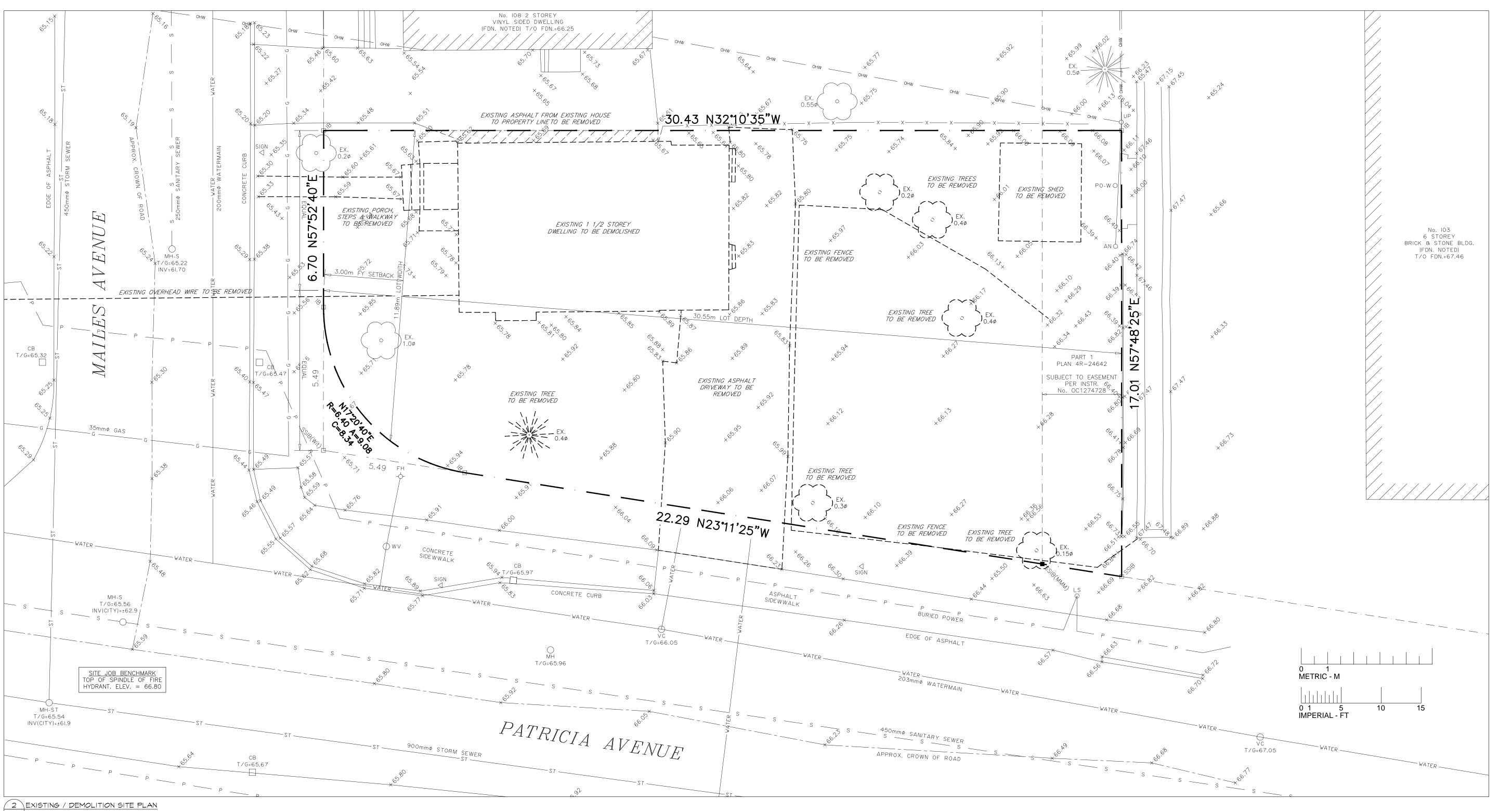
Committee of Adjustment Received | Reçu le

Revised | Modifié le : 2022-10-11

City of Ottawa | Ville d'Ottawa

Comité de dérogation





## D<sup>2</sup> concepts

739 RIDGEWOOD AVE., UNIT 201 OTTAWA, ONTARIO, K1V 6M8

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MV RE-SUBMISSION 2022.09.21 4 MV RE-SUBMISSION 2022.08.19 PLANNER / CLIENT REVISIONS 2022.08.09 PLANNER REVISIONS 2022.07.12 2022.06.06 PLANNER REVISIONS DATE NO. REVISION SEAL: NORTH: The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Firm Signature BCIN

MAILES CUSTOM HOME

Qualification Information Required unless design is exempt under Div. C - 3.2.5.1. of the building code

Registration Information
Required unless design is exempt under Div. C - 3.2.4.1. of the building code

