

Committee of Adjustment
 Received | Reçu le
2022-11-08
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



I Andre Theriault,
 Take responsibility for design work
 on behalf of a firm registered under
 subsection 3.2.4 of division C. of
 the building code.
 I and the firm is registered in the
 appropriate class/categories.

Individual: 22968
 Firm: 105420

Date: 16 JUNE 2022

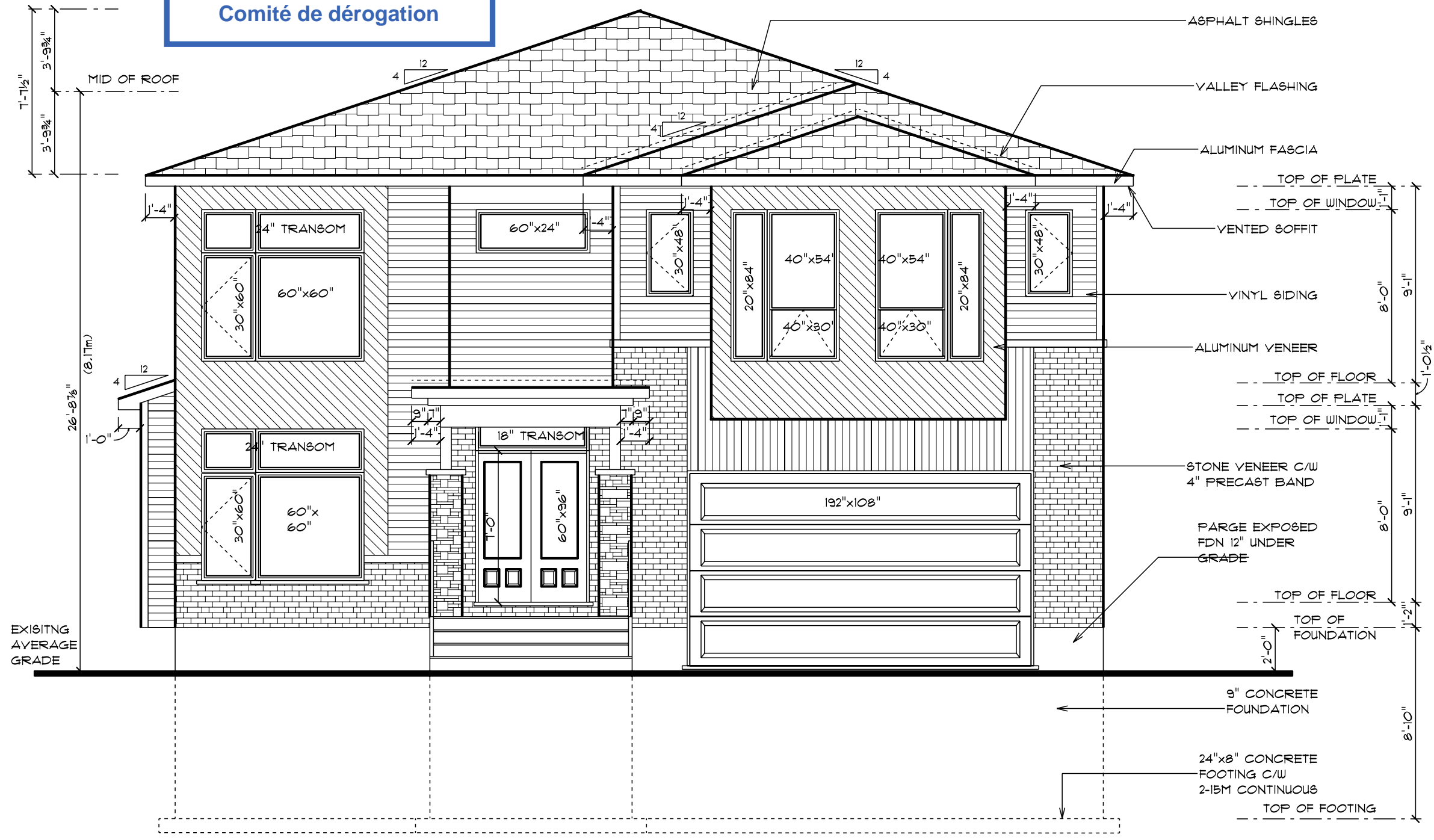
Signature of Designer:
Andre Theriault

3	P.ENG	16 JUNE 2022
2	CONST.DWG	10 APR 2022
1	PRELIM	4 APR 2022

project name

PROPOSED RESIDENCE
 FOR
 45 ST-CLAIRE

drawn by	drawing no
SEBASTIEN T	1
project no.	14
2022-201	



FRONT ELEVATION

SCALE: 3/16" = 1'-0"



