

PART 2 - SURVEY REPORT

- DESCRIPTION  
 LOT 72 AND PART OF LOTS 99 AND 102 ON REGISTERED PLAN 277, BEING ALL OF PIN 04020-0265 (LT), IN THE CITY OF OTTAWA

- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY  
 NONE

- BOUNDARY FEATURES  
 NOTE LOCATION OF OVERHANG AND THE ASPHALT DRIVEWAY ALONG THE WESTERLY LIMIT OF THE SUBJECT PROPERTY  
 NOTE LOCATION OF THE INTERLOCK BRICK ALONG THE SOUTHERLY LIMIT OF THE SUBJECT PROPERTY  
 NOTE LOCATION OF THE BOARD FENCE AND THE BRICK CURB ALONG THE EASTERLY LIMIT OF THE SUBJECT PROPERTY  
 NOTE LOCATION OF THE CHAIN LINK FENCE AND THE OVERHEAD TELEPHONE CABLES ALONG THE NORTHERLY LIMIT OF THE SUBJECT PROPERTY

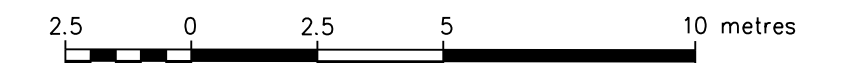
SURVEYOR'S REAL PROPERTY REPORT  
 WITH TOPOGRAPHIC DETAILS  
 PART 1 - PLAN SHOWING

LOT 72  
 AND  
 PART OF LOTS 99 AND 102  
 REGISTERED PLAN 277  
 CITY OF OTTAWA

J.D. BARNES LIMITED

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SCALE 1 : 150



METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

BEARINGS ARE MTM GRID AND ARE REFERRED TO THE NORTHERLY LIMIT OF LINCOLN AVENUE, AS SHOWN ON A PLAN BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. DATED SEPTEMBER 20, 2017 HAVING A BEARING OF N 65° 18' 40" E.  
 DISTANCES ARE GROUND.  
 ALL BUILDING TIES ARE TAKEN TO CONCRETE FOUNDATION UNLESS OTHERWISE NOTED.  
 COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.  
 NOTES ON TREES  
 - TREE DIMENSIONS ARE SHOWN +/- HEREON  
 - DIAMETER OF TREES TAKEN AT 1.2m ABOVE GRADE  
 - RADIUS DENOTES MEASUREMENT OF CROWN FROM CENTER OF TREE

LEGEND

- DENOTES SURVEY MONUMENT FOUND
  - DENOTES SURVEY MONUMENT SET
  - SSIB DENOTES STANDARD IRON BAR
  - SSIB DENOTES SHORT STANDARD IRON BAR
  - IB# DENOTES ROUND IRON BAR
  - IB DENOTES IRON BAR
  - CC DENOTES CUT CROSS
  - MEAS DENOTES MEASURED
  - OU DENOTES ORIGIN UNKNOWN
  - Acc DENOTES ACCEPTED
  - RP DENOTES REGISTERED PLAN 277
  - P DENOTES PLAN OF SURVEY BY R.W. ARNETT, O.L.S. DATED SEPTEMBER 10, 1975
  - P1 DENOTES PLAN 4R-12828
  - P2 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., DATED SEPTEMBER 20, 2017
  - P3 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., DATED JANUARY 24, 2018
  - P4 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY PAUL A. RIDDELL LTD., DATED AUGUST 7, 2008
  - P5 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY W.J. WEBSTER, O.L.S., DATED AUGUST 28, 1987
  - P6 DENOTES PLAN OF SURVEY BY STANTEC GEOMATICS LTD., DATED JANUARY 18, 2018
  - P7 DENOTES PLAN OF SURVEY BY FAIRHALL & MOFFATT LIMITED DATED AUGUST 29, 1973
  - D DENOTES DEED CR597455
  - AGG DENOTES ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
  - 632 DENOTES G.C. MCROSTIE, O.L.S.
  - 725 DENOTES R.W. ARNETT, O.L.S.
  - SG DENOTES STANTEC GEOMATICS LTD.
  - CITY DENOTES CITY OF OTTAWA
- N=NORTH / S=SOUTH / E=EAST / W=WEST