112 MAILES AVENUE OTTAWA, ONTARIO, K1Z 6V6

DRAWING:

LOCATION MAP
EXISTING / DEMOLITION SITE PLAN

DATE: FEBRUARY 2022

SCALE: AS NOTED

DRAWN: PK

CHECKED: PR

JOB NO. 0459

ESP1

LOT 74 FARLEY REGISTERED PLAN No. 400 ONTARIO	SURVEY PREPARED BY: FARLEY, SMITH & DENIS SURVEYING LTD.  ONTARIO LAND SURVEYORS DATED: 3 FEBRUARY 2022		
II2 MAILES AVENUE - SINGLE FAMILY DWELLING	MAILES AVENUE - SINGLE FAMILY DWELLING RIS ZONING BY-LAW 2008-250		
PERFORMANCE STANDARD	ERFORMANCE STANDARD BY-LAW REQUIRED		MV REQ.
PATRICIA AVE. FRONTAGE STREETSCAPE ANALYSIS FRONT FACING GARAGE / CARPORT	CHARACTER GROUP A NOT PERMITTED FRONT FACING GARAGE	FRONT FACING GARAGE	MV REQ.
PATRICIA AVE. FRONTAGE STREETSCAPE ANALYSIS ACCESS / DRIVEWAY / PARKING	THE POLICE OF THE PROPERTY OF		
PATRICIA AVE. FRONTAGE STREETSCAPE ANALYSIS PRINCIPAL ENTRY LOCATION	CHARACTER GROUP A DOOR FACES CORNER LOT LINE / STREET	FRONT FACING DOOR	
MINIMUM LOT DEPTH	NA	30.55 m	
MINIMUM LOT WIDTH	12.0 m	11.89 m	MV REQ.
MINIMUM LOT AREA	360.0 sq.m	439.17 sq.m	
MAXIMUM BUILDING HEIGHT (i)	8.0 m	± 7.58 m	

COMMON NAME

HACKBERRY

RED OAK

QTY.

SIZE

MINIMUM 50mm CAL.

MINIMUM 50mm CAL.

PLANTING SCHEDULE

BOTANICAL NAME

QUERCUS RUBRA

CELTIS OCCIDENTALIS

	PERFORMANCE STANDARD	BY-LAW REQUIRED	PROVIDED	MV REQ.
	MINIMUM FRONT YARD SETBACK (ii)	3.0 m	3.0 m	
	MINIMUM FRONT YARD AREA	NA	68.97 sq.m	
	MINIMUM FRONT YARD LANDSCAPE AREA (III)	27.59 sq.m (40%)	66.55 sq.m (96.49%)	
	MINIMUM CORNER YARD SETBACK (II)	3.89 m	2.71 m	MV REQ.
	MINIMUM CORNER YARD AREA	NA	67.12 sq.m	
	MINIMUM CORNER YARD LANDSCAPE AREA (IV)	26.85 sq.m (40%)	30.55 sq.m (45.51%)	
	MINIMUM INTERIOR SIDE YARD SETBACK	1.20 m	1.20 m	
	MINIMUM REAR YARD SETBACK (V)	7.50 m	6.20 m (20.29%)	MV REQ.
	MINIMUM REAR YARD AREA (V)	109.79 sq.m (25%)	102.52 sq.m (23.34%)	MV REQ.
	MAXIMUM DRIVEWAY WIDTH - MAILES AVE.	3.0 m	NA	
	MAXIMUM DRIVEWAY WIDTH - PATRICA AVE.	6.0 m	6.0 m	
EXISTING AVERAGE GRADE CALCULATION - TO BE CONFIRMED BY SURVEYOR OR			CIVIL	
	FRONT EXISTING GRADE	65.74 m - LEFT	66.13 m - RIGHT	6E 70

109.79 sq.m (25%)	102.52 sq.m (23.34%)	MV REQ.	
3.0 m	NA		
6.0 m	6.0 m		
EXISTING AVERAGE GRADE CALCULATION - TO BE CONFIRMED BY SURVEYOR OR CIVIL			
65.74 m - LEFT	66.13 m - RIGHT	6E 70	
65.50 m - LEFT	65.80 m - RIGHT	65.79 m	
	3.0 m 6.0 m  ONFIRMED BY SURVEYOR OR 65.74 m - LEFT	3.0 m NA 6.0 m 6.0 m  ONFIRMED BY SURVEYOR OR CIVIL  65.74 m - LEFT 66.13 m - RIGHT	

BURLAP & BASKET, SEE TREE PLANTING DETAIL 3/SPI.

BURLAP & BASKET, SEE TREE PLANTING DETAIL 3/SPI.

