

Committee of Adjustment
Received | Reçu le

Revised | Modifié le : 2023-01-11

City of Ottawa | Ville d'Ottawa
Comité de dérogation

PROJECT TITLE:

214 PRETORIA

Fourplex Nov. 2022

LEGAL DESCRIPTION

PART 1 OF LOT 2 SOUTH PRETORIA,
REGISTERED PLAN 44376, CITY OF OTTAWA

Site Plan Based on Survey Completed
by Startec Geomatics LTD.
O.L.S. Dated Oct. 24, 2022.

ZONING AREA SUMMARY

TOTAL AREAS
TOTAL GROSS FLOOR AREA: 410.8 SQ.M (4419 SQ.FT)
TOTAL GROSS LEASABLE FLOOR AREA 410.8 SQ.M (4419 SQ.FT)
GROSS FLOOR AREA LESS BASEMENT 322.3 SQ. M (3424 SQ.FT)
TOTAL COMMON SPACE: 59.8 SQ.M (643 SQ.FT)
Total Lot Size 339.19M

ONTARIO BUILDING CODE AREAS

BUILDING AREA 137 SQ. M (1479 SQ. FT)

AREA AT EXTERIOR FACE OF EXT. WALL

BASEMENT FACE OF FOUND'N WALL 126.9 SQ. M (1366 SQ. FT)
GROUND FACE OF CLAD'G / MNRY 128.9 SQ. M (1387 SQ. FT)
SECOND FACE OF CLAD'G / MNRY 137.5 SQ. M (1479 SQ. FT)
THIRD FACE OF CLAD'G 130.0 SQ. M (1399 SQ. FT)
STAIR PENTHOUSE F/O OF CLAD'G 9.7 SQ. M (105 SQ. FT)

ZONING AREAS

BASEMENT LEVEL UNIT-01:
GROSS FLOOR AREA: 92.5 SQ. M (995 SQ. FT)
GROSS LEASABLE FLOOR AREA: 92.5 SQ. M (995 SQ. FT)
COMMON SPACE: 15.1 SQ. M (163 SQ. FT)
GROUND LEVEL UNIT-02:
GROSS FLOOR AREA: 102.3 SQ. M (1100 SQ. FT)
GROSS LEASABLE FLOOR AREA: 102.3 SQ. M (1100 SQ. FT)
COMMON SPACE: 15.7 SQ. M (168 SQ. FT)
SECOND LEVEL UNIT-03:
GROSS FLOOR AREA: 110.6 SQ. M (1190 SQ. FT)
GROSS LEASABLE FLOOR AREA: 110.6 SQ. M (1190 SQ. FT)
COMMON SPACE: 14.5 SQ. M (156 SQ. FT)
THIRD LEVEL UNIT-04:
GROSS FLOOR AREA: 105.4 SQ. M (1134 SQ. FT.)
GROSS LEASABLE FLOOR AREA: 105.4 SQ. M (1134 SQ. FT.)
COMMON SPACE: 14.5 SQ. M (156 SQ. FT)

