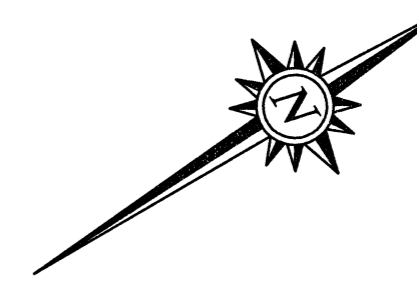
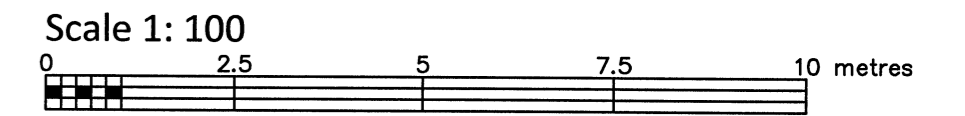


Committee of Adjustment
Received | Reçu le
2022-11-29
City of Ottawa | Ville d'Ottawa
Comité de dérogation



SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
PART OF LOT 49
REGISTERED PLAN 57
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2017



Metric Note
Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Bearing Note
Bearings are astronomic and are referred to the westerly limit of Armstrong Street having a bearing of N 33° 02' 45" E as shown on Plan 5R-12429.

Notes & Legend

□	Denotes	Survey Monument Planted
■	Survey Monument Found	
SIB	Standard Iron Bar	
SSIB	Short Standard Iron Bar	
IB	Iron Bar	
IBØ	Round Iron Bar	
(Wit)	Witness	
Meas	Measured	
(P1)	Registered Plan 57	
(P2)	Plan by (1692) dated August 19, 2015 (Ref. 290-15)	
(P3)	Plan by (1236) dated August 18, 2008	
(P4)	Plan by (MMM) dated June 11, 2013	
(D1)	Inst. CR669824	
647/F&M	Farley & Martin Ltd. dated April 16, 1975	
1692	Farley, Smith & Denis Surveying Ltd.	
OW	Overhead Wires	
UP	Utility Pole	
C/L	Centreline	
CLF	Chain Link Fence	
SRW	Stone Retaining Wall	



REGISTERED

ARMSTRONG STREET
(Formerly East Avenue)

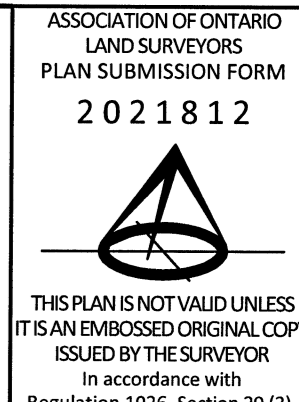
- PART 2**
- REGISTERED RIGHTS-OF-WAY/EASEMENTS
No rights-of-way or easements were found to be registered against the subject property.
 - PROPERTY IMPROVEMENTS
Fencing and Retaining Walls are displaced from the property lines. See Plan for Location.
 - COMPLIANCE WITH MUNICIPAL ZONING BYLAWS
Compliance is not certified by this report.
 - ADDITIONAL REMARKS
The building ties are to the untargeted concrete foundation walls.

THIS REPORT WAS PREPARED FOR:
R. Gibson (The Client), the Client's solicitors, mortgagees, and other related parties. The undersigned accepts no responsibility for use by other parties. See Part 2 of this Report.

Surveyor's Certificate
I certify that:

- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
- The survey was completed on the 31st day of August, 2017.

Date: Sept. 19/17
Daniel Robinson
Ontario Land Surveyor



FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS
190 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J5
TEL. (613) 727-8226 FAX. (613) 727-1826

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I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: _____

RONALD A. DENIS
ONTARIO LAND SURVEYOR

PLAN 4R-
RECEIVED AND DEPOSITED

DATE: _____

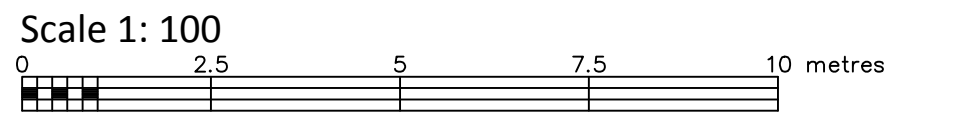
REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
OTTAWA-CARLETON NO. 4.

SCHEDULE			
PART	LOT	PLAN	PIN
1	PART OF 49	57	PART OF 04095-0244
2	49		PART OF 04095-0244

PARTS 1 & 2 COMPRISE ALL OF PIN 04095-0244.