REMARKS

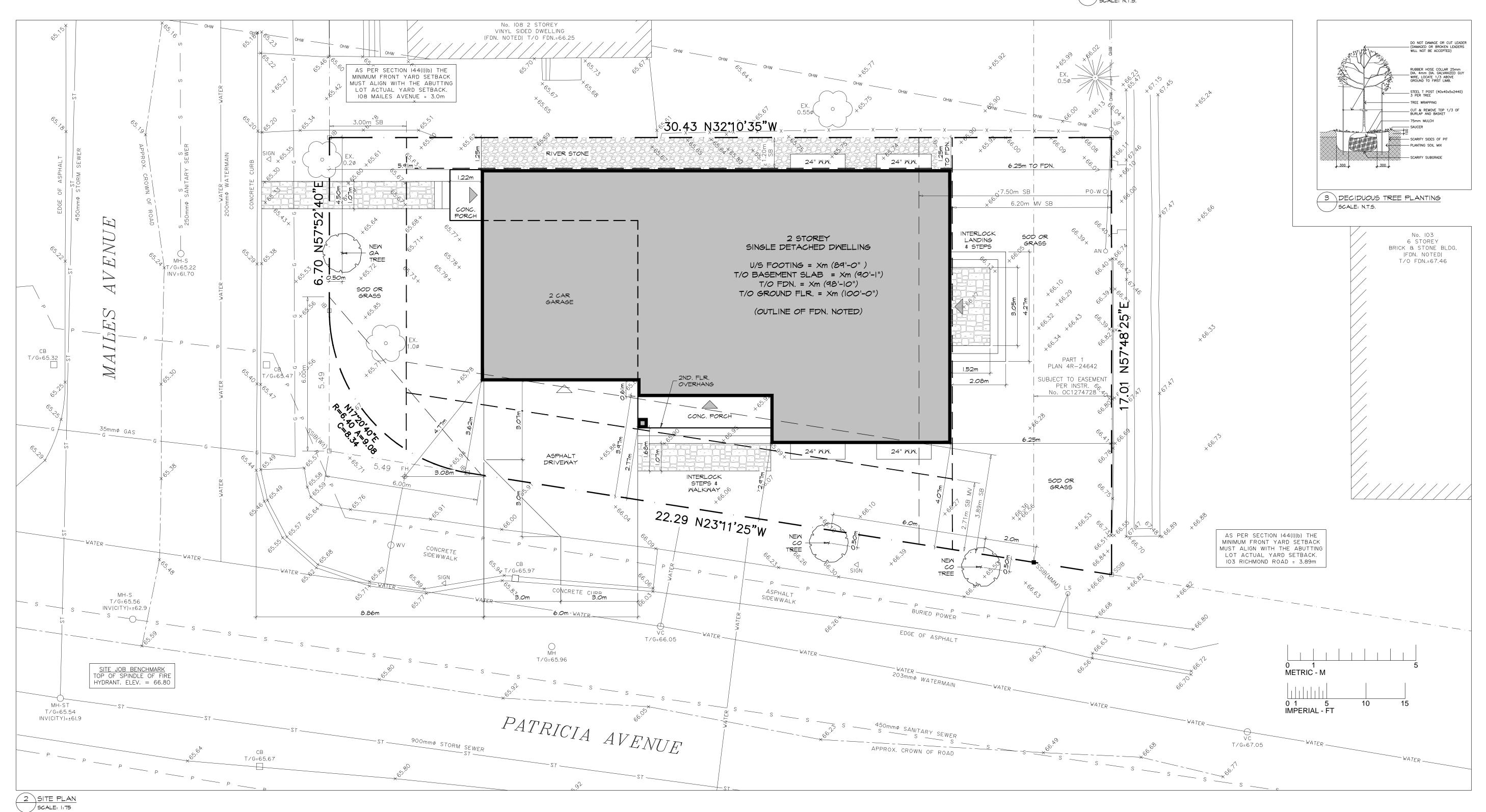
BUILDING INFORMATION			
FOOTPRINT FOUNDATION AREA	O/S FOUNDATION	180.75 sq.m 179.49 sq.m	(1945.57 sq.ft) (1932.00 sq.ft)
BASEMENT AREA BASEMENT AREA	I/S FOUNDATION I/S FRAMING	118.52 sq.m 110.79 sq.m	(1275.78 sq.ft) (1192.59 sq.ft)
GROUND FLOOR AREA GROUND FLOOR AREA GROUND FLOOR AREA GROUND FLOOR AREA - NO GARAGE GROUND FLOOR AREA - NO GARAGE GROUND FLOOR AREA - NO GARAGE	O/S CLADDING O/S FRAMING I/S FRAMING O/S CLADDING O/S FRAMING I/S FRAMING	172.23 sq.m 164.19 sq.m 156.30 sq.m 118.52 sq.m 126.41 sq.m 123.29 sq.m	(1853.86 sq.ft) (1767.31 sq.ft) (1682.44 sq.ft) (1275.78 sq.ft) (1360.64 sq.ft) (1327.05 sq.ft)
SECOND FLOOR AREA SECOND FLOOR AREA SECOND FLOOR AREA	O/S CLADDING O/S FRAMING I/S FRAMING	- sq.m 170.50 sq.m 162.62 sq.m	(- sq.ft) (1835.31 sq.ft) (1750.44 sq.ft)
70NING ENDNOTES			