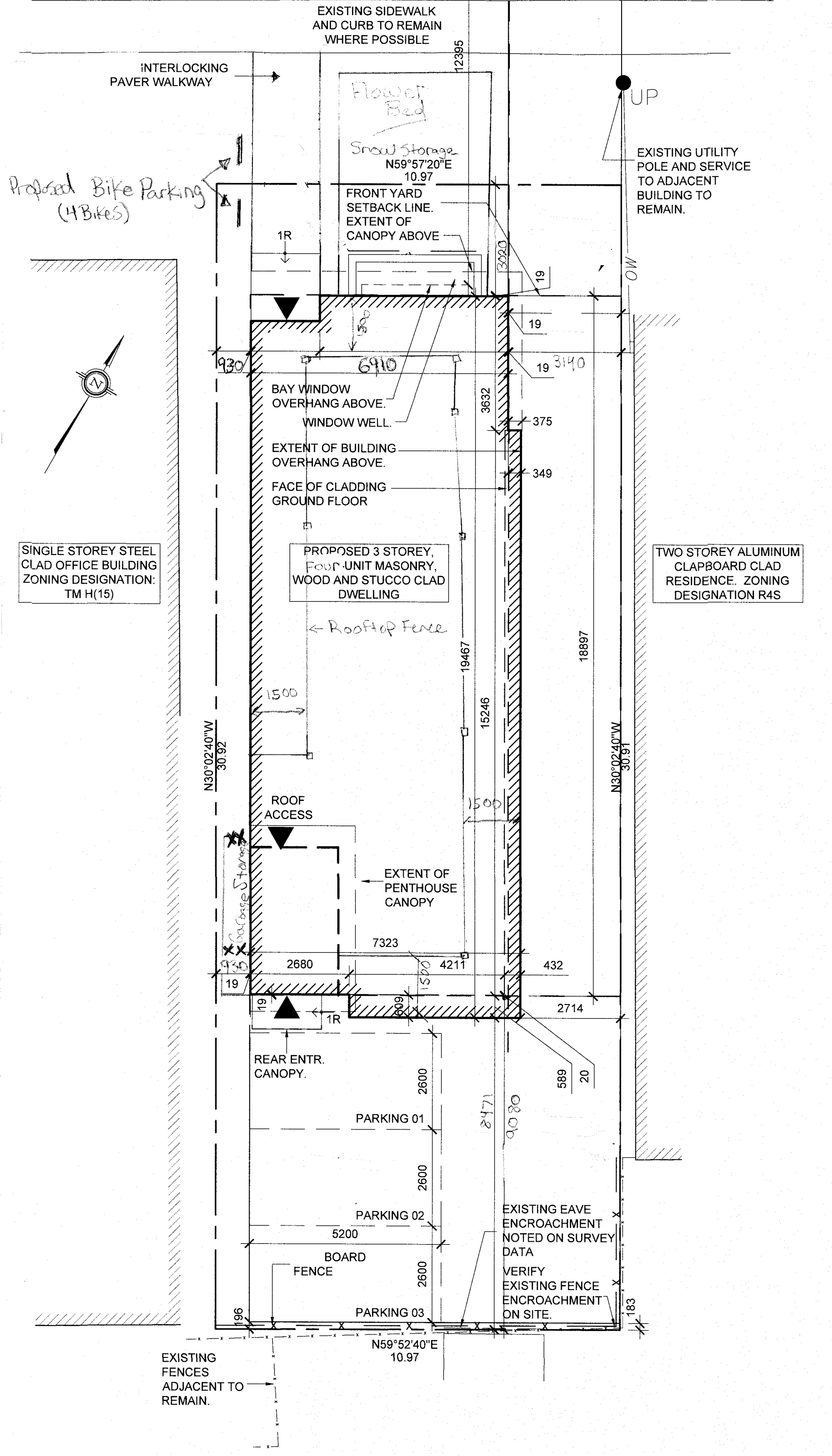
LEGEND

▼ DENOTES LOCATION OF NEW OVERHEAD GARAGE DOOR (NOT APPLICABLE)
▼ DENOTES LOCATION OF SWING DOOR BUILDING ENTRANCE
--- DENOTES EXTENT OF ROOF ABOVE
--- DENOTES LOCATION OF PROPERTY LINE
- x - DENOTES LOCATION OF NEW PARKING AREA FENCING
xx Garbage & Recycling - Racking with Cedar Panels Facing Street.
Scale 1:100

PRETORIA AVE.

CENTERLINE OF STREET

NOTE:
DISCONNECT AND REMOVE SERVICES TO EXISTING HOUSE. TERMINATE AT MAINS UNDER STREET.