PLAN OF SURVEY OF
**PART OF LOT 49
REGISTERED PLAN 57
CITY OF OTTAWA**

FARLEY, SMITH & DENIS SURVEYING LTD. 2016



Metric Note
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Bearing Note
Bearings are astronomic and are referred to the westerly limit of Armstrong Street having a bearing of N 33° 02' 45" E as shown on Plan SR-12429.

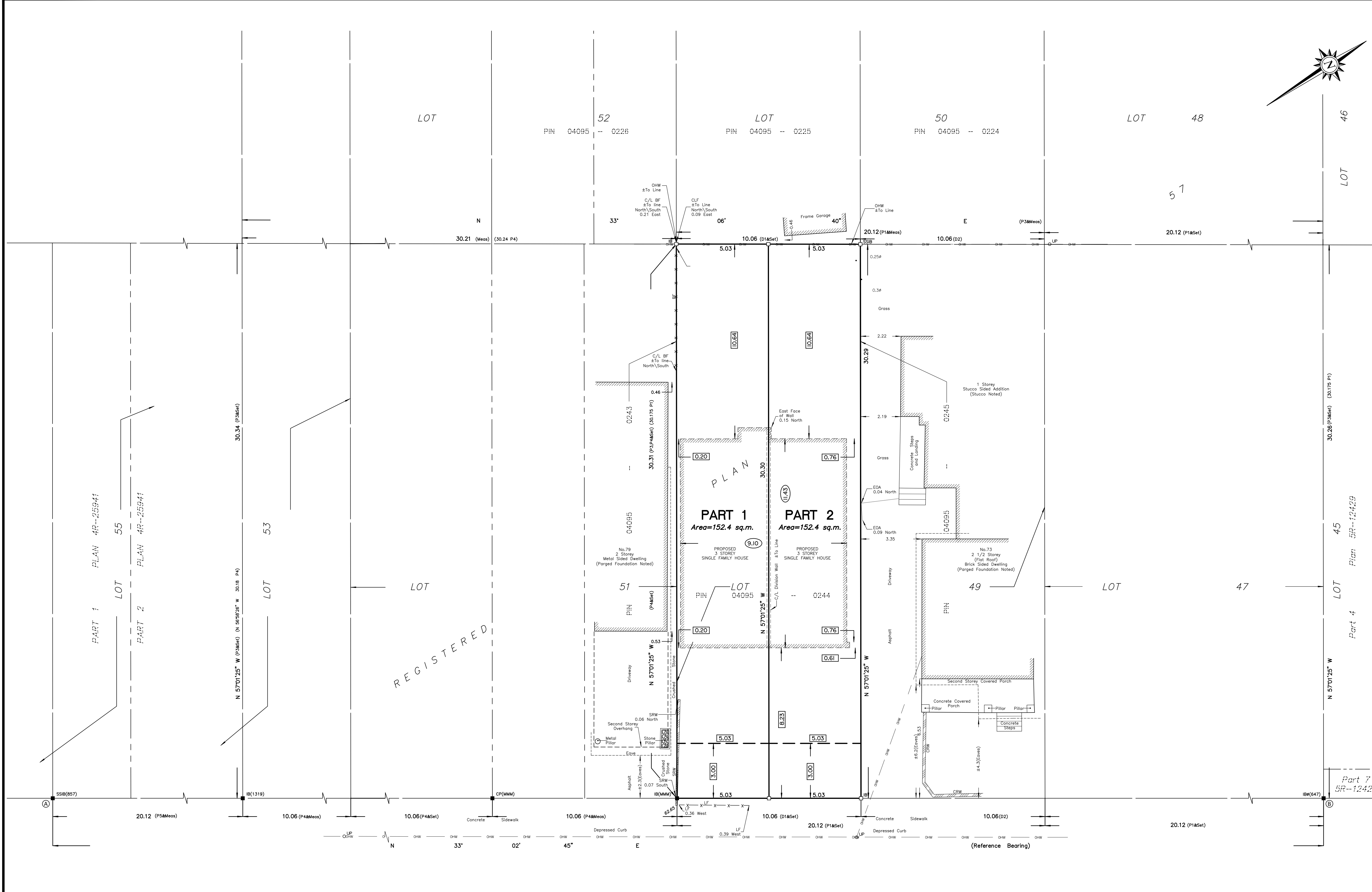
Notes & Legend

—□—	Denotes	Survey Monument Planted
—■—		Survey Monument Found
—SIB—		Standard Iron Bar
—SSIB—		Short Standard Iron Bar
—IB—		Iron Bar
—IBØ—		Round Iron Bar
—(WIT)—		Witness
—Meas—		Measured
—(P1)—		Registered Plan 57
—(P2)—		Plan by (S7) dated October 29, 2012
—(P3)—		Plan by (1236) dated August 18, 2008
—(P4)—		Plan by (MMM) dated June 11, 2013
—(P5)—		Plan 4R-25941
—(D1)—		Inst. CR659824
—(D2)—		Inst. M622566
—647/F&M—		Farley & Martin Ltd. dated April 16, 1975
—1692—		Farley, Smith & Denis Surveying Ltd.
—OW—		Overhead Wires
—cUP—		Utility Pole
—FH—		Fire Hydrant
—C/L—		Centreline
—Ø—		Diameter
—B—		Bollard
—CLF—		Chain Link Fence
—LF—		Lattice Fence
—BF—		Board Fence
—CRW—		Concrete Retaining Wall
—SRW—		Stone Retaining Wall
—WRW—		Wood Retaining Wall
—		Deciduous Tree

Surveyor's Certificate
I certify that:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
2. The survey was completed on the Xth day of X, 2016.

Date: _____ Ronald A. Denis
Ontario Land Surveyor

FARLEY, SMITH & DENIS SURVEYING LTD.
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ARMSTRONG STREET
(Formerly East Avenue)
PIN 04095 -- 0150

SITE/GRADING PLAN OF
PART OF LOT 49
REGISTERED PLAN 57
CITY OF OTTAWA
 FARLEY, SMITH & DENIS SURVEYING LTD. 2017

Scale 1: 100
 0 2.5 5 7.5 10 metres

- Notes:**
- Contractor shall be responsible for obtaining all permits required to complete the works and ensure proper connections are made to existing municipal services.
 - The site/grading plan as proposed is under the direction of owner/agent and they assume full responsibility of the development as proposed.
 - The owner/agent assume full responsibility for scope and accuracy of the information shown.
 - The contractor shall be responsible to confirm they are working with appropriate plans.

Metric Note
 Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

- Elevation Notes**
- Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 -1978.
 - Elevations derived from Vertical Benchmark Mon. No. 3506, Index 118 having a published elevation of 67.236m.
 - It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that it's relative elevation and description agrees with the information shown on this drawing.

- Utility Notes**
- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 - Only visible surface utilities were located.
 - Underground utility data derived from City of Ottawa utility sheet reference: E-08-10 and Dwg. 2129 (Sheet 5 of 7).
 - Sanitary and storm sewer grades were derived from field measurement.
 - A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Legend