I Andre Theriault,
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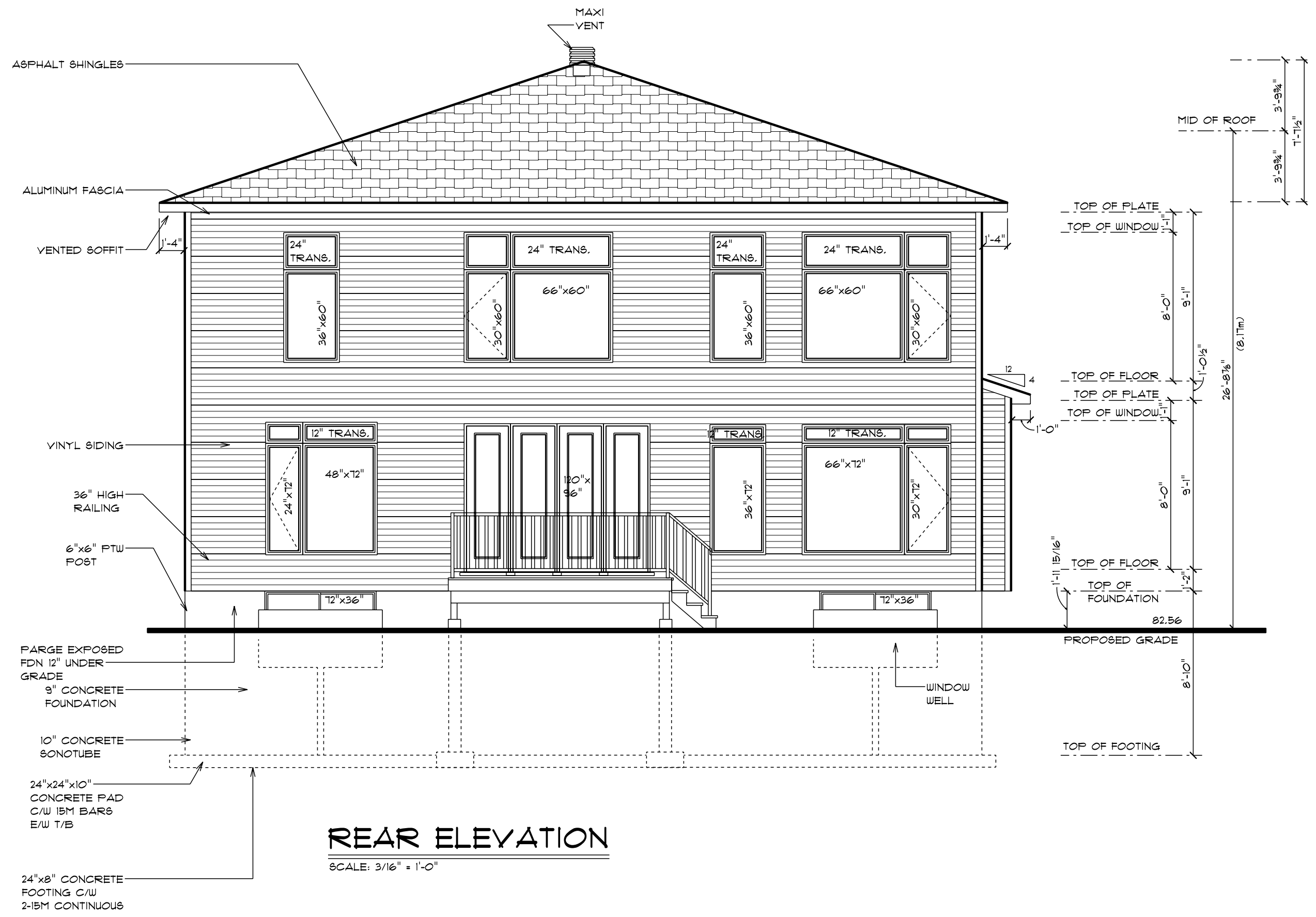
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project name

PROPOSED RESIDENCE
 FOR
 45 ST-CLAIRE

drawn by	drawing no
SEBASTIEN T	2
project no.	14
2022-201	



REAR ELEVATION

SCALE: 3/16" = 1'-0"