SITE PLAN

SCALE 1:100

FLYNN
ARCHITECT

1154 BANK STREET OTTAWA, ONTARIO
T: 613-299-8505 F: 866-587-2021

GENERAL NOTES

- DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ONLY TO BE USED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- ALL WORK DESCRIBED UNDER THIS CONTRACT TO COMPLY WITH ONTARIO BUILDING CODE, 2006 AND/OR NATIONAL BUILDING CODE, 1995 AND OTHER CODES AND BY-LAWS IN EFFECT.

ISSUE RECORD

ISSUE	REV	DESCRIPTION	DATE
01	00	FOR CLIENT REVIEW	07-07-11
02	01	FOR MINOR VAR'CE APP.	07-25-11
03	01	FOR CLIENT REVIEW	12-21-11
04	02	PRE PERMIT REVIEW	'12-02-01
05	03	PRELIM TO STRUCT.	'12-02-06
06	04	FINAL STRU'L REVIEW	'12-02-27
07	05	BUILDING PERMIT	'12-02-29
08	06	CONSTRUCTION	'12-04-27
06	'12-04-27	GENERAL	
05	'12-02-29	GENERAL	
04	'12-02-27	STRUCUTRAL NOTES	
03	'12-02-06	BUILDING FOOTPRINT	
02	'12-02-01	GENERAL REVISIONS	
01	07-25-11	GENERAL REVISIONS	
00	07-07-11	ORIGINAL DOCUMENT	

No	DATE	REVISION

CLIENT:
CHRIS HAYMAN - OWNER
Ken Hayman - OWNER

CONSULTANTS:

STRUCTURAL
YANNICK DENIS
GENIVAR INC.
356 KIRKWOOD AV.
OTTAWA, ON
K1Z 8P1

SERVICES AND GRADING
KALEB LAKEW
KOLLARD AND ASSOCIATES ENGINEERS
P.O. BOX 189, 210 PRESCOTT ST.
KEMPTVILLE, ON
K0G 1J0

Survey
R.B. Bennett
Startec Geomatics LTD.

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ISSUE	REV	DESCRIPTION	DATE
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05	04	BUILDING PERMIT	'12-02-29
06	05	SCALE CORRECTION	'12-03-27
07	06	CONSTRUCTION	'12-04-27

ISSUE	REV	DESCRIPTION	DATE
06	'12-04-27	GENERAL	
05	'12-03-27	SCALE	
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DATE REVISION

