

GENERAL NOTES

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ISSUE RECORD

ISSUE	REV	DESCRIPTION	DATE
01	00	FOR CLIENT REVIEW	07-07-11
02	01	FOR MINOR VAR'CE APP.	07-25-11
03	01	FOR CLIENT REVIEW	12-21-11
04	02	PRE PERMIT REVIEW	'12-02-01
05	03	PRELIM TO STRUCT.	'12-02-06
06	04	FINAL STRU'L REVIEW	'12-02-27
07	05	BUILDING PERMIT	'12-02-29
08	06	CONSTRUCTION	'12-04-27

No	DATE	REVISION
06	'12-04-27	GENERAL
05	'12-02-29	GENERAL
04	'12-02-27	STRUCUTRAL NOTES
03	'12-02-06	BUILDING FOOTPRINT
02	'12-02-01	GENERAL REVISIONS
01	07-25-11	GENERAL REVISIONS
00	07-07-11	ORIGINAL DOCUMENT

PROJECT NORTH

TRUE NORTH

ONARIO ASSOCIATION OF ARCHITECTS  
ARCHITECT FLYNN ARCHITECTURE  
0131

CLIENT:  
CHRIS HAYMAN - OWNER  
Ken Hayman - OWNER

CONSULTANTS:

STRUCTURAL  
YANNICK DENIS  
GENIVAR INC.  
356 KIRKWOOD AV.  
OTTAWA, ON  
K1Z 8P1

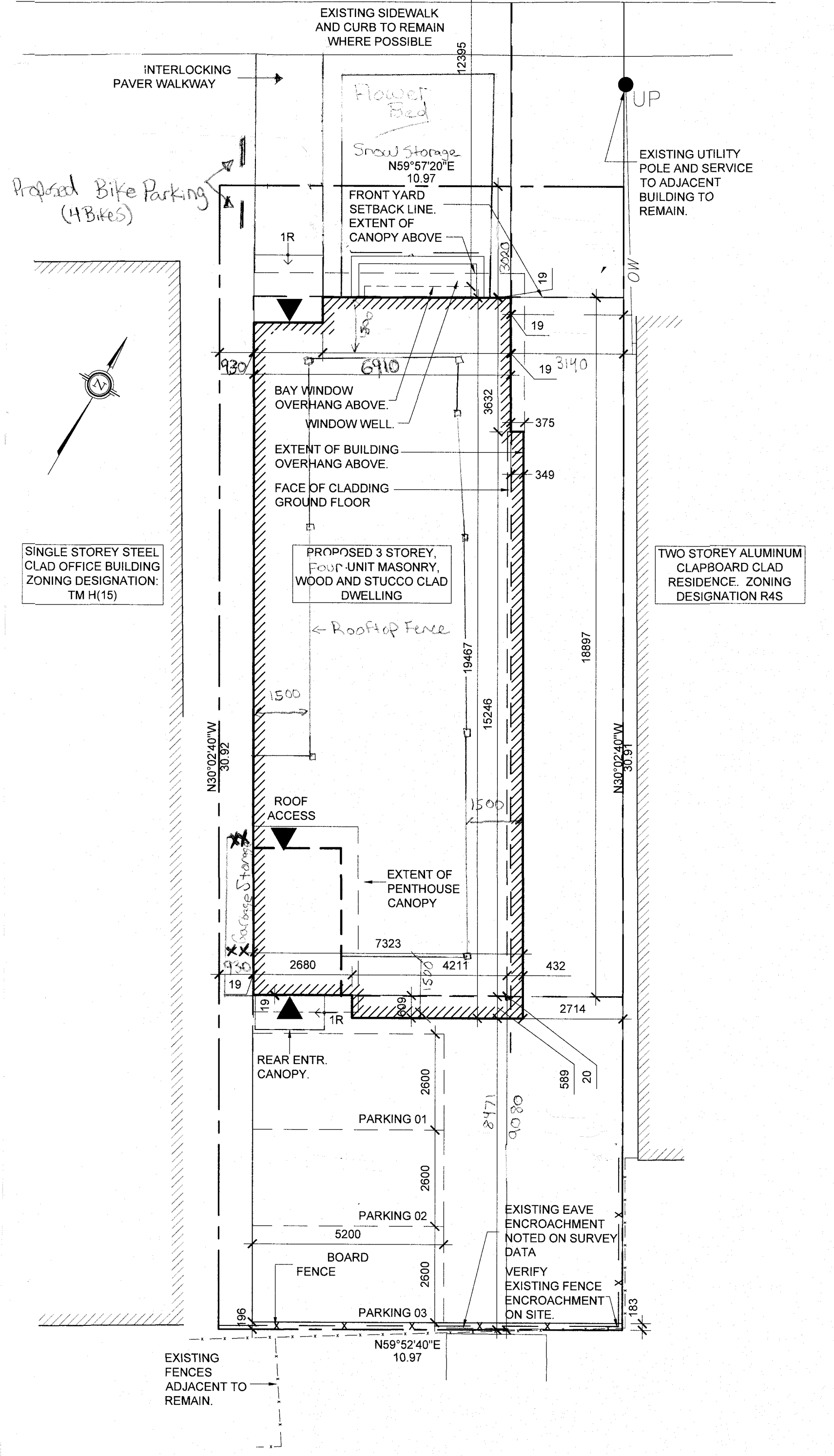
SERVICES AND GRADING  
KALEB LAKEW  
KOLLARD AND ASSOCIATES ENGINEERS  
P.O. BOX 189, 210 PRESCOTT ST.  
KEMPTVILLE, ON  
K0G 1J0

Survey  
R.B. Bennett  
Startec Geomatics LTD.

PRETORIA AVE.

CENTERLINE OF STREET

NOTE:  
DISCONNECT AND REMOVE  
SERVICES TO EXISTING  
HOUSE. TERMINATE AT MAINS  
UNDER STREET.



PROJECT TITLE:

214 PRETORIA

Fourplex Nov. 2022

LEGAL DESCRIPTION

PART 1 OF LOT 2 SOUTH PRETORIA,  
REGISTERED PLAN 44376, CITY OF OTTAWA

Site Plan Based on Survey Completed  
by Startec Geomatics LTD.  
G.L.S. Dated Oct. 24, 2022.

ZONING AREA SUMMARY

TOTAL AREAS	
TOTAL GROSS FLOOR AREA:	410.8 SQ. M (4419 SQ. FT.)
TOTAL GROSS LEASABLE FLOOR AREA	410.8 SQ. M (4419 SQ. FT.)
GROSS FLOOR AREA LESS BASEMENT	322.3 SQ. M (3424 SQ. FT.)
TOTAL COMMON SPACE:	59.8 SQ. M (643 SQ. FT.)
Total Lot Size	339.19M

ONTARIO BUILDING CODE AREAS

BUILDING AREA	137 SQ. M (1479 SQ. FT.)
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AREA AT EXTERIOR FACE OF EXT. WALL

BASEMENT FACE OF FOUND'N WALL	126.9 SQ. M (1366 SQ. FT.)
GROUND FACE OF CLAD'G / MNRY	128.9 SQ. M (1387 SQ. FT.)
SECOND FACE OF CLAD'G / MNRY	137.5 SQ. M (1479 SQ. FT.)
THIRD FACE OF CLAD'G	130.0 SQ. M (1399 SQ. FT.)
STAIR PENTHOUSE F/O OF CLAD'G	9.7 SQ. M (105 SQ. FT.)