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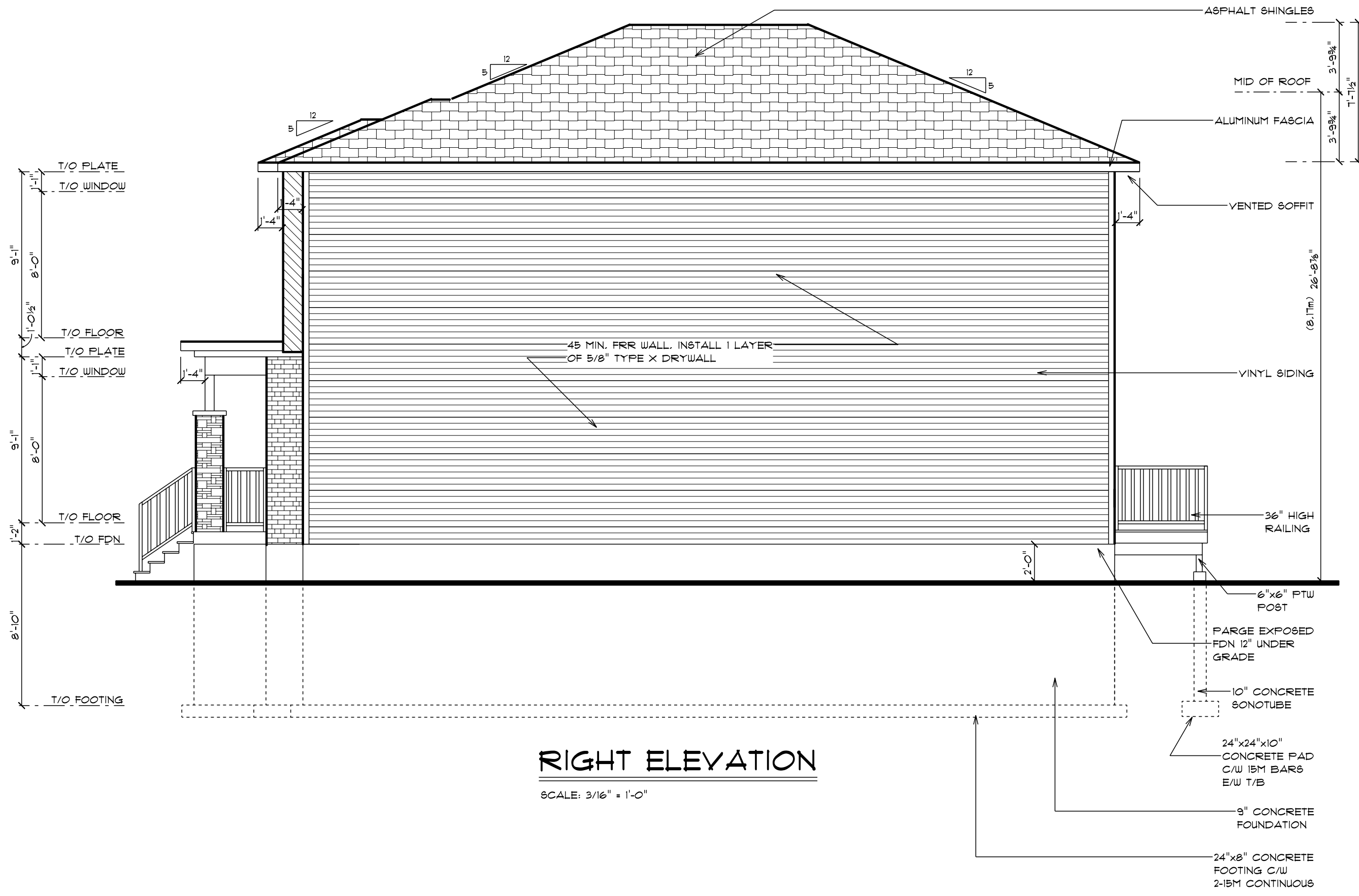
project name