## ZONING ENDNOTES

- BUILDING HEIGHT CALCULATED FROM THE EXISTING AVERAGE GRADE PRIOR TO ANY SITE ALTERATIONS. FRONT / CORNER YARD SETBACK IS THE AVERGAGE OF THE ADJACENT LOTS EXISTING
- SETBACK, BUT NEED NOT EXCEED THE MIN. REQUIRED FOR SUBZONE \$ NO CLOSER THAN 1.5m. FRONT YARD SOFT LANDSCAPE AREA IS MINIMUM OF 40% OF THE FRONT YARD AREA CORNER YARD SOFT LANDSCAPE AREA IS MINIMUM OF 40% OF THE FRONT YARD AREA CORNER YARD SOFT LANDSCAPE AREA IS MINIMUM OF 40% OF THE CORNER YARD AREA MINIMUM REAR YARD SETBACK IS 25% OF THE LOT DEPTH WHICH MUST COMPRISE AT LEAST 25% OF THE AREA OF THE LOT, HOWEVER IT MAY NOT BE LESS THAN 6.0m & NEED NOT EXCEED 7.5m.



I LOCATION MAP SCALE: N.T.S.



739 RIDGEWOOD AVE., UNIT 201 OTTAWA, ONTARIO, K1V 6M8

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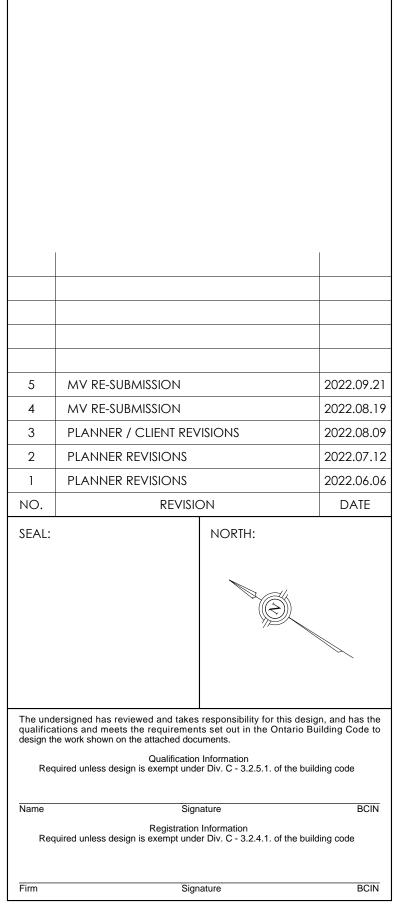
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ZONING END NOTES

DO NOT SCALE DRAWINGS.

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- THE ADJACENT LOTS EXISTING SETBACK, BUT NEED NOT EXCEED THE MIN. REQUIRED FOR SUBZONE & NO CLOSER FRONT YARD SOFT LANDSCAPE AREA IS MINIMUM OF 40%
- OF THE FRONT YARD AREA. CORNER YARD SOFT LANDSCAPE AREA IS MINIMUM OF
- 40% OF THE CORNER YARD AREA.
  MINIMUM REAR YARD ARE NOT REQUIRED DUE ABUTTING A
  NONE RESIDENTIAL ZONE.



MAILES CUSTOM HOME

112 MAILES AVENUE

OTTAWA, ONTARIO, K1Z 6V6

SHEET NO.:

LOCATION MAP & SITE PLAN

ZONING INFORMATION

BUILDING INFORMATION

FEBRUARY 2022

AS NOTED

0459

DRAWING:

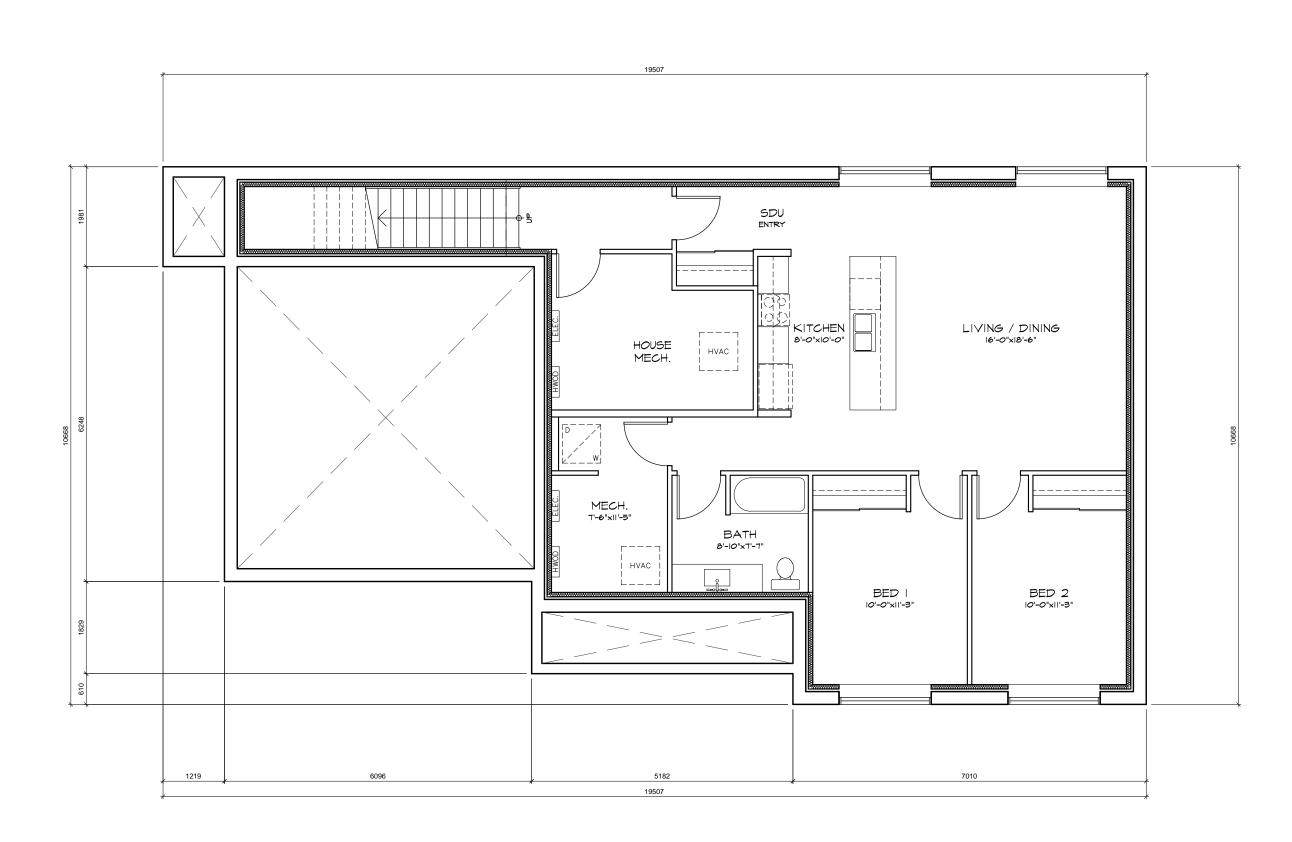
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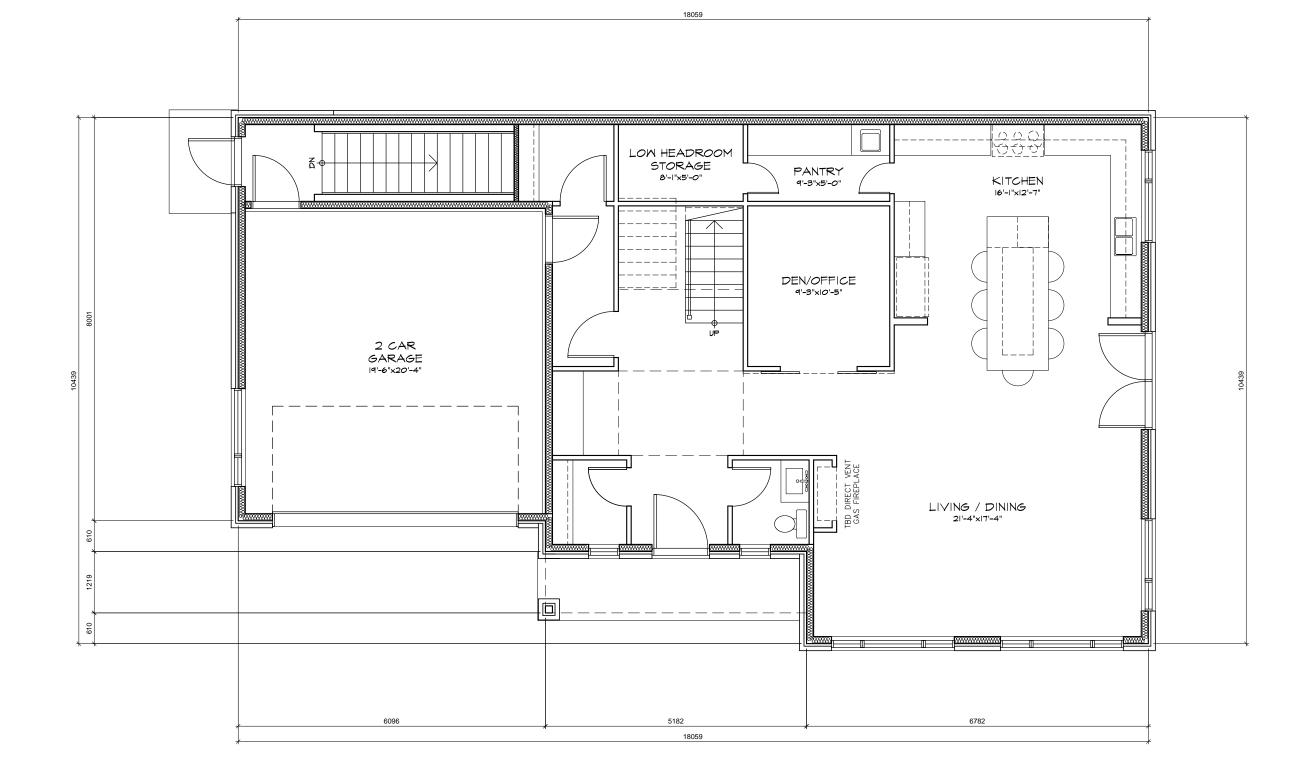
SCALE:

DRAWN:

CHECKED:

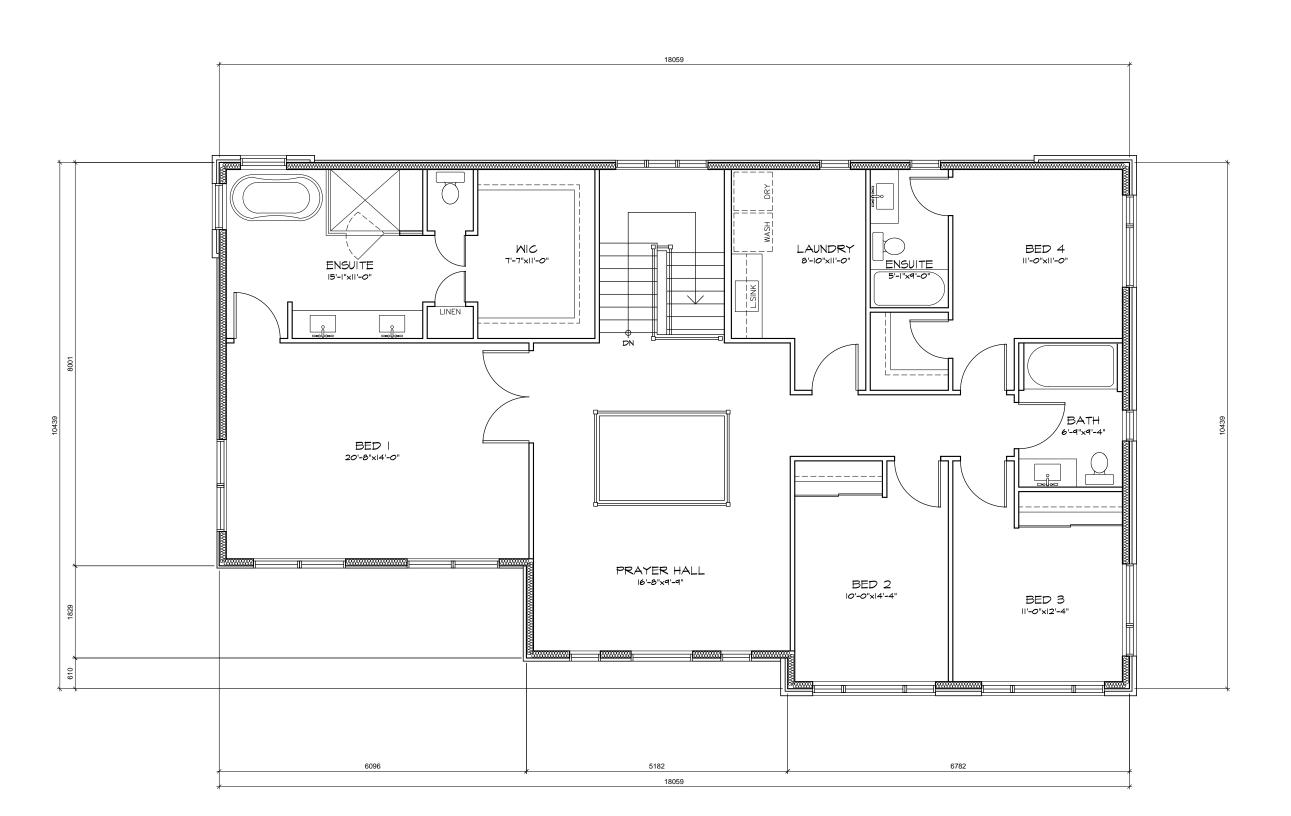
JOB NO.

