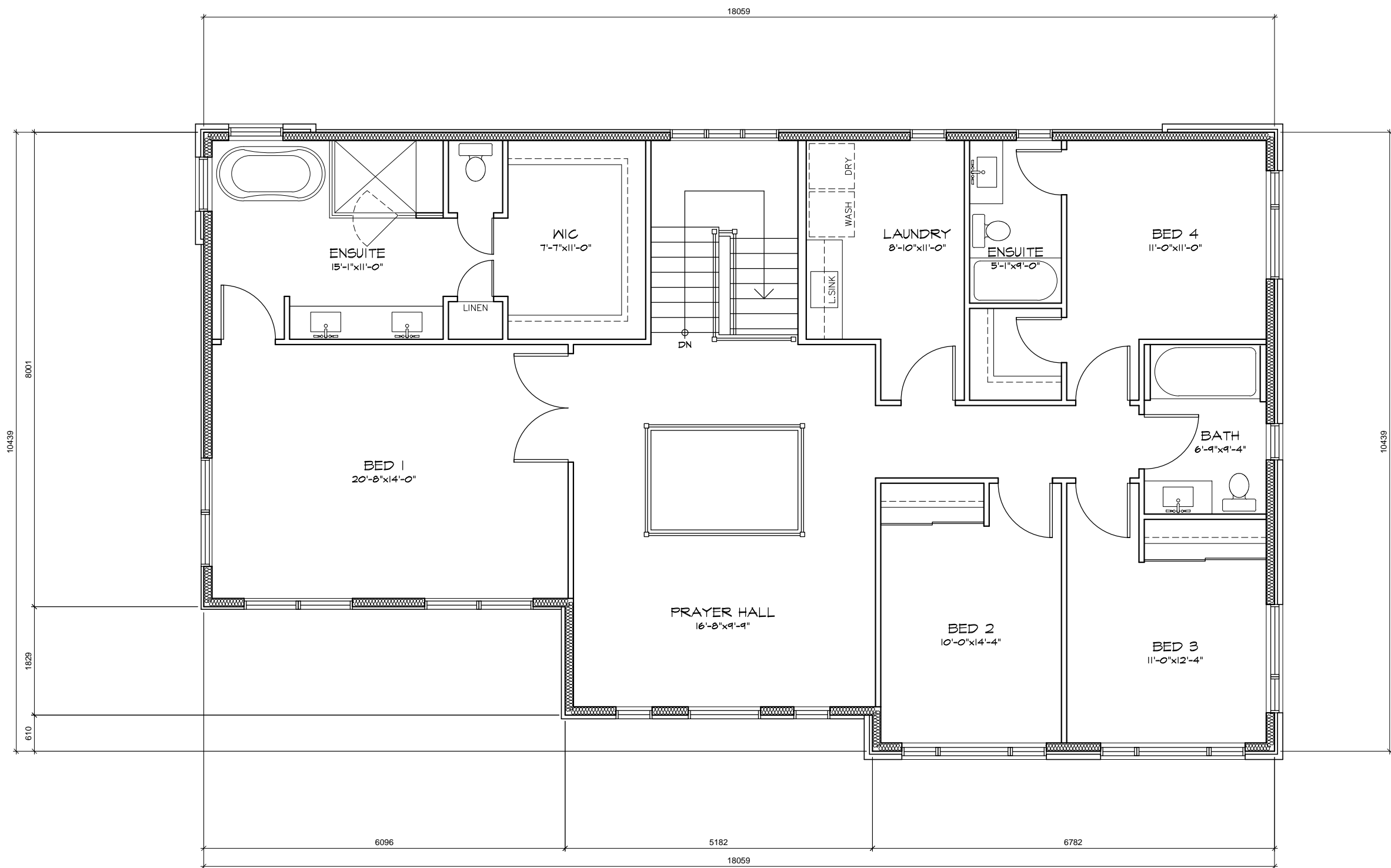
<div>MAILES CUSTOM HOME</div> <div>112 MAILES AVENUE</div> <div>OTTAWA, ONTARIO, K1Z 6V6</div>	
<div>DRAWING:</div> <div>LOCATION MAP & SITE PLAN</div> <div>ZONING INFORMATION</div> <div>BUILDING INFORMATION</div>	
<div>DATE: FEBRUARY 2022</div> <div>SCALE: AS NOTED</div> <div>DRAWN: PK</div> <div>CHECKED: PR</div> <div>JOB NO. 0459</div>	<div>SHEET NO.:</div> <div>SP1</div>