PROPOSED RESIDENCE
 FOR
 45 ST-CLAIRE

drawn by drawing no

SEBASTIEN T 3

project no. 14
 2022-201



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



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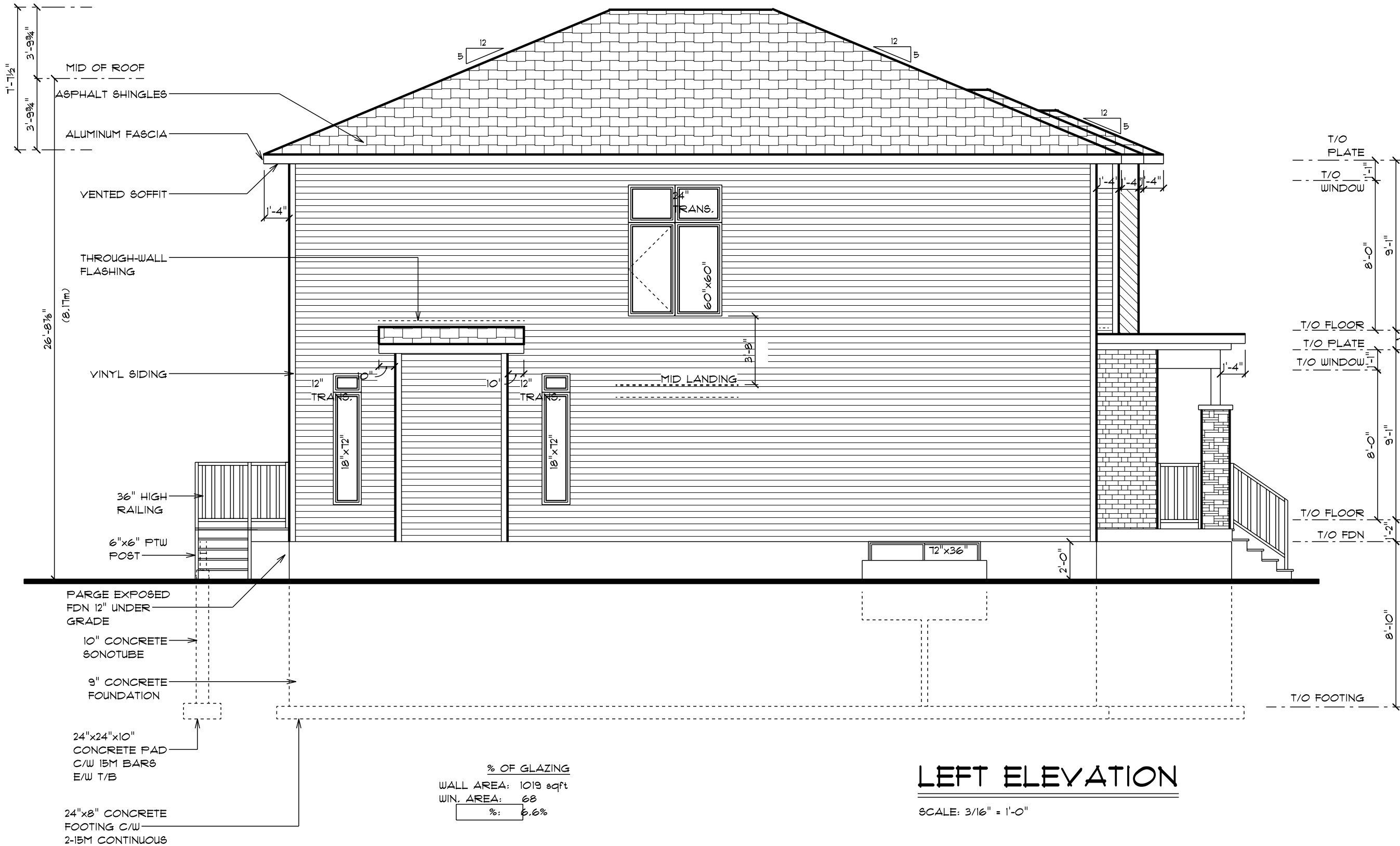
Signature of Designer:
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1	PRELIM	4 APR 2022

project name

PROPOSED RESIDENCE
FOR
45 ST-CLAIRE

drawn by	drawing no
SEBASTIEN T	4
project no.	14
2022-201	



% OF GLAZING

WALL AREA:	1019 sqft
WIN. AREA:	68
%:	6.6%

LEFT ELEVATION

SCALE: 3/16" = 1'-0"

T/O PLATE
T/O WINDOW
8'-0"
9'-1"
T/O FLOOR
T/O PLATE
T/O WINDOW
8'-0"
9'-1"
T/O FLOOR
T/O FDN
8'-10"
T/O FOOTING



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 Firm: 105420

Date: 10 APR 2022

Signature of Designer:
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1	PRELIM	4 APR 2022

project name

PROPOSED RESIDENCE
 FOR
 43 ST-CLAIRE

drawn by	drawing no
SEBASTIEN T	1
project no.	14
2022-200	



FRONT ELEVATION

SCALE: 3/16" = 1'-0"



I Andre Theriault,
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 appropriate class/categories.

Individual: 22968
 Firm: 105420

Date: 10 APR 2022

Signature of Designer:

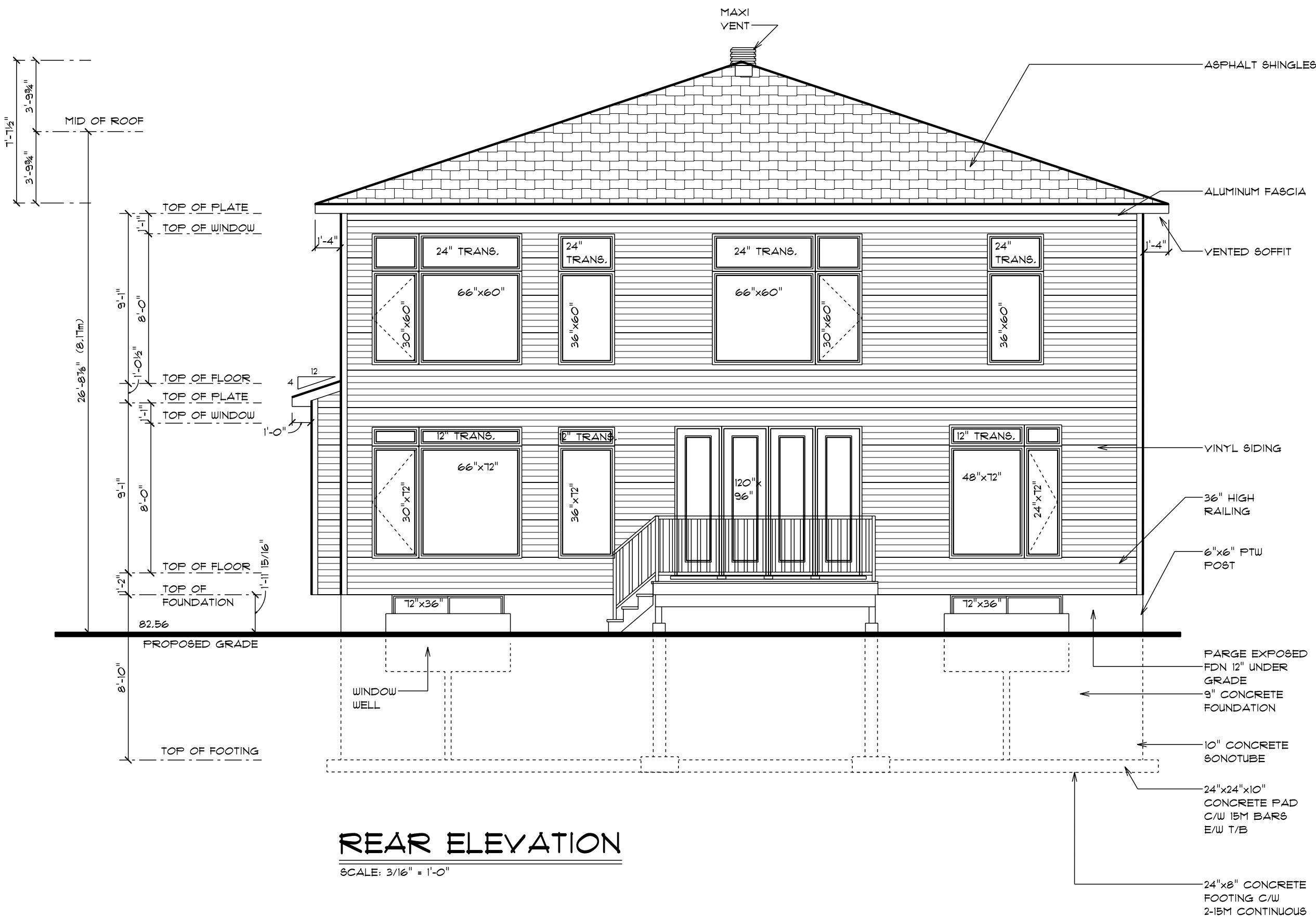
Andre Theriault

2	CONST.DWG	10 APR 2022
1	PRELIM	4 APR 2022

project name

PROPOSED RESIDENCE
 FOR
 43 ST-CLAIRE

drawn by	drawing no
SEBASTIEN T	2
project no.	14
2022-200	



REAR ELEVATION

SCALE: 3/16" = 1'-0"



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Individual: 22968
 Firm: 105420
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Signature of Designer:
Andre Theriault

2	CONST.DWG	10 APR 2022
1	PRELIM	4 APR 2022

project name

PROPOSED RESIDENCE
 FOR
 43 ST-CLAIRE

drawn by	drawing no
SEBASTIEN T	3
project no.	14
2022-200	



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

% OF GLAZING
 WALL AREA: 1019 sqft
 WIN. AREA: 68
 %: 6.6%

- ASPHALT SHINGLES
- ALUMINUM FASCIA
- VENTED SOFFIT
- THROUGH-WALL FLASHING
- VINYL SIDING
- 36" HIGH RAILING
- 6"x6" PTW POST
- ARGE EXPOSED FDN 12" UNDER GRADE
- 10" CONCRETE SONOTUBE
- 9" CONCRETE FOUNDATION
- 24"x24"x10" CONCRETE PAD C/W 15M BARS E/W T/B
- 24"x8" CONCRETE FOOTING C/W 2-15M CONTINUOUS