PROJECT NORTH

CLIENT:
CHRIS HAYMAN

CONSULTANTS:
STRUCTURAL
YANNICK DENIS
GENIVAR INC.
356 KIRKWOOD AV.
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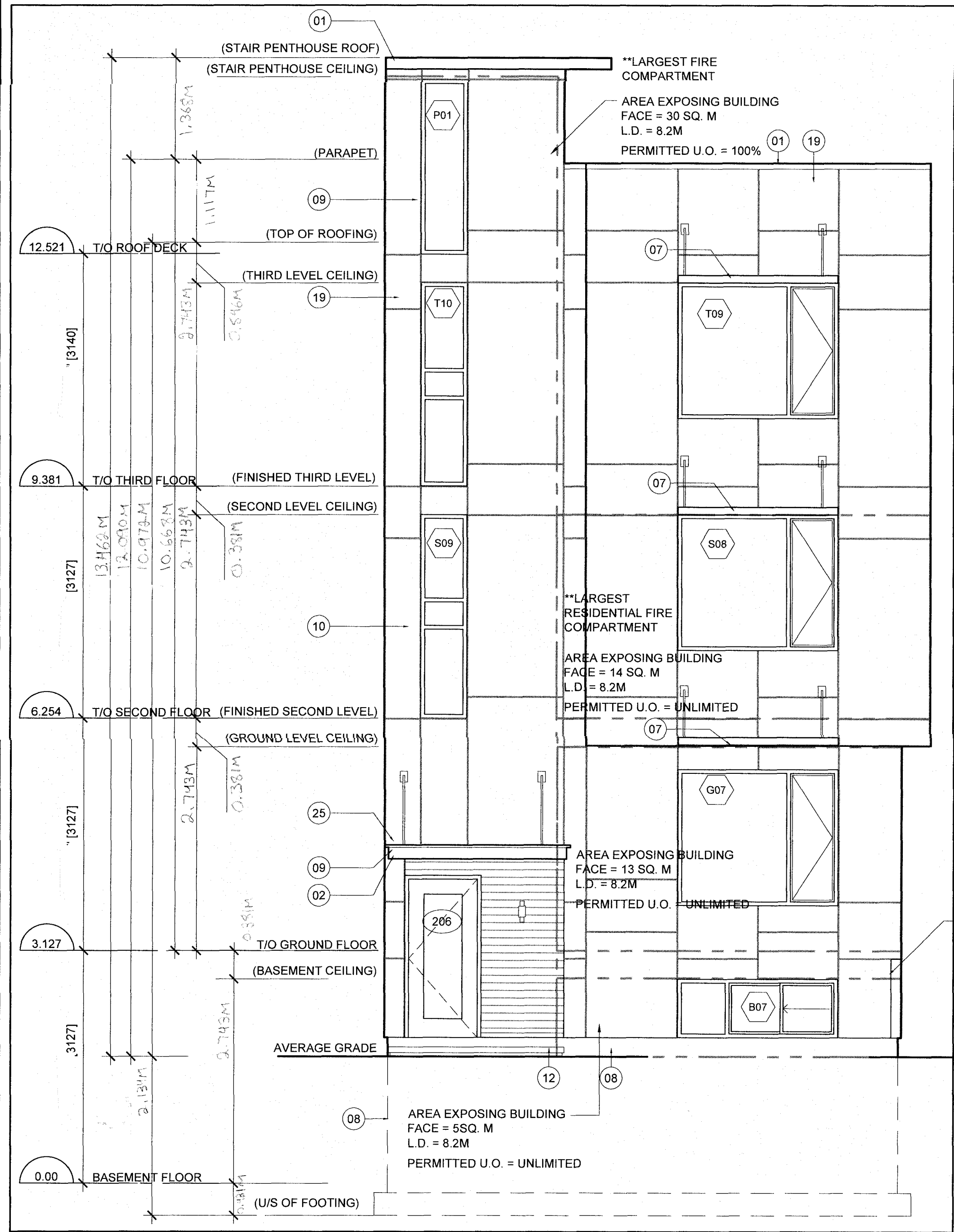
PROJECT TITLE:
214 PRETORIA
FOURPLEX