ZONING AREAS

<b>BASEMENT LEVEL UNIT-01:</b>	
GROSS FLOOR AREA:	92.5 SQ. M (995 SQ. FT.)
GROSS LEASABLE FLOOR AREA:	92.5 SQ. M (995 SQ. FT.)
COMMON SPACE:	15.1 SQ. M (163 SQ. FT.)
<b>GROUND LEVEL UNIT-02:</b>	
GROSS FLOOR AREA:	102.3 SQ. M (1100 SQ. FT.)
GROSS LEASABLE FLOOR AREA:	102.3 SQ. M (1100 SQ. FT.)
COMMON SPACE:	15.7 SQ. M (168 SQ. FT.)
<b>SECOND LEVEL UNIT-03:</b>	
GROSS FLOOR AREA:	110.6 SQ. M (1190 SQ. FT.)
GROSS LEASABLE FLOOR AREA:	110.6 SQ. M (1190 SQ. FT.)
COMMON SPACE:	14.5 SQ. M (156 SQ. FT.)
<b>THIRD LEVEL UNIT-04:</b>	
GROSS FLOOR AREA:	105.4 SQ. M (1134 SQ. FT.)
GROSS LEASABLE FLOOR AREA:	105.4 SQ. M (1134 SQ. FT.)
COMMON SPACE:	14.5 SQ. M (156 SQ. FT.)

LEGEND

	DENOTES LOCATION OF NEW OVERHEAD GARAGE DOOR (NOT APPLICABLE)
	DENOTES LOCATION OF SWING DOOR BUILDING ENTRANCE
	DENOTES EXTENT OF ROOF ABOVE
	DENOTES LOCATION OF PROPERTY LINE
	DENOTES LOCATION OF NEW PARKING AREA FENCING
	Garbage & Recycling - Racking with Cedar Panels Facing Street.

Scale 1:100

SITE PLAN

SCALE 1:100



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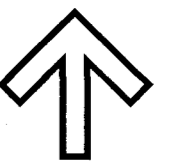
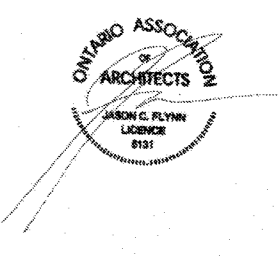
**ISSUE RECORD**

ISSUE	REV	DESCRIPTION	DATE
01	00	SCALE CORRECTION	MAR 27 2012
02	01	CONSTRUCTION	'12-04-27

ISSUE	DATE	DESCRIPTION
01	'12-04-27	GENERAL
00	MAR 27 2012	ORIGINAL DOCUMENT

No	DATE	REVISION

**PROJECT NORTH**

**CLIENT:**  
CHRIS HAYMAN

**CONSULTANTS:**  
**STRUCTURAL**  
YANNICK DENIS  
GENIVAR INC.  
356 KIRKWOOD AV.  
OTTAWA, ON  
K1Z 8P1

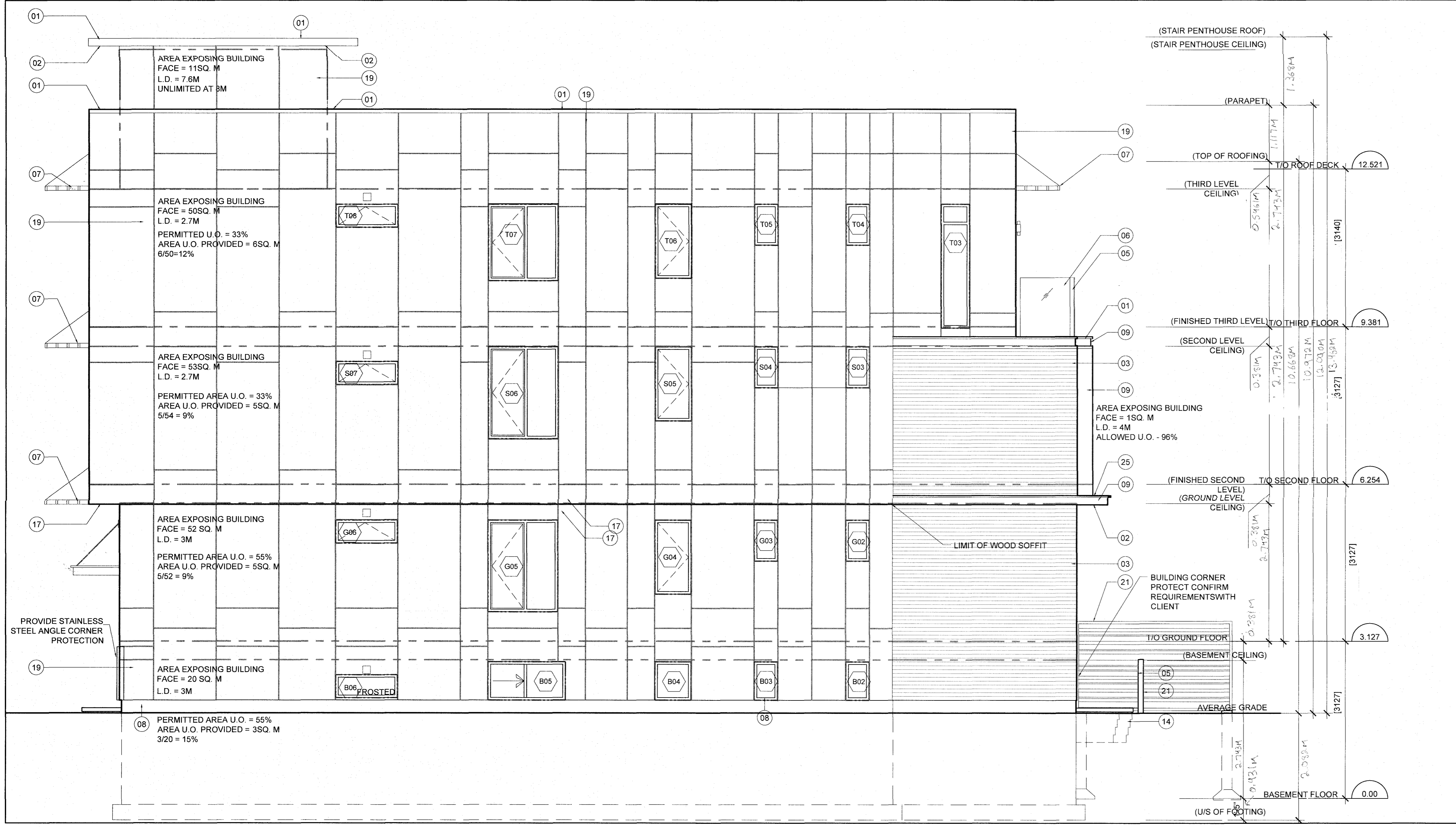
**SERVICES AND GRADING**  
KALEB LAKEW  
KOLLARD AND ASSOCIATES ENGINEERS  
P.O. BOX 189, 210 PRESCOTT ST.  
KEMPTVILLE, ON  
K0G 1J0