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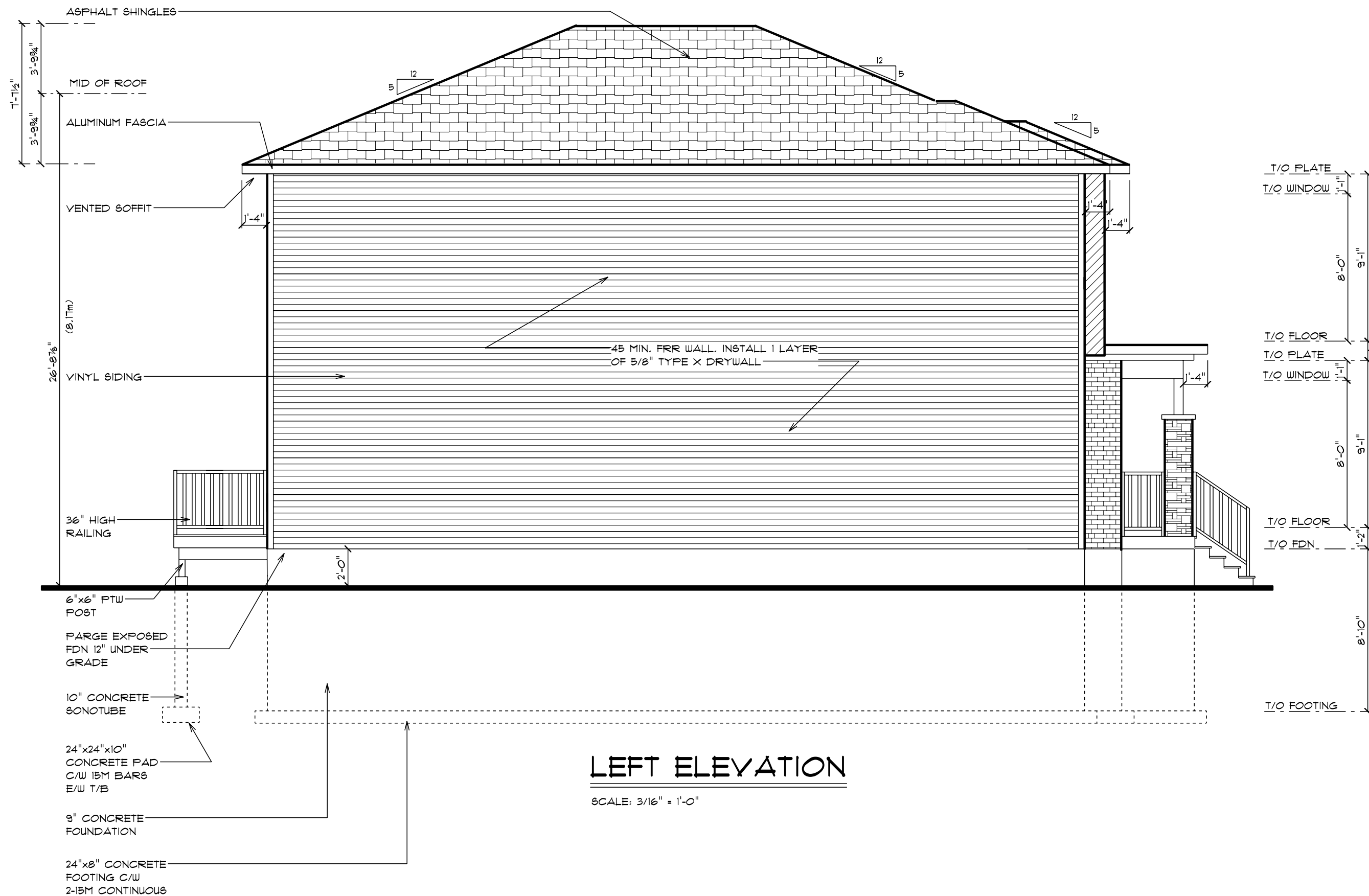
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Andre Theriault