TOPOGRAPHIC LEGEND

- FDN DENOTES FOUNDATION
- OH DENOTES OVERHANG
- EA DENOTES EDGE OF ASPHALT
- C/L DENOTES CENTERLINE
- DIA DENOTES DIAMETER
- R DENOTES RADIUS
- CLF DENOTES CHAIN LINK FENCE
- BF DENOTES BOARD FENCE
- HP DENOTES HYDRO POLE
- ANC DENOTES ANCHOR
- EL\_IB DENOTES HYDRO JUNCTION BOX
- FH DENOTES FIRE HYDRANT
- WV DENOTES WATER VALVE
- MH\_WAT DENOTES WATER MANHOLE
- MH\_SAN DENOTES SANITARY MANHOLE
- E DENOTES OVERHEAD HYDRO CABLE
- T DENOTES OVERHEAD TELEPHONE CABLE
- SAN DENOTES UNDERGROUND SANITARY SEWER
- (Tree symbol) DENOTES DECIDUOUS TREE

ALL SET SSIB AND PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.REG. 525/91.

ELEVATION NOTE:

1. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE SITE BENCHMARKS HAVE NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.
2. ELEVATIONS ARE GEODETIC AND ARE REFERRED TO CITY OF OTTAWA CONTROL POINT 20160328 HAVING A PUBLISHED ELEVATION OF 82.47 METRES (CGVD-1928 DATUM).

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
  2. THE SURVEY WAS COMPLETED ON FEBRUARY 2, 2021.

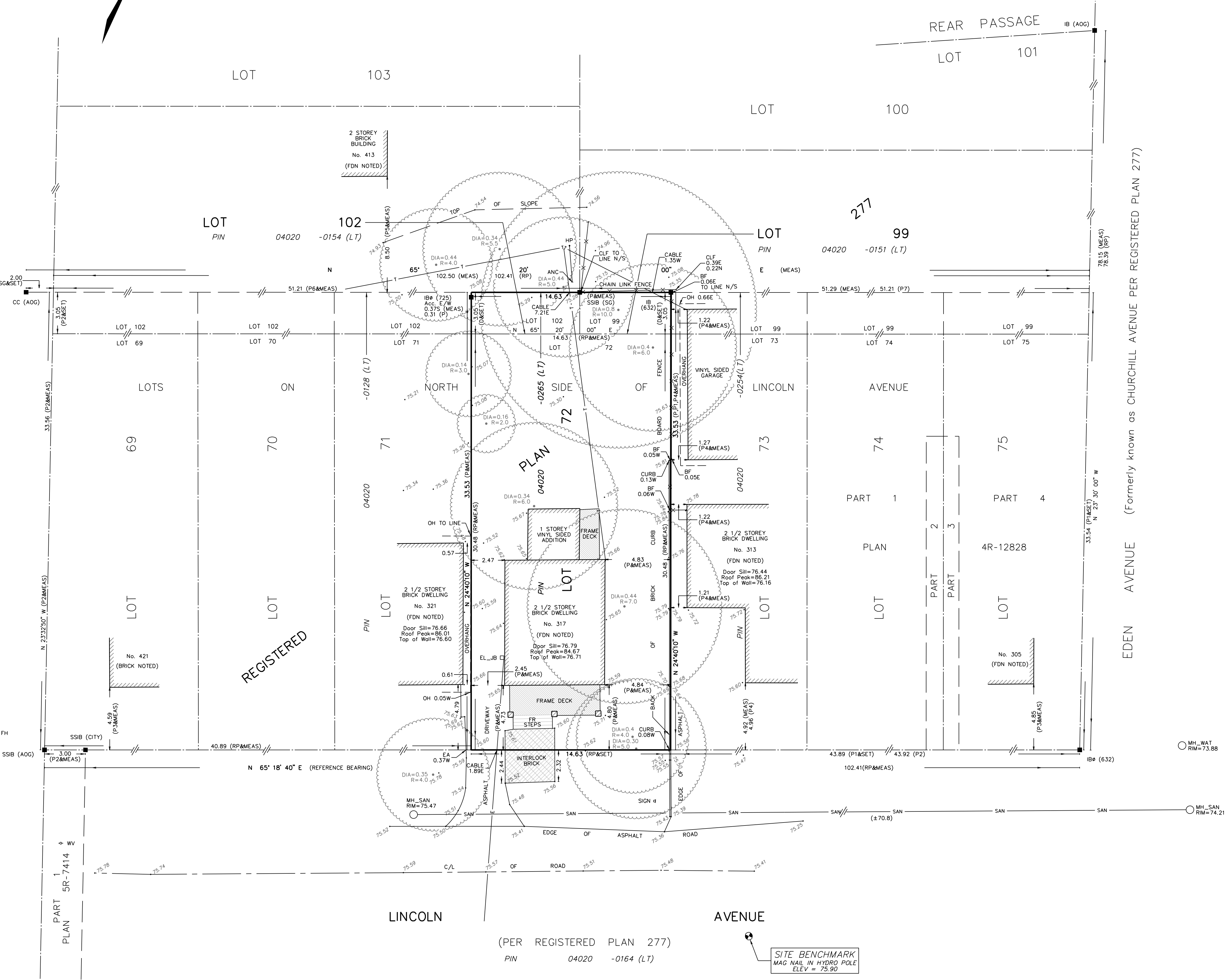
FEBRUARY 3, 2021 DATE  
 GEORGE ZERVOS ONTARIO LAND SURVEYOR