**PROJECT TITLE:**  
214 PRETORIA  
Fourplex

**DRAWING TITLE:**  
BUILDING ELEVATIONS

DATE	DRAWN BY	JOB No.	DRAWING No.
JAN 12	E.A.S. INC.	09-003	A-302

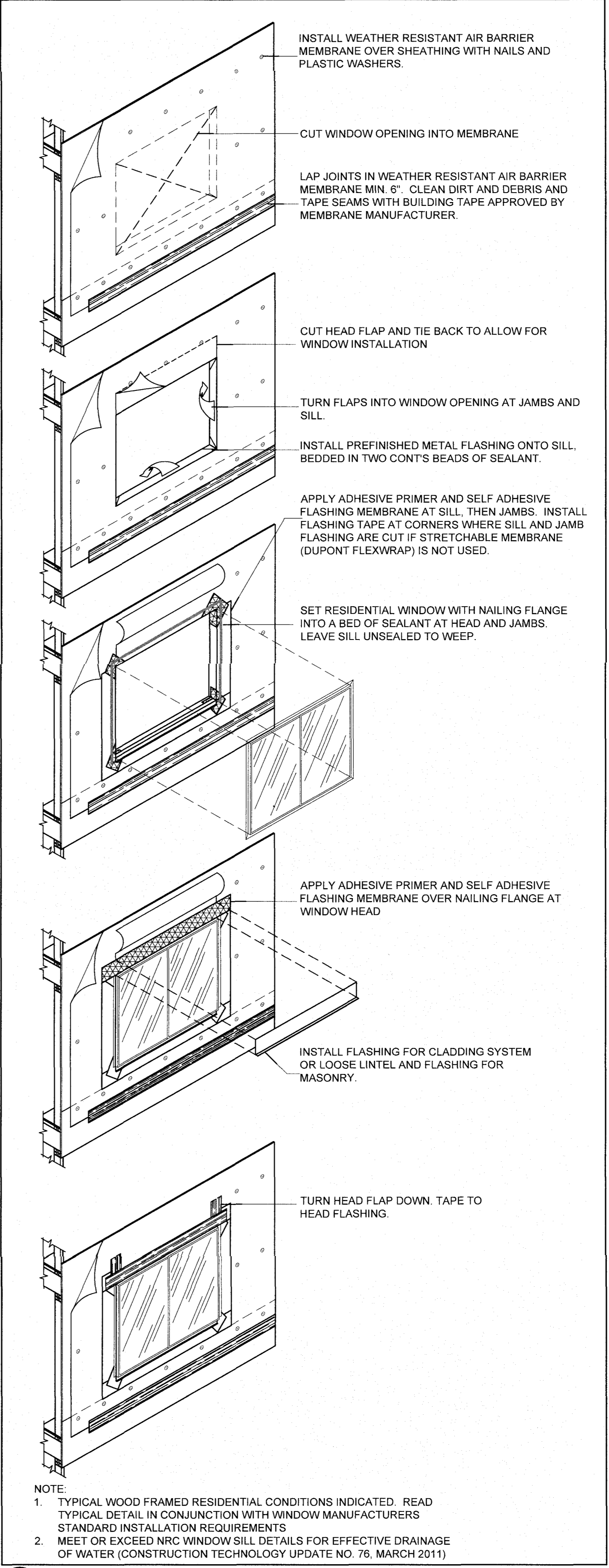
SCALE	CHECKED BY
AS NOTED	JCF



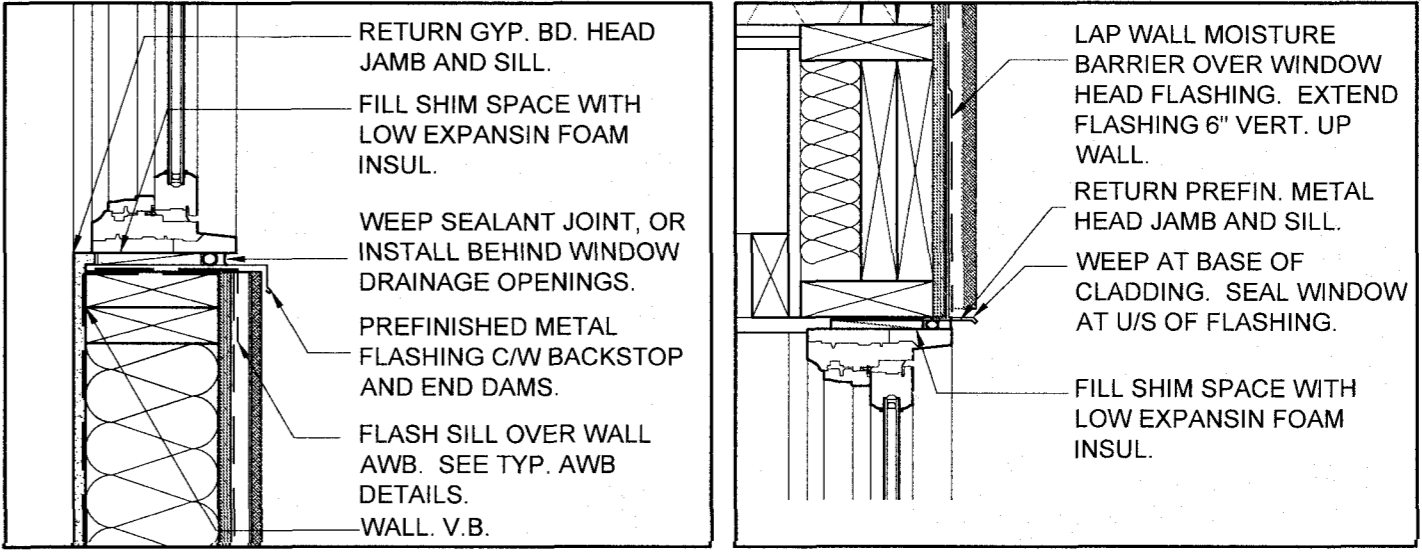
**01 WEST ELEVATION**  
SCALE 1/4" = 1'-0"

- ELEVATION NOTES**
- 01 PREFINISHED METAL FLASHING. COLOUR TO MATCH ADJACENT CLADDING MATERIAL.
  - 02 WOOD SOFFIT FINISHED WITH CETOL 123 CLEAR FINISH. ALL CEDAR FINISHES NOTED, PROVIDE CLEAR CEDAR.
  - 03 ARRISCRRAFT DRESSED STONE. FULL BED MASONRY, VARIED COURSING OF 4" (90MM) AND 10" (190MM) HIGH
  - 04 PRECAST CONCRETE STAIR/LANDING. SMOOTH FINISH (ARCHITECTURAL)
  - 05 POWDER COAT FINISHED STEEL GUARD SUPPORT. REFER TO DETAIL FOR FASTENING.
  - 06 3/4" LAMINATED CLEAR GLASS GUARD. REFER TO DETAIL FOR ATTACHMENT
  - 07 2 X 3 CEDAR WOOD HORIZONTAL SUN SCREEN SPACED 6" o.c. SUPPORTED FROM WALL WITH CABLES SEE DETAIL.
  - 08 CAST IN PLACE FOUNDATION WALL WITH CEMENT PARGING TO 6" BELOW GRADE.
  - 09 PREFINISHED METAL TO MATCH WINDOW FRAMES. LAMINATE METAL OVER PRESSURE TREATED PLYWOOD & BLOCKING.
  - 10 DARK GREY FIBERGLASS WINDOW FRAMES
  - 11 RECESSED MAILBOX MULTIPLE UNIT MAILBOX.
  - 12 PRE-CAST CONCRETE STAIR & LANDING ANCHOR TO FOUNDATION WALL
  - 13 POWDER COATED METAL BAR HANDRAIL
  - 14 GRAVITY RETAINING WALL WINDOW WELL
  - 15 TURN ROOF MEMBRANE MIN. 8" UP WALL. PROVIDE PREFINISHED METAL FLASHING TO MATCH WINDOW FRAMES. MIN. 2" STANDOFF FROM ROOF SURFACE TO CLADDING SYSTEM WHERE "8" IS REQUIRED.
  - 16 PROVIDE 3/8" - 3/4" WIDE SEALANT JOINT AT JUNCTIONS IN MATERIAL. VENTED DRAINED SEALANT JOINTS WEPT AT BOTTOM FOR PRESSURE EQUALIZED DRAINED AND VENTED CLADDING SYSTEMS. PROVIDE BOND BREAKING BACKUP.

- 17 5/16" SMOOTH JAMES HARDIE HARDIBOARD PANEL SOFFIT, NOT PERFORATED
  - 18 P.T. WOOD DECK C/W 1 1/2" CEDAR WOOD DECKING AND 5/4" CEDAR WOOD FACING / SKIRT.
  - 19 PREFINISHED CLADDING PANEL BY JAMES HARDIE C/W MANUFACTURER SUPPLIED METAL EDGE TRIM ACCESSORY.
  - 20 OPEN CEDAR WOOD TRELLIS FRAMING.
  - 21 2X4" HORIZONTAL WOOD SCREEN/GUARD. MAXIMUM 3/16" SPACE BETWEEN MEMBERS TO PREVENT CLIMBING PER 9.8.8.6. O.B.C. 2006
  - 22 PREFINISHED EAVES TROUGH TO MATCH FASCIA C/W GUTTER HELMET
  - 23 LETTERING - SURFACE MOUNTED RESTORATION HARDWARE MOUNTED TO MASONRY.
  - 24 SURFACE MOUNTED LIGHT FIXTURE.
  - 25 FLAT ROOF. CANTILEVER FRAMING WITH BLUESKIN AND PREFIN METAL CLADDING. SLOPE AWAY.
  - 26 STEEL CHANNEL AND CEDAR FENCE BOARD PRIVACY SCREEN. METAL PAINTED TO MATCH PREFINISHED METAL FLASHING.
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**02 TYPICAL AIR/WEATHER BARRIER INSTALLATION AT WINDOW**  
NTS