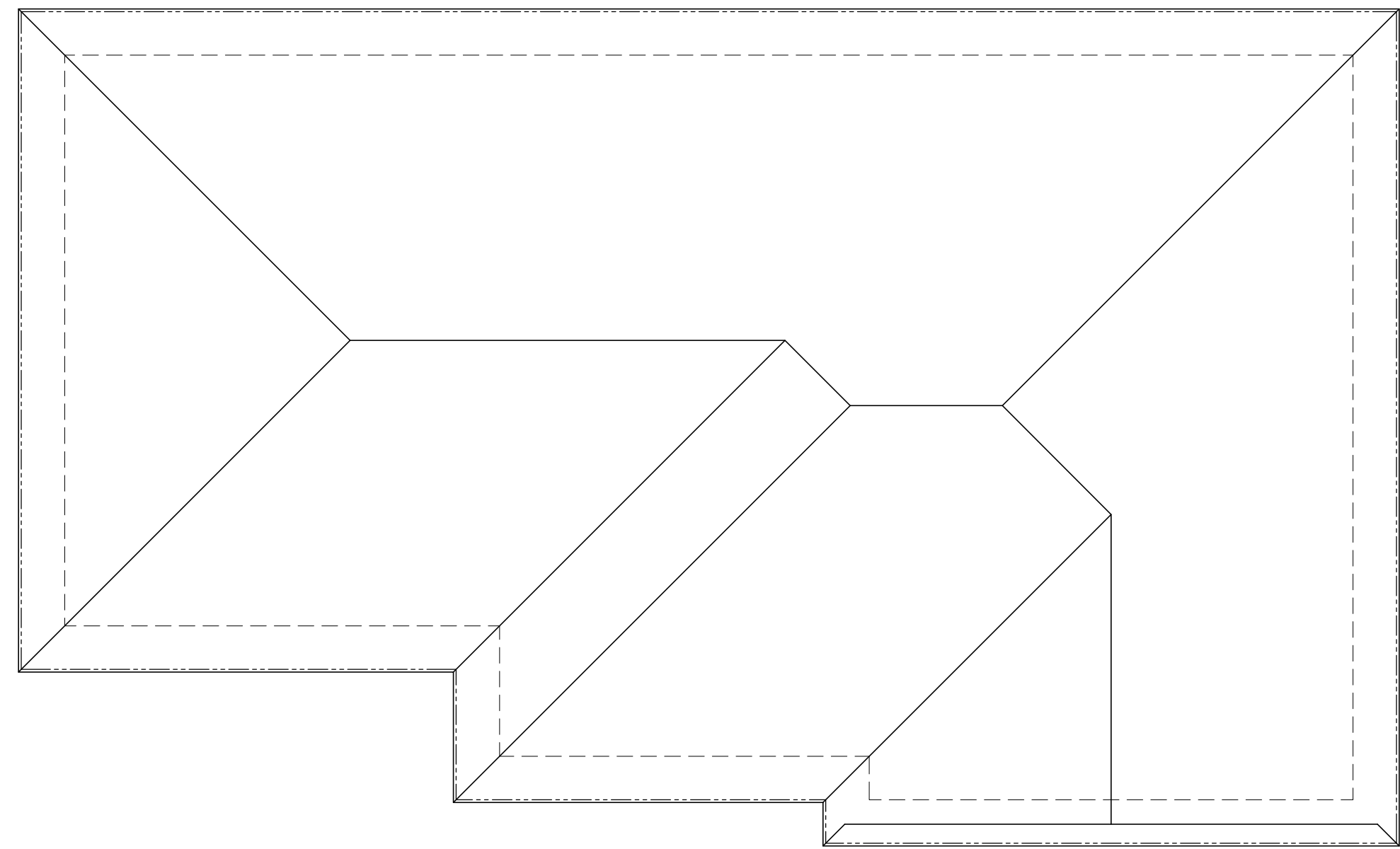
1 BASEMENT FLOOR PLAN
SCALE: 1 : 75



2 GROUND FLOOR PLAN
SCALE: 1 : 75



3 SECOND FLOOR PLAN
SCALE: 1 : 75



4 ROOF PLAN
SCALE: 1 : 75

P² concepts

739 RIDGEWOOD AVE., UNIT 201
OTTAWA, ONTARIO, K1V 6M8

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1	PLANNER REVISIONS	2022.06.06

NO.	REVISION	DATE
-----	----------	------

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Qualification Information
Required unless design is exempt under Div. C-3.2.5.1. of the building code