DRAWING TITLE:
EAST BUILDING ELEVATION

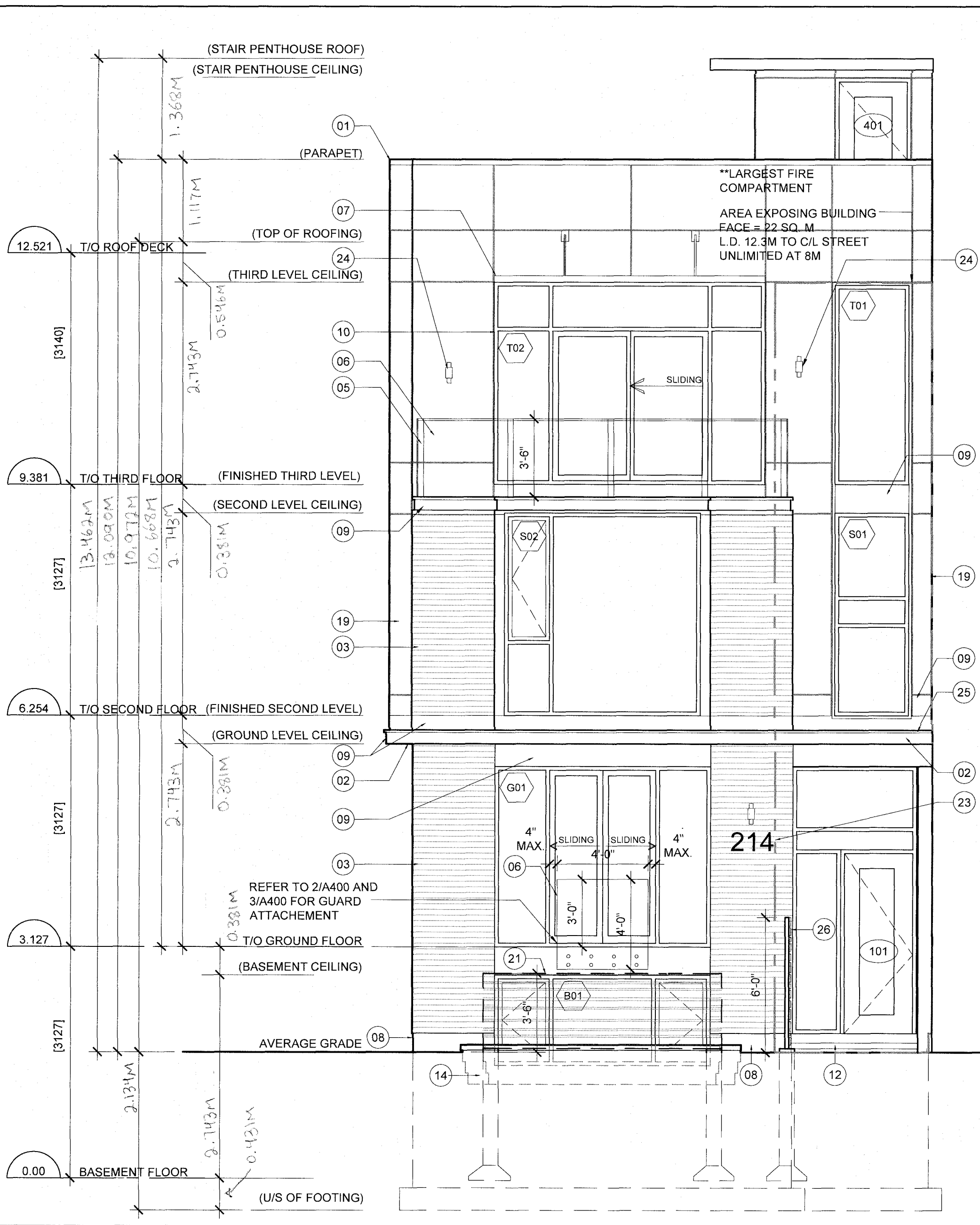
DATE	DRAWN BY	JOB No.	DRAWING No.
JAN '12	E.A.S. INC.	09-003	A-301