**03 SECTION DETAIL. TYP'L WINDOW SILL**  
NTS

**04 SECTION DETAIL. TYP'L WINDOW HEAD**  
NTS





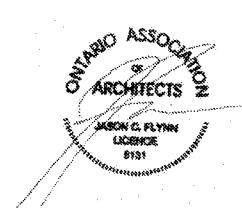
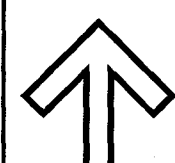
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06	05	SCALE CORRECTION	12-03-27
07	06	CONSTRUCTION	12-04-27

No	DATE	REVISION
06	12-08-27	GENERAL
04	12-02-29	GENERAL
03	12-02-27	STRUCTURAL NOTES
02	12-02-06	BUILDING FOOTPRINT
01	12-02-01	GENERAL
00	12-21-11	ORIGINAL DOCUMENT



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CONSULTANTS:

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356 KIRKWOOD AV.  
OTTAWA, ON  
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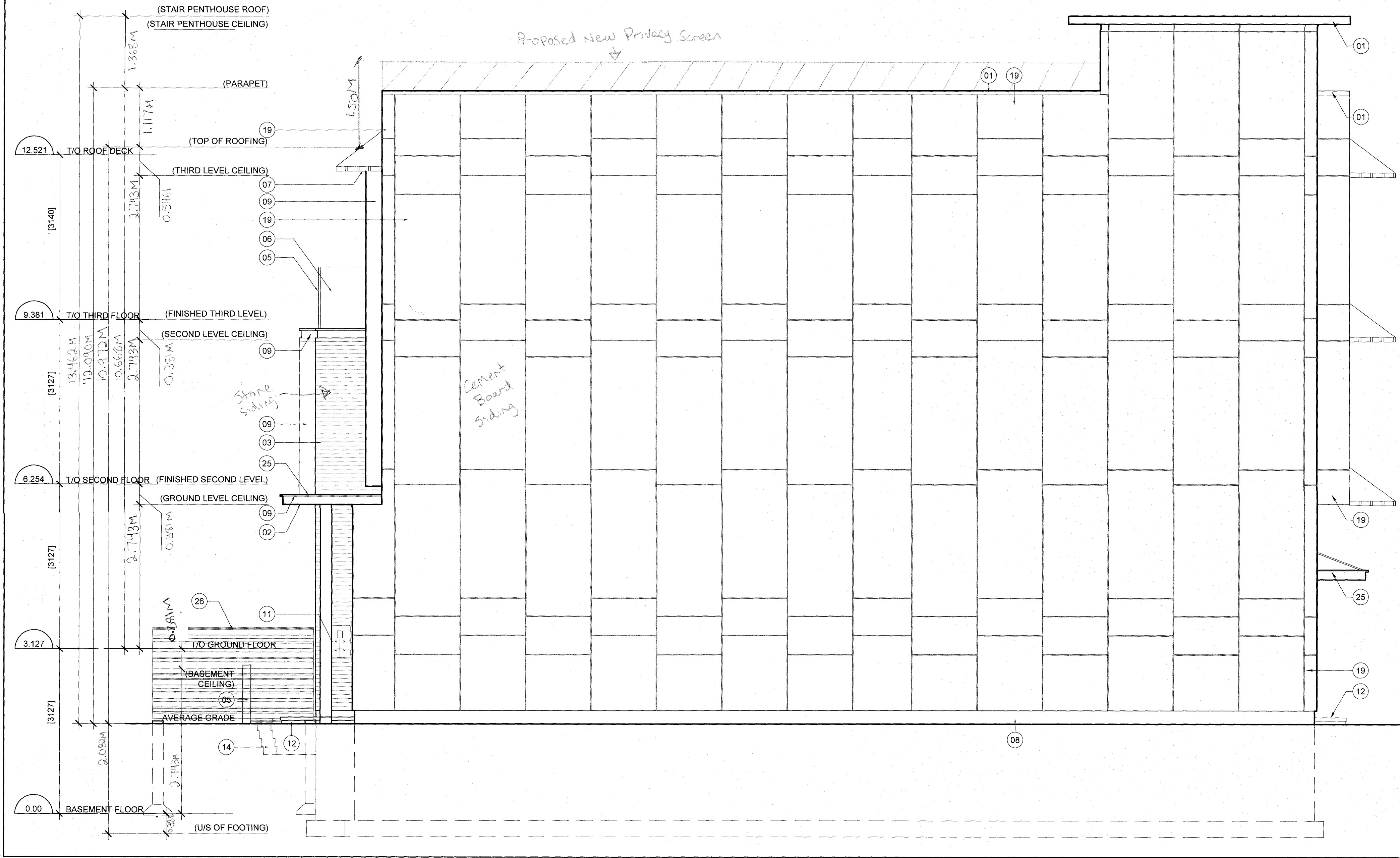
PROJECT TITLE:

214 PRETORIA  
Fourplex

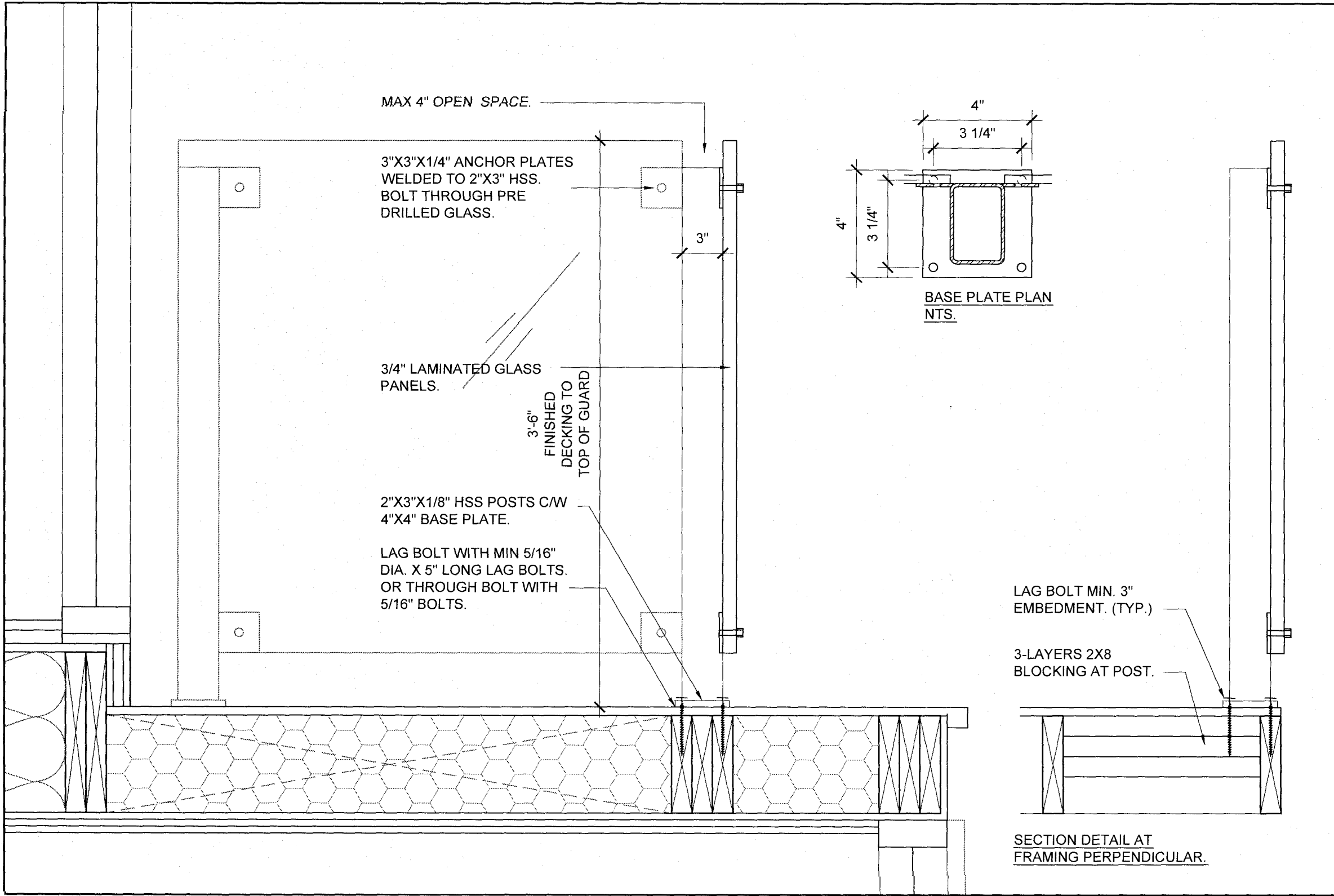
DRAWING TITLE:  
BUILDING ELEVATIONS

DATE	DRAWN BY	JOB No.	DRAWING No.
JAN'12	E.A.S. INC.		
SCALE AS NOTED	CHECKED BY JCF	09-003	A-300

**ARCHITECTURAL**



01 WEST ELEVATION  
SCALE 1/4" = 1'-0"



03 STRUCTURAL DETAIL, GUARD ATTACHMENT (STRUCTURAL ONLY)  
SCALE 1 1/2" = 1'-0"

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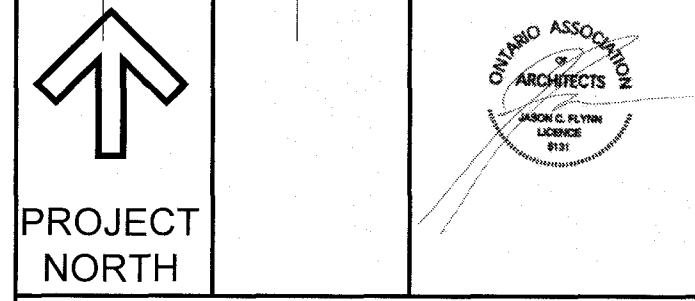
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02	'12-02-06	BUILDING FOOTPRINT	
01	'12-02-01	GENERAL	
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No	DATE	REVISION



**PROJECT NORTH**

CLIENT:  
CHRIS HAYMAN

CONSULTANTS:  
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YANNICK DENIS  
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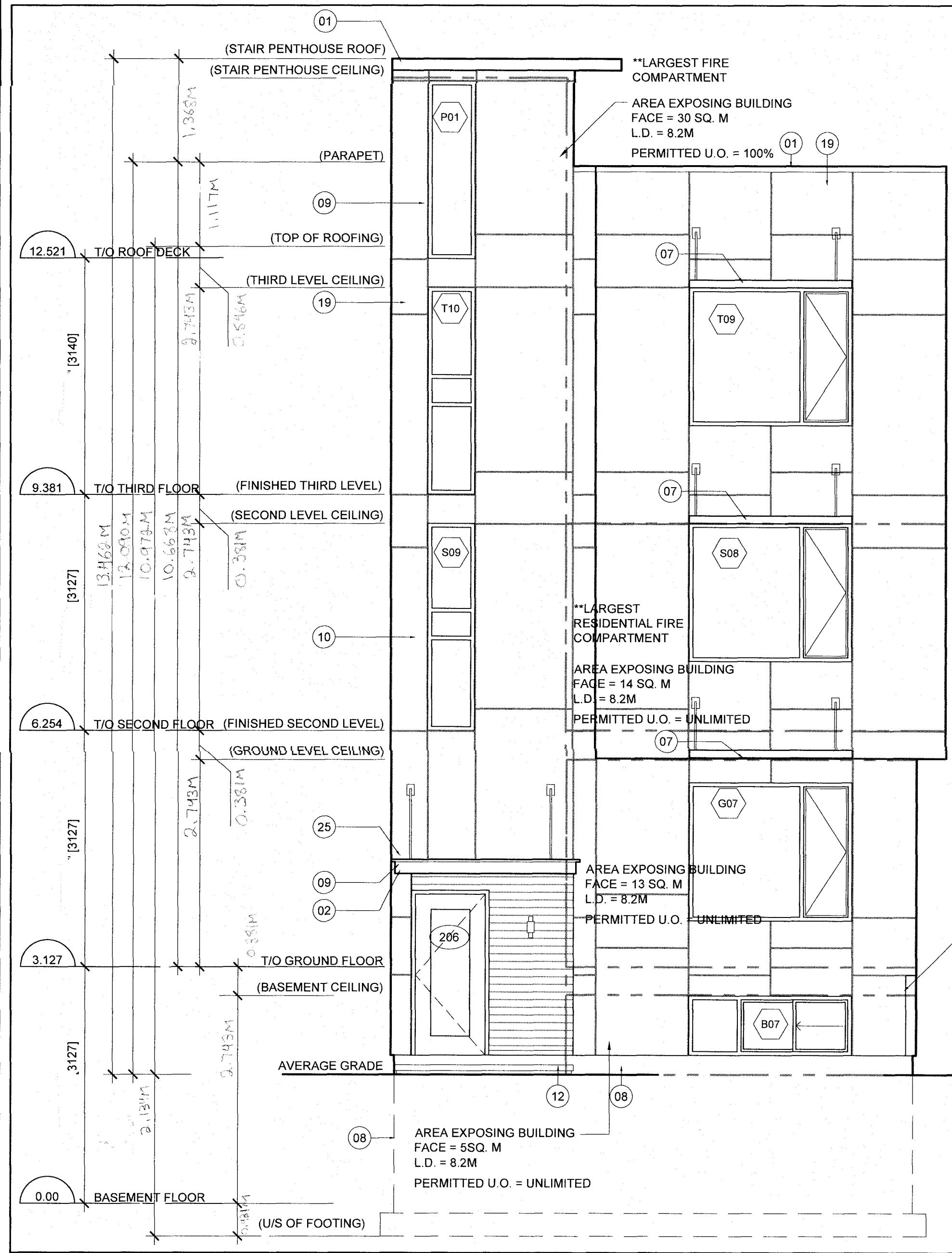
ENGINEERS AND GRADING  
KALEB LAKEW  
KOLLARD AND ASSOCIATES ENGINEERS  
P.O. BOX 189, 210 PRESCOTT ST.  
KEMPTVILLE, ON  
K0G 1J0