**J.D. BARNES** SURVEYING MAPPING GIS LIMITED  
 LAND INFORMATION SPECIALISTS  
 62 STEACIE DRIVE, SUITE 103, KANATA, ON K2K 2A9  
 T: (613) 731-7244 F: (613) 254-8659 www.jdbarnes.com

DRAWN BY: RP	CHECKED BY: GZ	REFERENCE NO.: 21-10-002-00	DATE: 02/02/21
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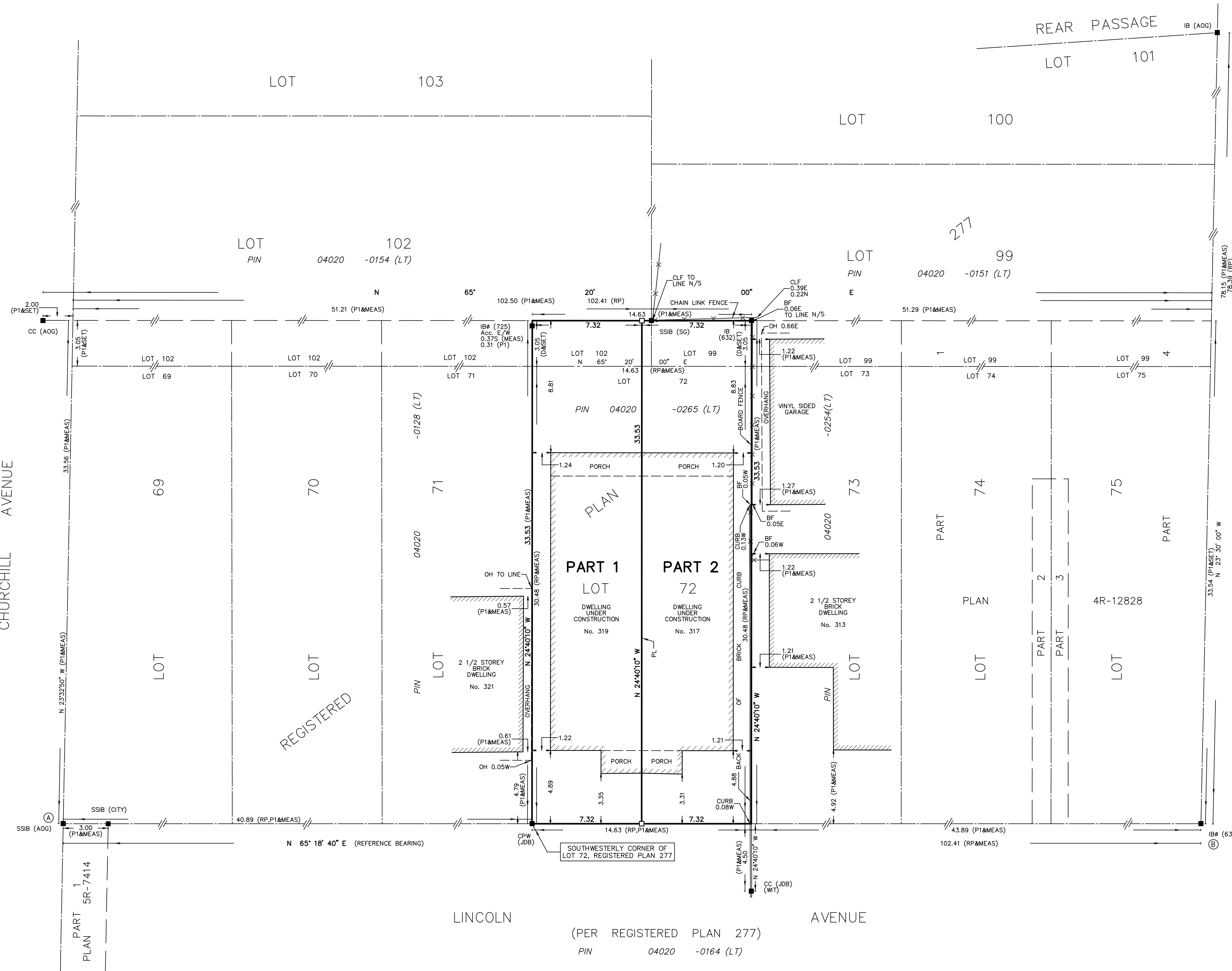
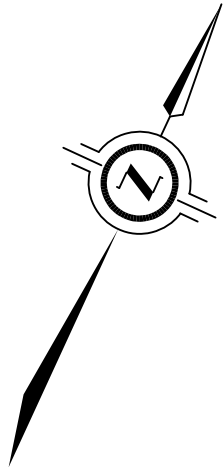
CHURCHILL AVENUE (Formerly known as MAIN STREET PER REGISTERED PLAN 277)