Name	Signature	BCIN
Firm	Signature	BCIN

MAILES CUSTOM HOME
112 MAILES AVENUE
OTTAWA, ONTARIO, K1Z 6V6

DRAWING:
FLOOR PLANS

DATE:	FEBRUARY 2022	SHEET NO.:
SCALE:	AS NOTED	
DRAWN:	PK	
CHECKED:	PR	
JOB NO.	0459	

FP1

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NO.	REVISION	DATE
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Firm	Signature	BCIN

MAILES CUSTOM HOME
112 MAILES AVENUE
OTTAWA, ONTARIO, K1Z 6V6

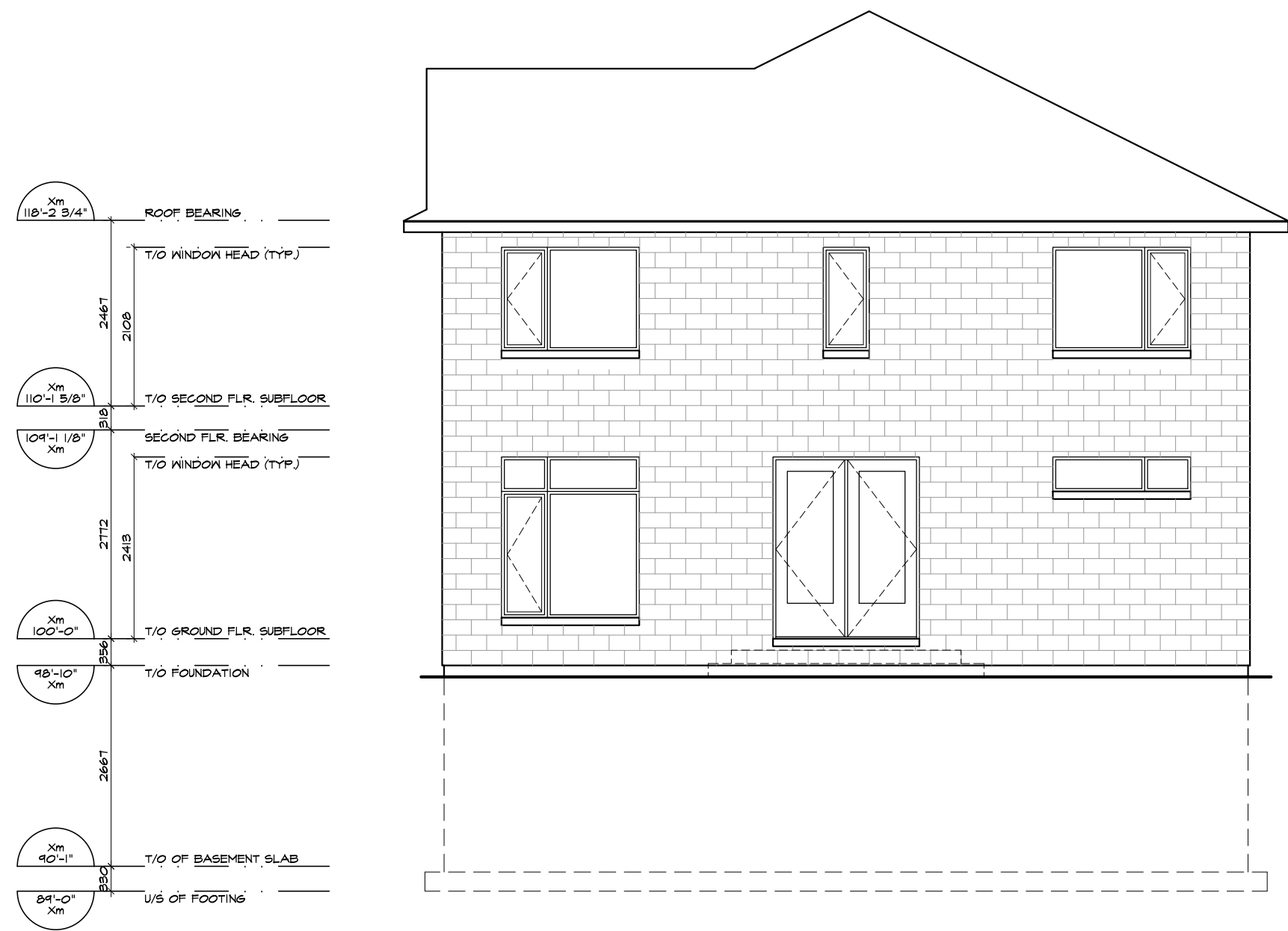
DRAWING:
ELEVATIONS

DATE:	FEBRUARY 2022	SHEET NO.:
SCALE:	AS NOTED	
DRAWN:	PK	
CHECKED:	PR	
JOB NO.	0459	

EL1



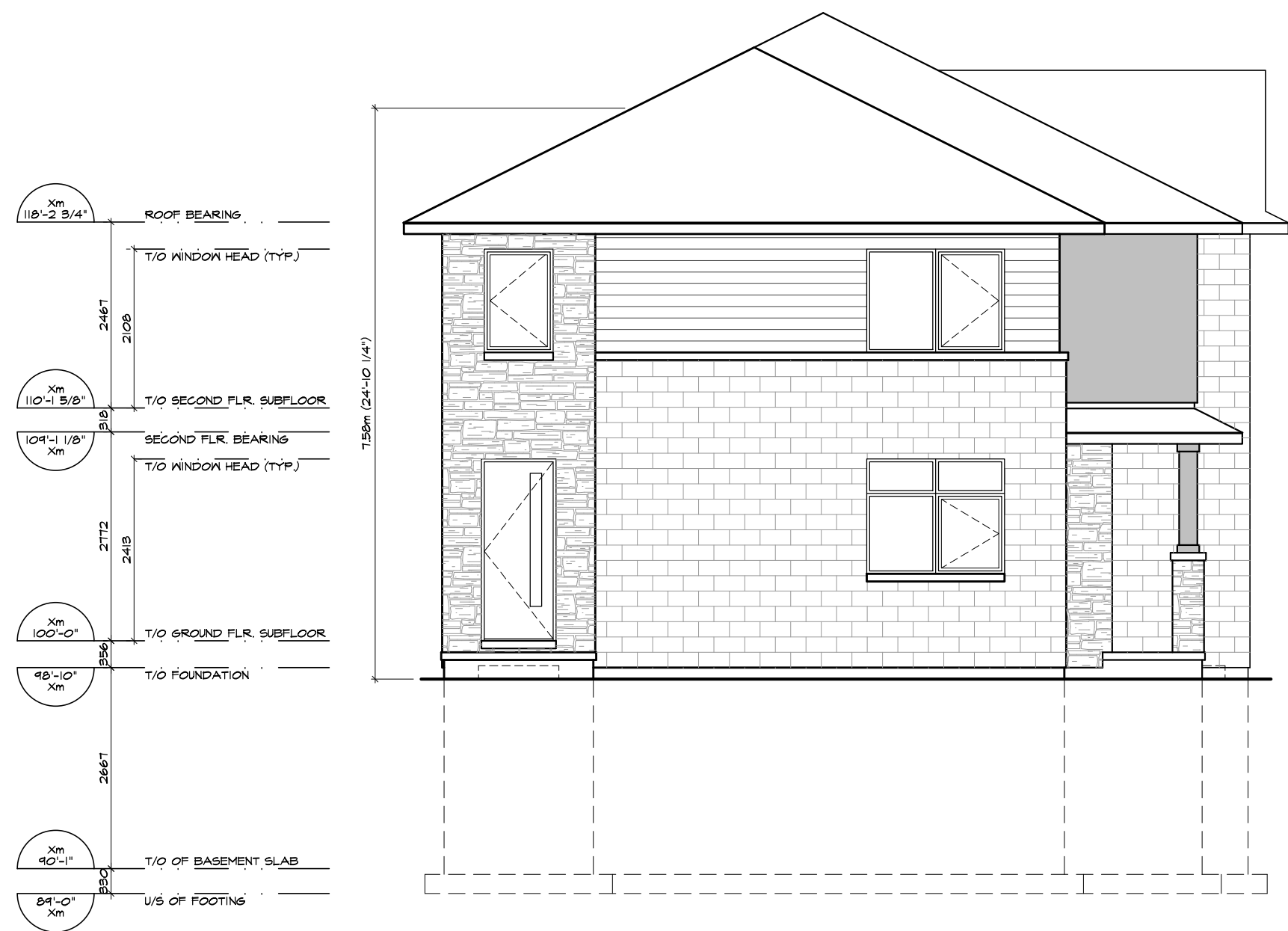
1 FRONT (SOUTH-WEST) ELEVATION
SCALE: 1 : 75



2 RIGHT SIDE (SOUTH-EAST) ELEVATION
SCALE: 1 : 75



3 REAR (NORTH-EAST) ELEVATION
SCALE: 1 : 75



4 LEFT SIDE (NORTH-WEST) ELEVATION
SCALE: 1 : 75