PROJECT TITLE:  
214 PRETORIA  
FOURPLEX

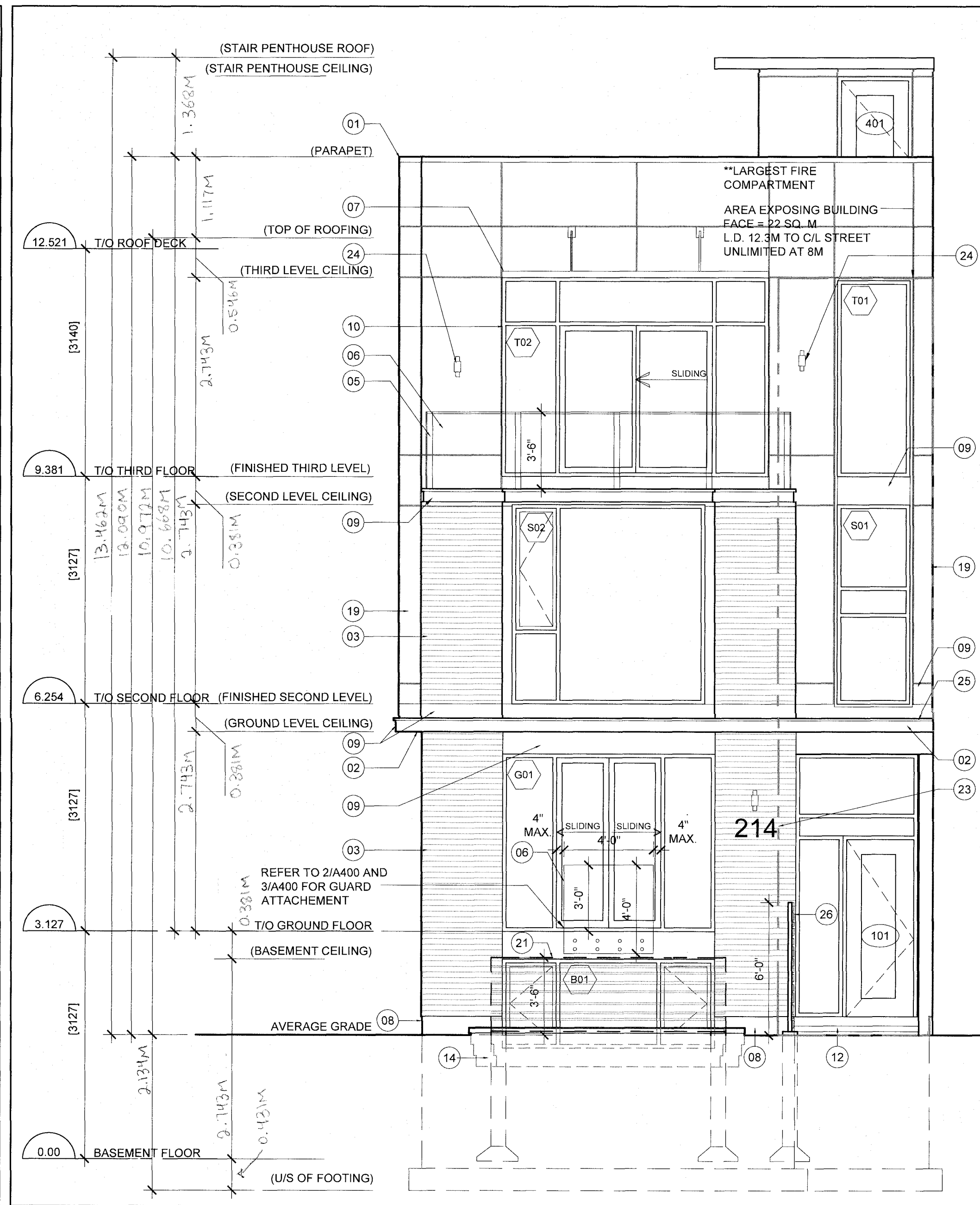
DRAWING TITLE:  
EAST BUILDING ELEVATION

DATE	DRAWN BY	JOB No	DRAWING No
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SCALE AS NOTED	CHECKED BY JCF		

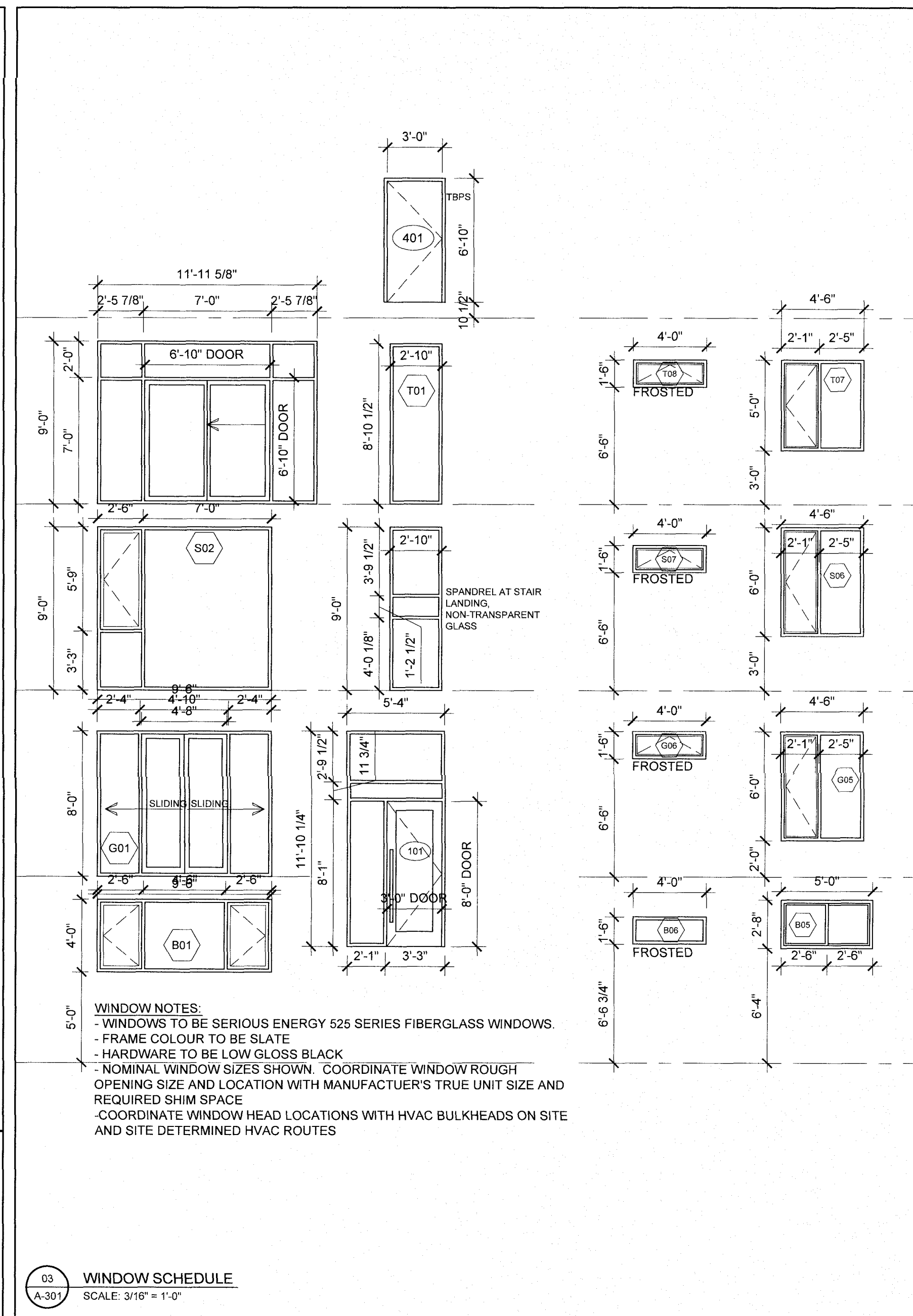
**ARCHITECTURAL**



**01 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**02 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**03 WINDOW SCHEDULE**  
SCALE: 3/16" = 1'-0"