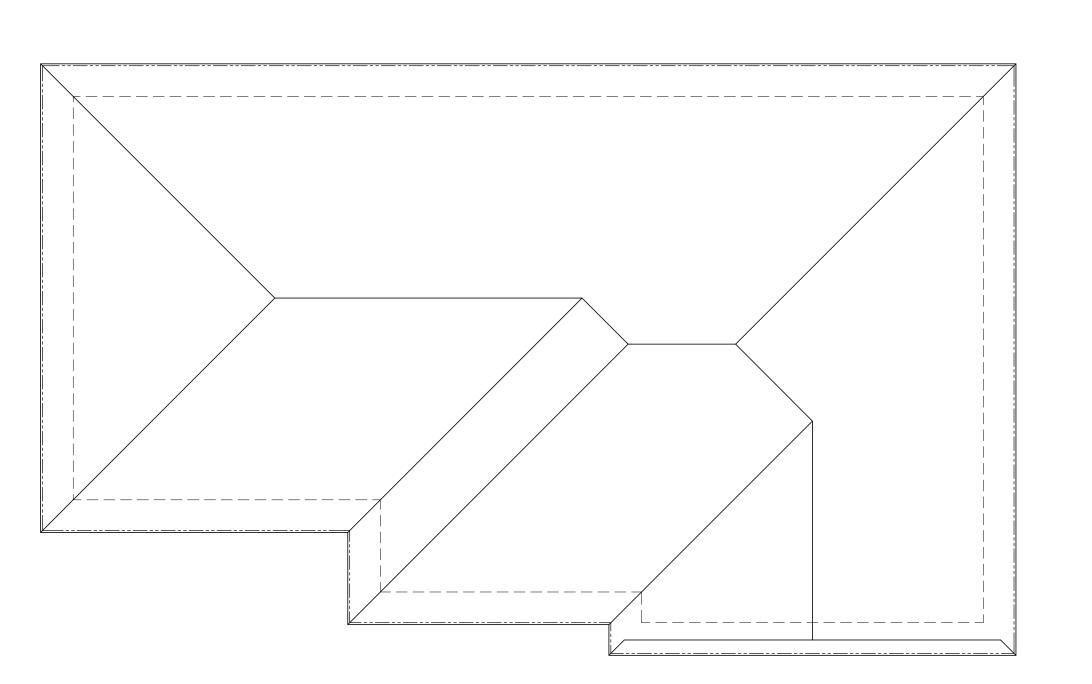




BASEMENT FLOOR PLAN SCALE: 1: 75







3 SECOND FLOOR PLAN

4 ROOF PLAN SCALE: 1: 75

## D<sup>2</sup> concepts

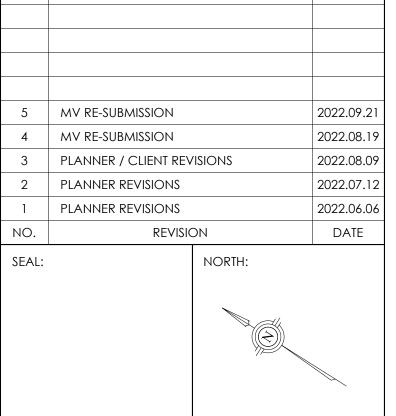
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MAILES CUSTOM HOME
112 MAILES AVENUE

OTTAWA, ONTARIO, K1Z 6V6

DRAWING:
FLOOR PLANS

CHECKED:

JOB NO.