SCALE: AS NOTED
CHECKED BY: JCF

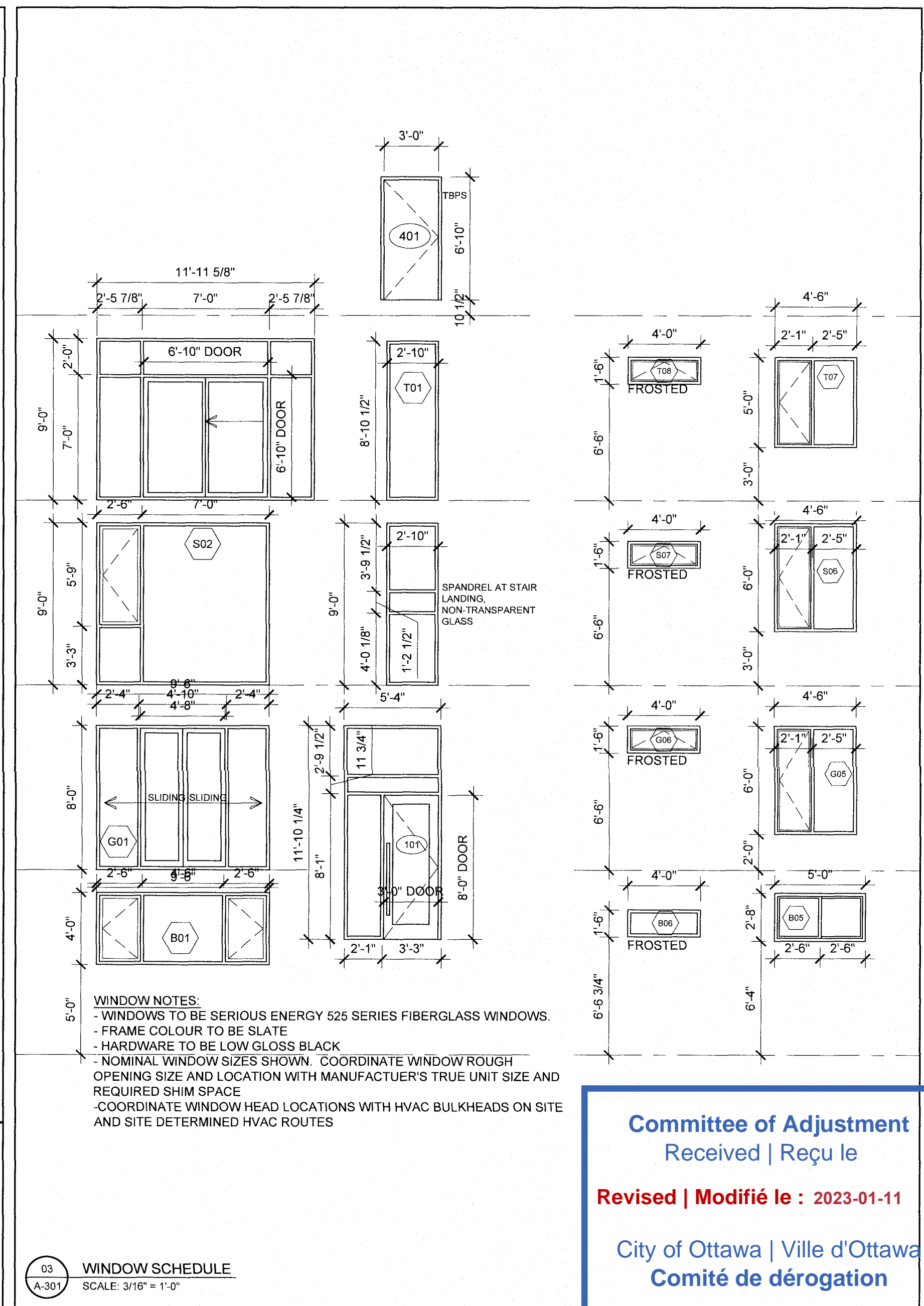
ARCHITECTURAL



01 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



02 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



03 WINDOW SCHEDULE
SCALE: 3/16" = 1'-0"

No.	LOCATION		DOOR		FRAME		FRAME		FRAME		FRAME		FRAME		FRAME		FRAME		REMARKS
	FROM	TO	WID.	HT.	THICK	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH		
LOWER LEVEL																			
001	STAIR-01	BASEMENT	34"	82"	1 5/8"	IHM	PT	PS	PT										MINIMUM 45 MINUTE F.P.R.
002	STAIR-02	BASEMENT	34"	82"	1 5/8"	IHM	PT	PS	PT										MINIMUM 45 MINUTE F.P.R.
GROUND FLOOR																			
101	EXTERIOR	STAIR-01	36"	96"	1 5/8"	FG	PRE	FG	PRE										
102	STAIR-01	FOYER	34"	82"	1 5/8"	IHM	PT	PS	PT										MINIMUM 45 MINUTE RATING
103	HALL	BEDROOM 01	30"	80"	1 3/8"	SCW	PT	WD	PT										
104	HALL	WC-01	28"	80"	1 3/8"	SCW	PT	WD	PT										
105	HALL	LINEN	2-18"	80"	1 3/8"	SCW	PT	WD	PT	6P				X2					
106	HALL	SERVICE RM	4-26"	80"	1 3/8"	SCW	PT	WD	PT										
107	HALL	MASTER BEDROOM	30"	80"	1 3/8"	SCW	PT	WD	PT										
108	MASTER BEDROOM	ENSUITE	28"	80"	1 3/8"	SCW	PT	WD	PT										
109	STAIR-02	FOYER	34"	82"	1 5/8"	IHM	PT	PS	PT										MINIMUM 45 MINUTE RATING
110	EXTERIOR	STAIR-01	36"	84"	1 5/8"	FG	PRE	FG	PRE										
111	FOYER	CLOSET	2-22"	80"	1 3/8"	SCW	PT	WD	PT	6P				X2					
SECOND FLOOR																			
201	STAIR-01	FOYER	34"	84"	1 5/8"	IHM	PT	PS	PT										MINIMUM 45 MINUTE RATING