No.	LOCATION		DOOR	FRAME	GLASS	FINISH	TYPE	FINISH	TYPE	FINISH	REMARKS	
	FROM	TO										WID.
<b>LOWER LEVEL</b>												
001	STAIR-01	BASEMENT	34"	82"	1 5/8"	IHM	PT	PS	PT		MINIMUM 45 MINUTE F.P.R.	
002	STAIR-02	BASEMENT	34"	82"	1 5/8"	IHM	PT	PS	PT		MINIMUM 45 MINUTE F.P.R.	
<b>GROUND FLOOR</b>												
101	EXTERIOR	STAIR-01	36"	96"	1 5/8"	FG	PRE	FG	PRE			
102	STAIR-01	FOYER	34"	82"	1 5/8"	IHM	PT	PS	PT		MINIMUM 45 MINUTE RATING	
103	HALL	BEDROOM 01	30"	80"	1 3/8"	SCW	PT	WD	PT			
104	HALL	WC-01	28"	80"	1 3/8"	SCW	PT	WD	PT			
105	HALL	LINEN	2-18"	80"	1 3/8"	SCW	PT	WD	PT	6P		
106	HALL	SERVICE RM	4-26"	80"	1 3/8"	SCW	PT	WD	PT			
107	HALL	MASTER BEDROOM	30"	80"	1 3/8"	SCW	PT	WD	PT			
108	MASTER BEDROOM	ENSUITE	28"	80"	1 3/8"	SCW	PT	WD	PT			
109	STAIR-02	FOYER	34"	82"	1 5/8"	IHM	PT	PS	PT		MINIMUM 45 MINUTE RATING	
110	EXTERIOR	STAIR-01	36"	84"	1 5/8"	FG	PRE	FG	PRE			
111	FOYER	CLOSET	2-22"	80"	1 3/8"	SCW	PT	WD	PT	6P		
<b>SECOND FLOOR</b>												
201	STAIR-01	FOYER	34"	84"	1 5/8"	IHM	PT	PS	PT		MINIMUM 45 MINUTE RATING	
202	HALL	BEDROOM 01	30"	80"	1 3/8"	SCW	PT	WD	PT			
203	HALL	WC-01	28"	80"	1 3/8"	SCW	PT	WD	PT			
204	HALL	LINEN	2-18"	80"	1 3/8"	SCW	PT	WD	PT	6P		
205	HALL	SERVICE RM	4-26"	80"	1 3/8"	SCW	PT	WD	PT			
206	HALL	MASTER BEDROOM	30"	80"	1 3/8"	SCW	PT	WD	PT			
207	MASTER BEDROOM	ENSUITE	28"	80"	1 3/8"	SCW	PT	WD	PT			
208	STAIR-02	FOYER	34"	84"	1 5/8"	IHM	PT	PS	PT		MINIMUM 45 MINUTE RATING	
209	FOYER	CLOSET	2-22"	80"	1 3/8"	SCW	PT	WD	PT	6P		
<b>THIRD FLOOR</b>												
301	STAIR-01	FOYER	34"	84"	1 5/8"	IHM	PT	PS	PT			
302	HALL	BEDROOM 01	30"	80"	1 3/8"	SCW	PT	WD	PT			
303	HALL	WC-01	28"	80"	1 3/8"	SCW	PT	WD	PT			
304	HALL	LINEN	16"	80"	1 3/8"	SCW	PT	WD	PT			
305	HALL	SERVICE RM	4-26"	80"	1 3/8"	SCW	PT	WD	PT			
306	HALL	MASTER BEDROOM	30"	80"	1 3/8"	SCW	PT	WD	PT			
307	MASTER BEDROOM	ENSUITE	28"	80"	1 3/8"	SCW	PT	WD	PT			
308	STAIR-02	FOYER	34"	84"	1 5/8"	IHM	PT	PS	PT		MINIMUM 45 MINUTE RATING	
309	FOYER	CLOSET	2-22"	80"	1 3/8"	SCW	PT	WD	PT	6P		
<b>ROOF/PENTHOUSE</b>												
401	STAIR-02	ROOF	36"	82"	1 5/8"	IHM	PT	HM	PT			

**LEGEND**

FG - FIBERGLASS  
IHM - INSULATED HOLLOW METAL  
HSC - HOLLOW SOUND CORE  
PT - PAINT  
PRE - PREFINISHED  
WD - WOOD  
SCW - SOLID CORE WOOD  
ST - STAIN  
PSF - PRESSED STEEL FRAME  
ACL - PREFINISHED ALUMINUM CLADDING  
VERIFY - VERIFY DIMENSIONS OF EXISTING CONDITIONS ON SITE.

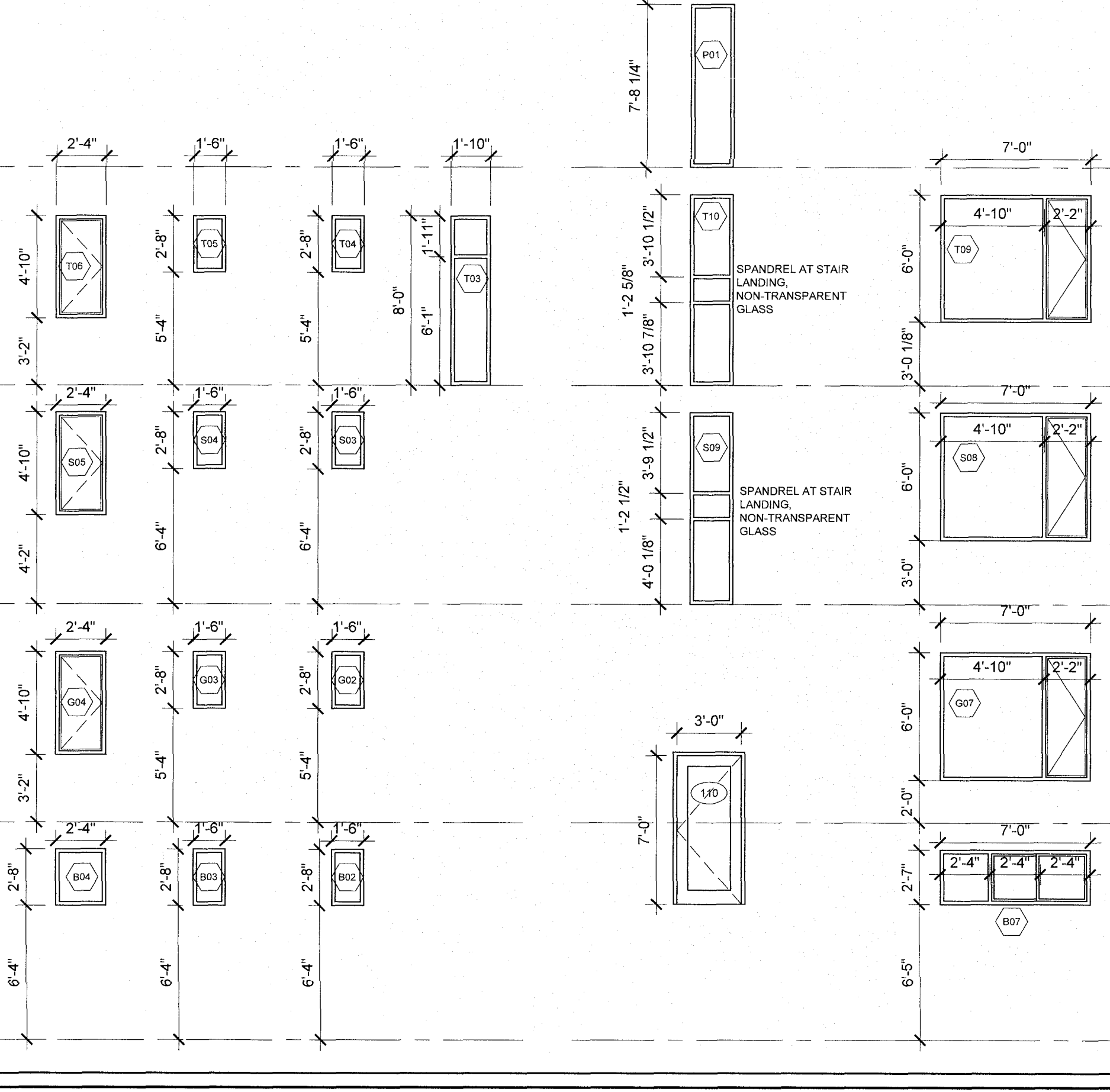
**DOOR SCHEDULE NOTES:**

- OPERABLE DOOR DIRECTION AS PER PLAN.
- PROVIDE TEMPERED OR LAMINATED SAFETY GLASS IN ALL DOORS AND SIDELIGHTS.
- PROVIDE WOOD BLOCKING AT LATCH SIDE OF ALL EXTERIOR DOORS TO PREVENT SPREADING OF THE OPENING IN THE EVENT OF FORCED ENTRY.
- VERIFY FRAMED OPENING DIMENSIONS PRIOR TO ORDERING. PROVIDE WINDOW AND DOOR SHOP DWGS TO ARCHITECT FOR REVIEW PRIOR TO ORDERING.
- COORDINATE KEYING REQUIREMENTS WITH OWNER.