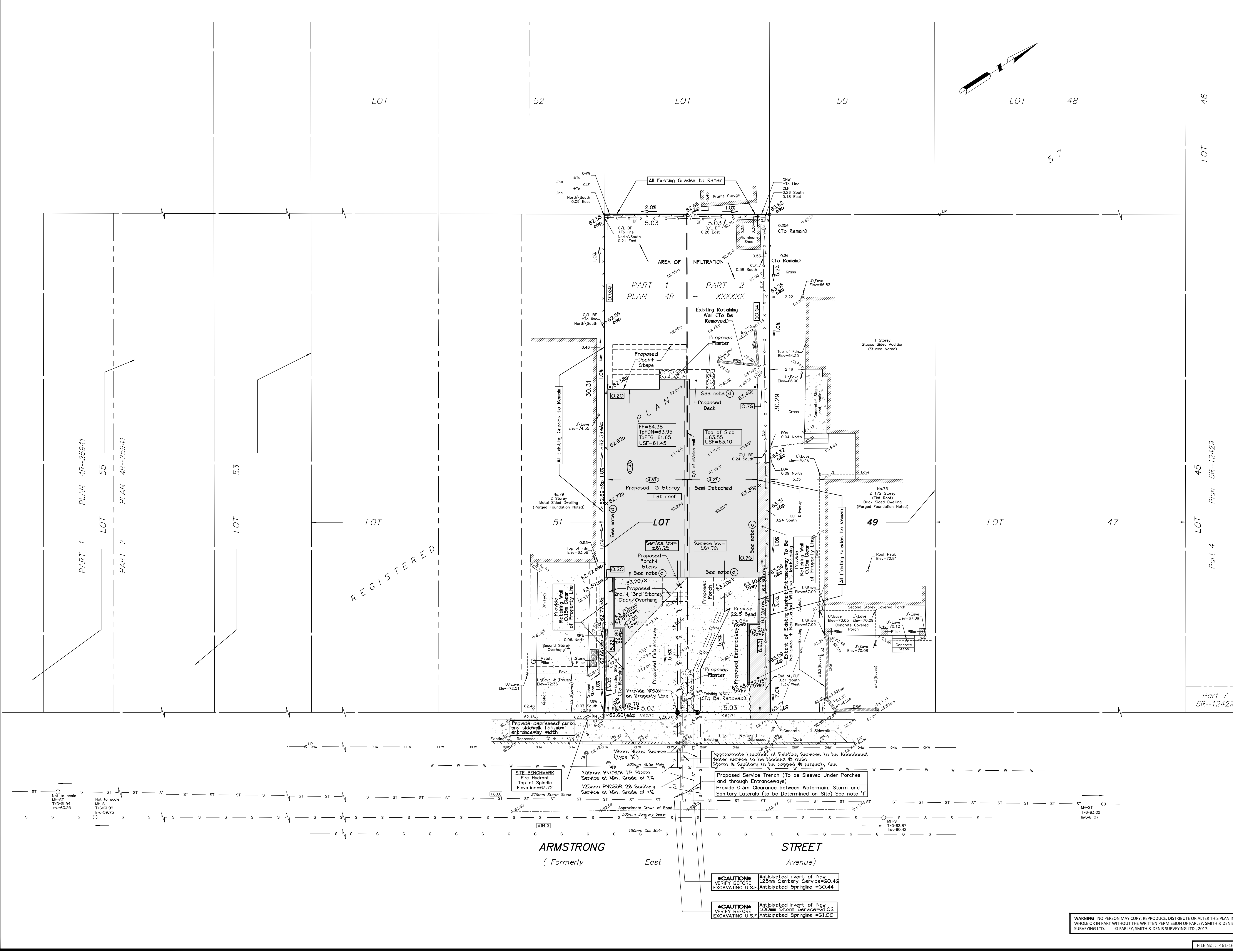
Symbol	Denotes	FINISHED FLOOR
F.F.		FINISHED FLOOR
TpFDN		TOP OF FOUNDATION
TpFTG		TOP OF FOOTING
USF		UNDERSIDE OF FOOTING
1.23		PROPOSED SETBACK
C/L		CENTRELINE
P		PROPOSED ELEVATION
e		EXISTING ELEVATION
DS		APPROXIMATE LOCATION OF DOWNSPOUTS
→		DIRECTION OF DRAINAGE
○ M-H-ST		Maintenance Hole (Storm)
○ M-H-S		Maintenance Hole (Sanitary)
— ST		Underground Storm Sewer
— S		Underground Sanitary Sewer
— W		Underground Water
— GW		Overhead Gas
○ UP		Utility Pole
◇ FH		Fire Hydrant
Inv.		Invert
T/G		Top of Grate
C/L		Centreline
GM		Gas Meter
AC		Air Conditioner
WV		Water Valve
vc		Valve Chamber (Watermain)
Ø		Diameter
o B		Bollard
CLF		Chain Link Fence
LF		Lattice Fence
BF		Board Fence
CRW		Concrete Retaining Wall
SRW		Stone Retaining Wall
WRW		Wood Retaining Wall
tw		Top of Wall
bw		Bottom of Wall
U/Eave		Underside of Eave
+65.00		Location of Elevations
+65.00		Top of Concrete Curb Elevation
•		Deciduous Tree

EXISTING CIVIC ADDRESS No. 77 ARMSTRONG STREET
 FOR CLARITY PURPOSES - THE EXISTING BUILDING, PORCH, STEPS, DECK, WRW, AC HAVE NOT BEEN SHOWN.

- If Applicable:**
- All trees on street right-of-way to be maintained before and after construction. All trees within property shall be protected as per the "municipal trees and natural areas protection by-laws" and the "urban trees conservation by-law" as amended from time to time.
 - Eavestroughs/downspouts shall be installed and directed towards the street. Location of downspouts are approximate, to be determined on site by others.
 - Discharges of downspouts shall be directed a minimum of 1.5m from property lines and not towards adjacent lands.
 - Ensure minimum 1.5metres soil coverage between underside of footing and surrounding grades or provide rigid foam insulation under footing for frost protection, if required.
 - Provide perimeter sub-drain along footings and connect to new storm service.
 - Confirmation of as-built inverts and their existence, to be determined prior to excavating proposed underside of footings. Ensure 0.30m clearance between watermain and sanitary/storm laterals at all crossings.
 - No excess drainage during and after construction will be directed towards adjacent properties.
 - There shall be no alterations to existing grades and drainage patterns on property lines.
 - Backwater valves to be installed per City of Ottawa Standard drawings S14, S14.1 and S14.2.

I CERTIFY THIS PLAN TO BE CORRECT.
 DATE January 05, 2017
 RONALD A. DENIS
 ONTARIO LAND SURVEYOR

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 CANADA LAND SURVEYORS
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File No.: 461-16