DATE:	FEBRUARY 2022	SHEET NO.:
SCALE:	AS NOTED	
DRAWN:	PK	

0459

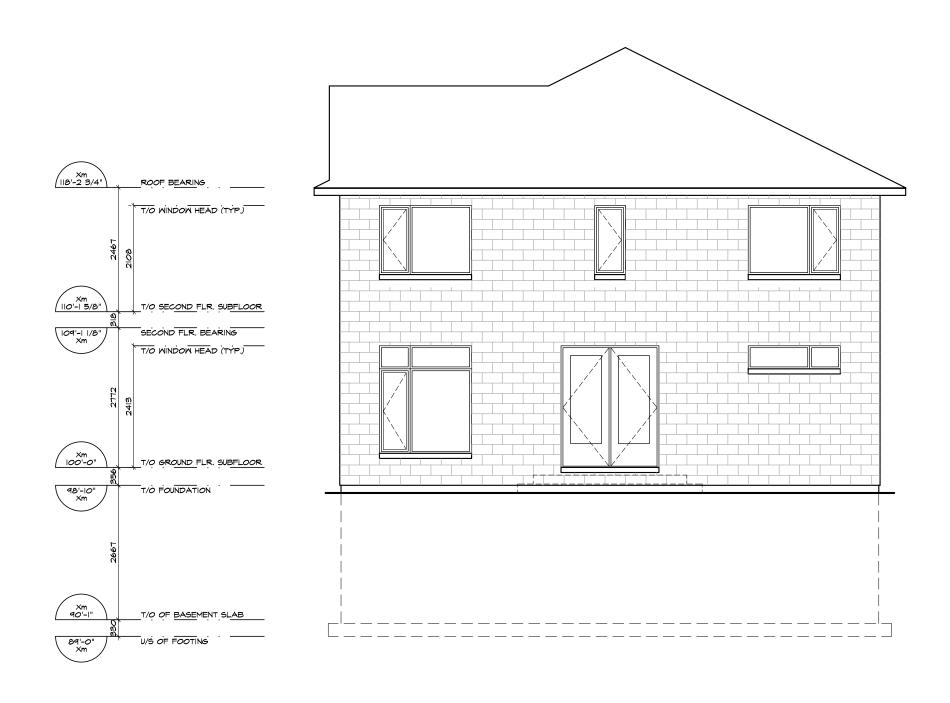
FP1



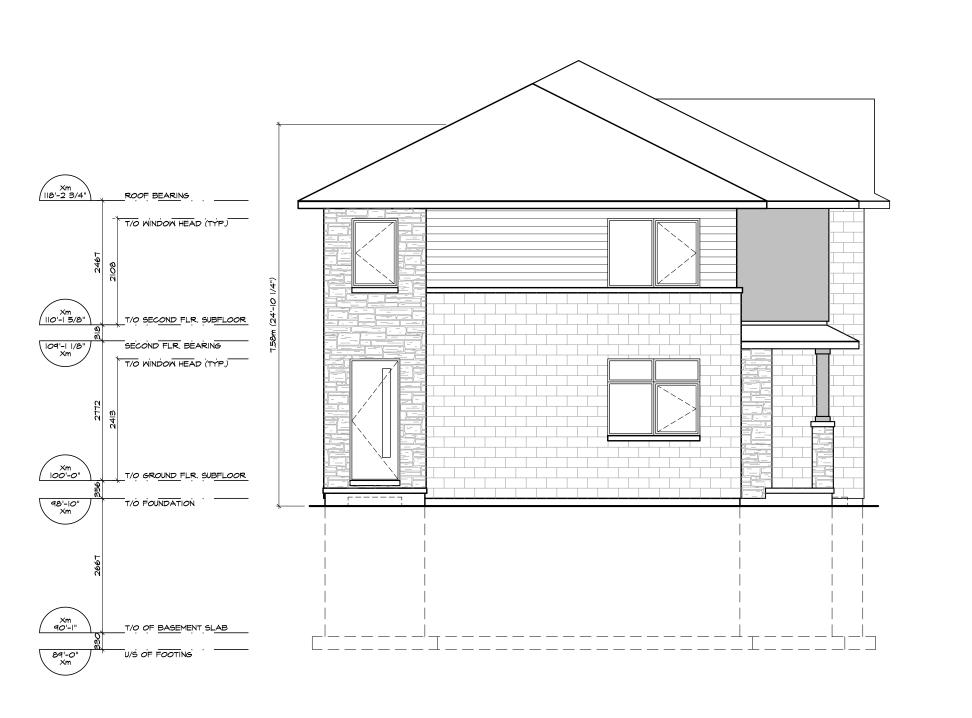




3 REAR (NORTH-EAST) ELEVATION SCALE: 1: 75



2 RIGHT SIDE (SOUTH-EAST) ELEVATION SCALE: 1: 75



4 LEFT SIDE (NORTH-WEST) ELEVATION SCALE: 1: 75



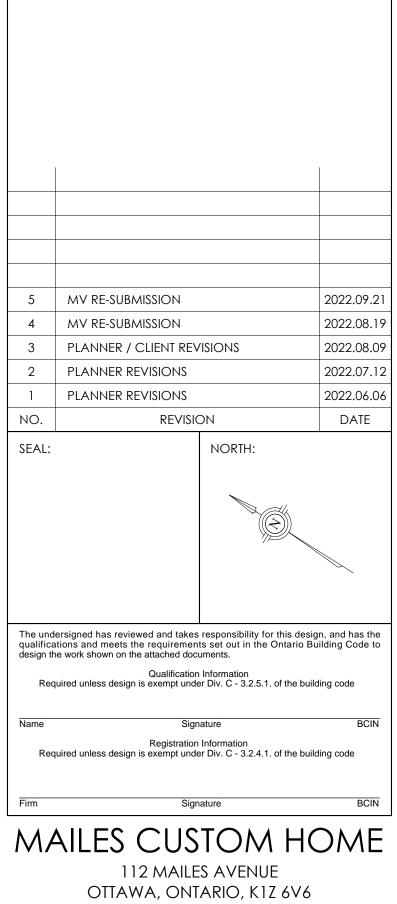
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DRAWING:

DATE:

SCALE:

DRAWN:

CHECKED:

JOB NO.

ELEVATIONS

FEBRUARY 2022 SHEET NO.:

AS NOTED

0459