**ELEVATION NOTES**

- PREFINISHED METAL ADJACENT COLOUR TO MATCH ADJACENT CLADDING MATERIAL.
- WOOD SOFFIT FINISHED WITH CETOL 123 CLEAR FINISH. ALL CEDAR FINISHES NOTED, PROVIDE CLEAR CEDAR.
- ARRISCRAFT DRESSED STONE. FULL BED MASONRY. VARIED COURSING OF 4"(90MM) AND 10"(190MM) HIGH.
- PRECAST CONCRETE STAIR/LANDING. SMOOTH FINISH (ARCHITECTURAL).
- POWDER COAT FINISHED STEEL GUARD SUPPORT. REFER TO DETAIL FOR FASTENING.
- 3/4" LAMINATED CLEAR GLASS GUARD REFER TO DETAIL FOR ATTACHMENT.
- 2 X 3 CEDAR WOOD HORIZONTAL SUN SCREEN SPACED 6" O.C. SUPPORTED FROM WALL WITH CABLES SEE DETAIL.
- CAST IN PLACE FOUNDATION WALL WITH CEMENT PARGING TO 6" BELOW GRADE.
- PREFINISHED METAL TO MATCH WINDOW FRAMES. LAMINATE METAL OVER PRESSURE TREATED PLYWOOD & BLOCKING.
- DARK GREY FIBERGLASS WINDOW FRAMES.
- RECESSED MAILBOX MULTIPLE UNIT MAILBOX.
- PRE-CAST CONCRETE STAIR & LANDING ANCHOR TO FOUNDATION WALL.
- POWDER COATED METAL BAR HANDRAIL.
- GRAVITY RETAINING WALL WINDOW WELL.
- TURN ROOF MEMBRANE MIN. 6" UP WALL. PROVIDE PREFINISHED METAL FLASHING TO MATCH WINDOW FRAMES. MIN. 2" STANDOFF FROM ROOF SURFACE TO CLADDING SYSTEM WHERE <8" IS REQUIRED.

- PROVIDE 3/8" - 3/4" WIDE SEALANT JOINT AT JUNCTIONS IN MATERIAL. VENTED DRAINED SEALANT JOINTS WEPT AT BOTTOM FOR PRESSURE EQUALIZED DRAINED AND VENTED CLADDING SYSTEMS. PROVIDE BOND BREAKING BACKUP.
- 5/16" SMOOTH JAMES HARDIE HARDIBOARD PANEL SOFFIT, NOT PERFORATED.
- P.T. WOOD DECK CW 1 1/2" CEDAR WOOD DECKING AND 5/4" CEDAR WOOD FACING / SKIRT.
- PREFINISHED CLADDING PANEL BY JAMES HARDIE CW MANUFACTURER SUPPLIED METAL EDGE TRIM ACCESSORY.
- OPEN CEDAR WOOD TRELLIS FRAMING.
- 2X4" HORIZONTAL WOOD SCREEN/GUARD. MAXIMUM 3/16" SPACE BETWEEN MEMBERS TO PREVENT CLIMBING PER 9.8.8.6. O.B.C. 2006.
- PREFINISHED EAVES TROUGH TO MATCH FASCIA CW GUTTER HELMET.
- LETTERING - SURFACE MOUNTED RESTORATION HARDWARE MOUNTED TO MASONRY.
- SURFACE MOUNTED LIGHT FIXTURE.
- FLAT ROOF. CANTILEVER FRAMING WITH BLUESKIN AND PREFIN. METAL CLADDING. SLOPE AWAY.
- NOTE: UNLESS NOTED OTHERWISE HATCHING PATTERNS SHOWN FOR MATERIALS WITH REGULAR COURSING OR REPEATING PATTERNS ARE SCHEMATIC REPRESENTATIONS ONLY AND DO NOT REFLECT COURSING LAYOUT. NOR ORGANIZATION. WHERE CLARIFICATION IS REQUIRED CONSULT ARCHITECT.
- STEEL CHANNEL AND CEDAR FENCE BOARD PRIVACY SCREEN. METAL PAINTED TO MATCH PREFINISHED METAL FLASHING.

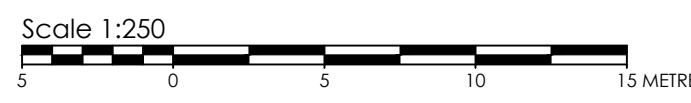




**SURVEYOR'S REAL PROPERTY REPORT**

**LOT 2  
SOUTH OF PRETORIA AVENUE  
REGISTERED PLAN NO.44376**

CITY OF OTTAWA



Stantec Geomatics Ltd.

**METRIC CONVERSION**

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES  
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**BEARING NOTE**

BEARINGS ARE GRID, DERIVED FROM CAN-NET VRS NETWORK GPS OBSERVATIONS ON NCC  
HORIZONTAL CONTROL MONUMENTS 19773035 AND 19680191. CENTRAL MERIDIAN, 76° 30'  
WEST LONGITUDE MTM ZONE 9, NAD83 (ORIGINAL).

19773035 N:5006060.42 E:324888.04  
19680191 N:5033564.26 E:388064.94

**ROTATION NOTE**

A ROTATION OF 0°29'50" WAS APPLIED COUNTER CLOCKWISE TO PLAN P2 FOR BEARING  
COMPARISONS.

**NOTE**

THIS PLAN OF SURVEY IS TO BE READ IN CONJUNCTION WITH THE  
REPORT SUMMARY NOTED AS PART 2 HEREOF.  
THIS REPORT CAN ONLY BE UPDATED BY THIS OFFICE. NO ADDITIONAL  
PRINTS OF THIS ORIGINAL REPORT WILL BE ISSUED SUBSEQUENT TO  
THE DATE OF CERTIFICATION.  
ALL TIES ARE MINIMUM UNLESS OTHERWISE NOTED.  
ALL TIES TO CURVED BOUNDARY ARE RADIAL TO ARC.  
RISK OF UNDERGROUND SERVICES, MONUMENTATION PLANTED  
ACCORDINGLY.

**PART 2**

This Report was prepared for Chris Hayman & Ken Hayman and the  
undersigned accepts no responsibility for the use by other parties.

- REGISTERED RIGHTS-OF-WAY/EASEMENTS**  
No rights-of-way or easements were found to be registered against the  
subject property.
- PROPERTY IMPROVEMENTS**  
There is a 3 storey dwelling situate wholly within the subject land.
- COMPLIANCE WITH MUNICIPAL ZONING BYLAWS**  
Compliance is not certified by this report.
- ADDITIONAL REMARKS**  
Note the locations of fence along the southerly and easterly boundaries  
of the property. Note the locations of retaining wall along the easterly  
and westerly boundaries of the property.

**LEGEND**

Symbol	Denotes	Found Monuments
■	"	FOUND MONUMENTS
□	"	SET MONUMENTS
IB	"	IRON BAR
IB $\emptyset$	"	ROUND IRON BAR
SIB	"	STANDARD IRON BAR
SSIB	"	SHORT STANDARD IRON BAR
CC	"	CUT CROSS
CP	"	CONCRETE PIN
WIT	"	WITNESS
PIN	"	PROPERTY IDENTIFICATION NUMBER
MEAS	"	MEASURED
INST	"	INSTRUMENT
PROP	"	PROPORTIONED
OU	"	ORIGIN UNKNOWN
SG	"	STANTEC GEOMATICS LTD.
P1	"	REGISTERED PLAN NO.44376
P2	"	MMM SURVEY DATED SEPTEMBER 11, 2011
P3	"	REGISTERED PLAN NO.58775
AOV	"	ANNIS O'SULLIVAN VOLLEBEKK O.L.S.
MMM	"	MMM Geomatics Ontario Limited
○ UP	"	UTILITY POLE
— OHW	"	OVERHEAD WIRES

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,  
THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 14th DAY OF OCTOBER, 2022.

October 24, 2022  
DATE

R. G. BENNETT  
ONTARIO LAND SURVEYOR

SRO MAP COORD.=368168.311, 5030112.993

**Stantec Geomatics Ltd.**  
CANADA LANDS SURVEYORS  
ONTARIO LAND SURVEYORS  
1331 CLYDE AVENUE, SUITE 300  
OTTAWA, ONTARIO, K2C 3G4  
TEL. 613.722.4420  
stantec.com

DRAWN: RG CHECKED: CK PM: CT FIELD: ES PROJECT No.: 161614647-110

BANK STREET

O'CONNOR STREET