2	CONST.DWG	10 APR 2022
1	PRELIM	4 APR 2022

project name

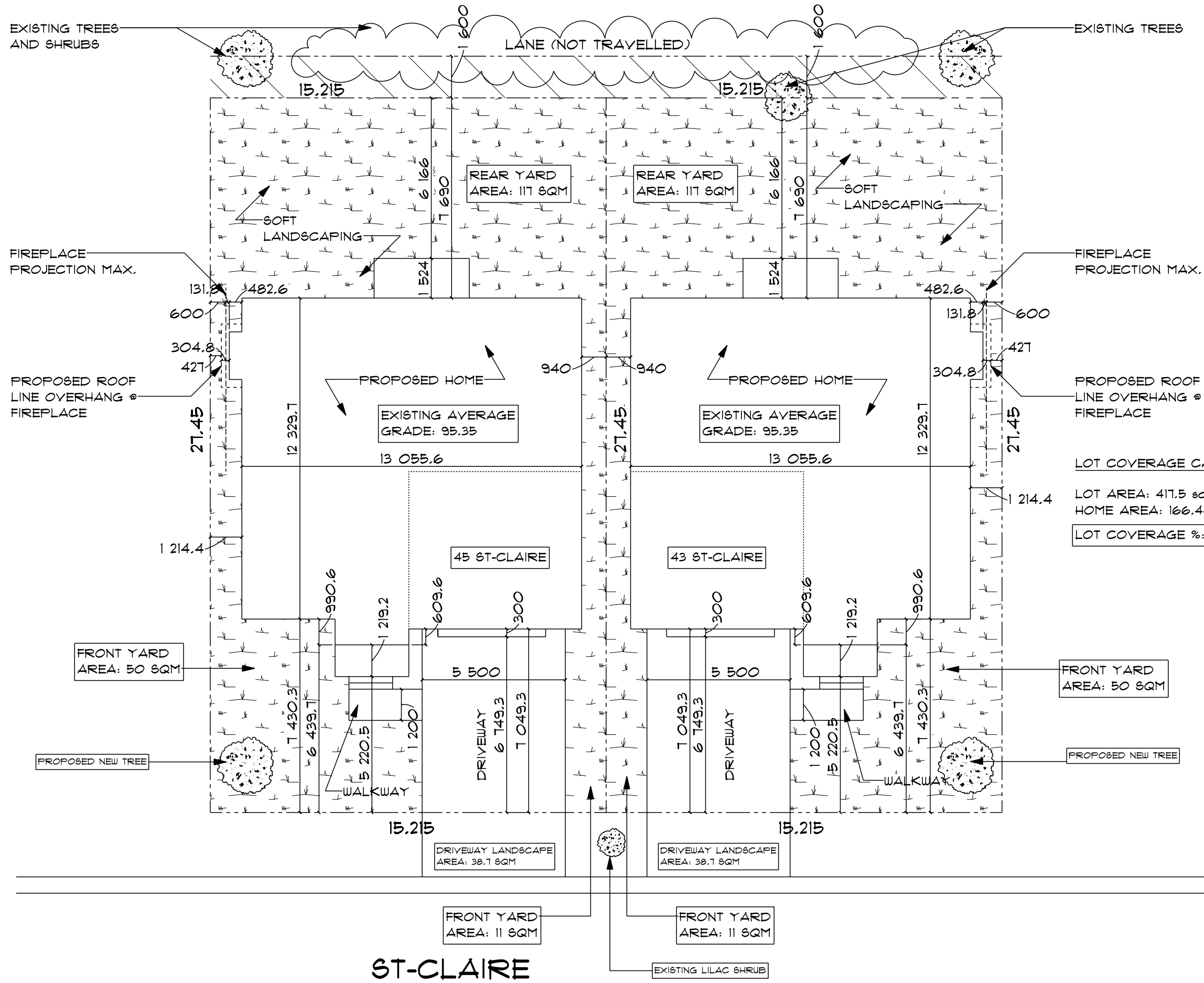
PROPOSED RESIDENCE
 FOR
 43 ST-CLAIRE

drawn by	drawing no
SEBASTIEN T	4
project no.	14
2022-200	



LEFT ELEVATION

SCALE: 3/16" = 1'-0"



LOT COVERAGE CALC: (PER LOT)

LOT AREA: 417.5 sqm
 HOME AREA: 166.44 sqm
 LOT COVERAGE %: 39.8%

structural engineer stamp if required:



5	REVISIONS	28 SEPT 2022
4	REVISIONS	18 SEPT 2022
3	REVISIONS	14 AUG 2022
2	REVISIONS	7 AUG 2022
1	PRELIM	4 APR 2022

project name
 PROPOSED RESIDENCE FOR 43 ST-CLAIRE

drawn by
 drawing no
 51

project no.
 2022-200

1

STARWOOD ROAD

PLAN OF SURVEY OF

LOTS 1667, 1668, 1669, 1670 & 1671
REGISTERED PLAN 375
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1:100



Metric
DIMENSIONS SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

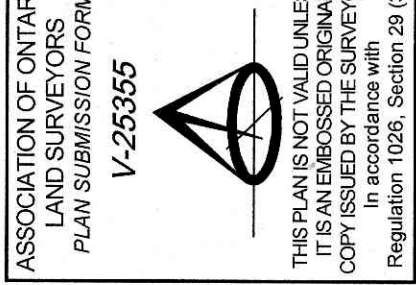
Surveyor's Certificate

I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 8th day of March, 2022.

Marc 18/22
Date
Sébastien S. Bazar
Ontario Land Surveyor

Notes & Legend

- Denotes
- SIB Survey Monument Planted
- SSB Survey Monument Found
- IB Short Standard Iron Bar
- IP Iron Pipe
- CC Cut Cross
- CP Concrete Pin
- (WTT) Witness
- Mess. Measured
- (ACC) Annis, O'Sullivan, Vollebek Ltd.
- (PI) Registered Plan 375
- (P2) (1982) Plan dated May 5, 2017
- (P3) (1982) Plan dated January 27, 2015
- (P4) (AOS) Plan dated May 3, 1976
- (P5) (JDB) Plan dated June 14, 2004
- Deciduous Tree
- Shrub
- Property Line
- Overhead Wires
- Maintenance Hole (Sanitary)
- Location of Elevations
- Top of Concrete Curb Elevation
- Brick Retaining Wall
- Timber Retaining Wall
- Diameter
- Centreline
- Chain Link Fence
- Board Fence
- Post and Wire Fence
- Plastic Pipe
- Cedar Hedge
- CH
- EDA Edge of Asphalt
- T/G Top of Grate
- T/P Top of Pipe
- Inv Invert
- U Pole Utility Pole
- GM Gauge Meter
- CA
- AC Air Conditioner



For bearing comparisons a rotation of 0°01'17" clockwise was applied to bearings shown on Plans P2, P3 & P4.