EDEN AVENUE (Formerly known as CHURCHILL AVENUE PER REGISTERED PLAN 277)



# DRAFT SEVERANCE PLAN

SCHEDULE				
PART	PART OF LOT	PLAN	PIN	AREA sq. m.
1	72 AND 102	277	ALL OF 04020-0265 (LT)	245.3
2	72, 99 AND 102			245.3



PLAN OF SURVEY OF  
**LOT 72**  
 AND  
**PART OF LOTS 99 AND 102**  
**REGISTERED PLAN 277**  
 CITY OF OTTAWA

SCALE 1 : 150

THE INTENDED PLOT SIZE OF THIS PLAN IS 800mm IN WIDTH BY 609mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:150

J.D. BARNES LIMITED  
**METRIC** DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTES**  
 BEARINGS ARE MTM GRID AND ARE REFERRED TO THE NORTHERLY LIMIT OF LINCOLN AVENUE, AS SHOWN ON A PLAN BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. DATED SEPTEMBER 20, 2017 HAVING A BEARING OF N 65° 18' 40" E.  
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999936.

**INTEGRATION DATA**

POINT ID	EASTING	NORTHING
ORP (A)	363 276.34	5 028 207.09
ORP (B)	363 369.43	5 028 249.86
SCP 2016-0328	368 493.90	5 026 699.86

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.  
 THE RESULTANT TIE BETWEEN SCP'S 1919770882 AND ORP (B) IS 5353.76m. (GRID), N 73°10'15" W

**LEGEND**

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
□	DENOTES	STANDARD IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
IB#	DENOTES	ROUND IRON BAR
IB	DENOTES	IRON BAR
CC	DENOTES	CUT CROSS
CPW	DENOTES	CONCRETE PIN AND WASHER
WT	DENOTES	WITNESS
MEAS	DENOTES	MEASURED
OU	DENOTES	ORIGIN UNKNOWN
Acc	DENOTES	ACCEPTED
OH	DENOTES	OVERHANG
No.	DENOTES	NUMBER
RP	DENOTES	REGISTERED PLAN 277
P1	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY J.D. BARNES LTD., DATED FEBRUARY 8, 2021
D	DENOTES	DEED CR597455
AOG	DENOTES	ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
632	DENOTES	G.C. MORSTIE, O.L.S.
725	DENOTES	R.W. ARNETT, O.L.S.
SG	DENOTES	STANTEC GEOMATICS LTD.
JDB	DENOTES	J.D. BARNES LTD.
CITY	DENOTES	CITY OF OTTAWA
PL	DENOTES	PART LIMIT WITHIN DEMISING WALL
CLF	DENOTES	CHAIN LINK FENCE
BF	DENOTES	BOARD FENCE

N=NORTH / S=SOUTH / E=EAST / W=WEST

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON JUNE 15, 2022.

DRAFT DATE: \_\_\_\_\_  
 GEORGE ZERVOS  
 ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER XXXXXXX

**J.D. BARNES LIMITED**  
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 T: (613) 731-7244 F: (613) 731-8955 www.jdbarnes.com

DRAWN BY: RP	CHECKED BY: CZ	REFERENCE NO: 21-10-002-00
FILE: G:\21-10-002\00\Drawing\PLAN\211000200-RPLAN.dgn		DATED: 11/09/2022

PLOTTED: 11/11/2022