Bearings are given, defined from Can. Nat. 2011 Real Time Network GPS observations and are referenced to Specified Control Points 0161 6880005 and 01619750705, MTM Zone 18 (76°30' West Longitude) NAD-83 (original).

ELEVATION NOTES

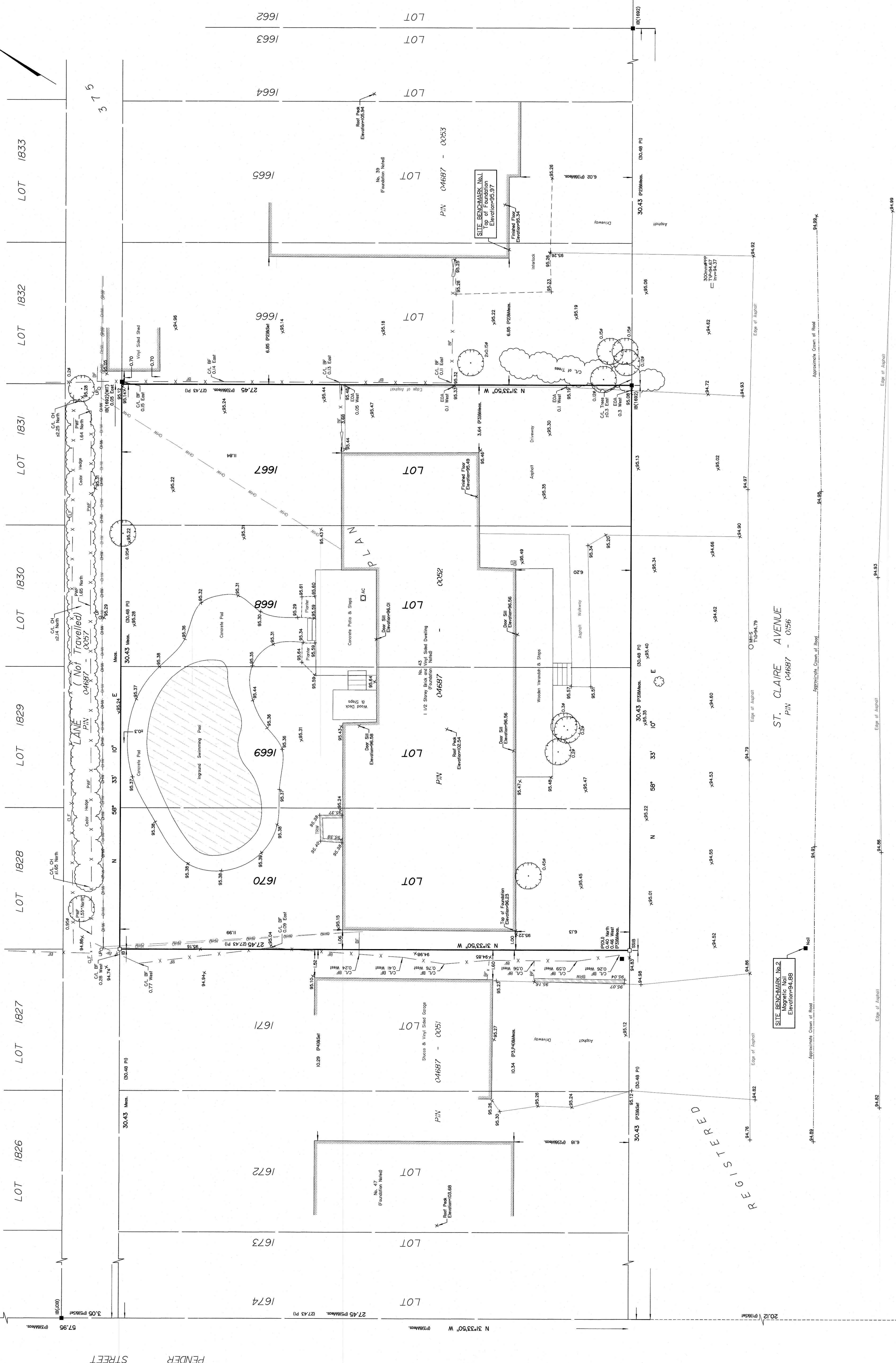
1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

1. This drawing cannot be accepted as acknowledging all of the utilities and as will be the responsibility of the user to contact the respective utility companies to verify the location and depth of all utilities.
2. Only visible surface utilities were located.
3. A field location of underground utility by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Topographic data was collected under Winter Conditions. Show cover and ice preclude determining location and elevation of some topographical data that is otherwise visible.

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Woodbridge, Ontario N4V 1W1
Phone: (905) 721-0600 / Fax: (905) 721-1079
www.annislandsurveyors.com



REGISTERED

ST. CLAIRE AVENUE
PIN 04687 - 0156

SITE BENCHMARK No. 2
Magnetic Nail
Elevation 94.88

Approximate Crown of Road

Edge of Asphalt

Edge of Asphalt

Edge of Asphalt