202	HALL	BEDROOM 01	30"	80"	1 3/8"	SCW	PT	WD	PT										
203	HALL	WC-01	28"	80"	1 3/8"	SCW	PT	WD	PT										
204	HALL	LINEN	2-18"	80"	1 3/8"	SCW	PT	WD	PT	6P				X2					
205	HALL	SERVICE RM	4-26"	80"	1 3/8"	SCW	PT	WD	PT										
206	HALL	MASTER BEDROOM	30"	80"	1 3/8"	SCW	PT	WD	PT										
207	MASTER BEDROOM	ENSUITE	28"	80"	1 3/8"	SCW	PT	WD	PT										
208	STAIR-02	FOYER	34"	84"	1 5/8"	IHM	PT	PS	PT										MINIMUM 45 MINUTE RATING
209	FOYER	CLOSET	2-22"	80"	1 3/8"	SCW	PT	WD	PT	6P				X2					
THIRD FLOOR																			
301	STAIR-01	FOYER	34"	84"	1 5/8"	IHM	PT	PS	PT										
302	HALL	BEDROOM 01	30"	80"	1 3/8"	SCW	PT	WD	PT										
303	HALL	WC-01	28"	80"	1 3/8"	SCW	PT	WD	PT										
304	HALL	LINEN	16"	80"	1 3/8"	SCW	PT	WD	PT										
305	HALL	SERVICE RM	4-26"	80"	1 3/8"	SCW	PT	WD	PT										
306	HALL	MASTER BEDROOM	30"	80"	1 3/8"	SCW	PT	WD	PT										
307	MASTER BEDROOM	ENSUITE	28"	80"	1 3/8"	SCW	PT	WD	PT										
308	STAIR-02	FOYER	34"	84"	1 5/8"	IHM	PT	PS	PT										MINIMUM 45 MINUTE RATING
309	FOYER	CLOSET	2-22"	80"	1 3/8"	SCW	PT	WD	PT	6P				X2					
ROOF/PENTHOUSE																			
401	STAIR-02	ROOF	36"	82"	1 5/8"	IHM	PT	HM	PT										

LEGEND

FG - FIBERGLASS
IHM - INSULATED HOLLOW METAL
HSC - HOLLOW SOUND CORE
PT - PAINT
PRE - PREFINISHED
WD - WOOD
SCW - SOLID CORE WOOD
ST - STAIN
PSF - PRESSED STEEL FRAME
ACL - PREFINISHED ALUMINUM CLADDING
VERIFY - VERIFY DIMENSIONS OF EXISTING CONDITIONS ON SITE.

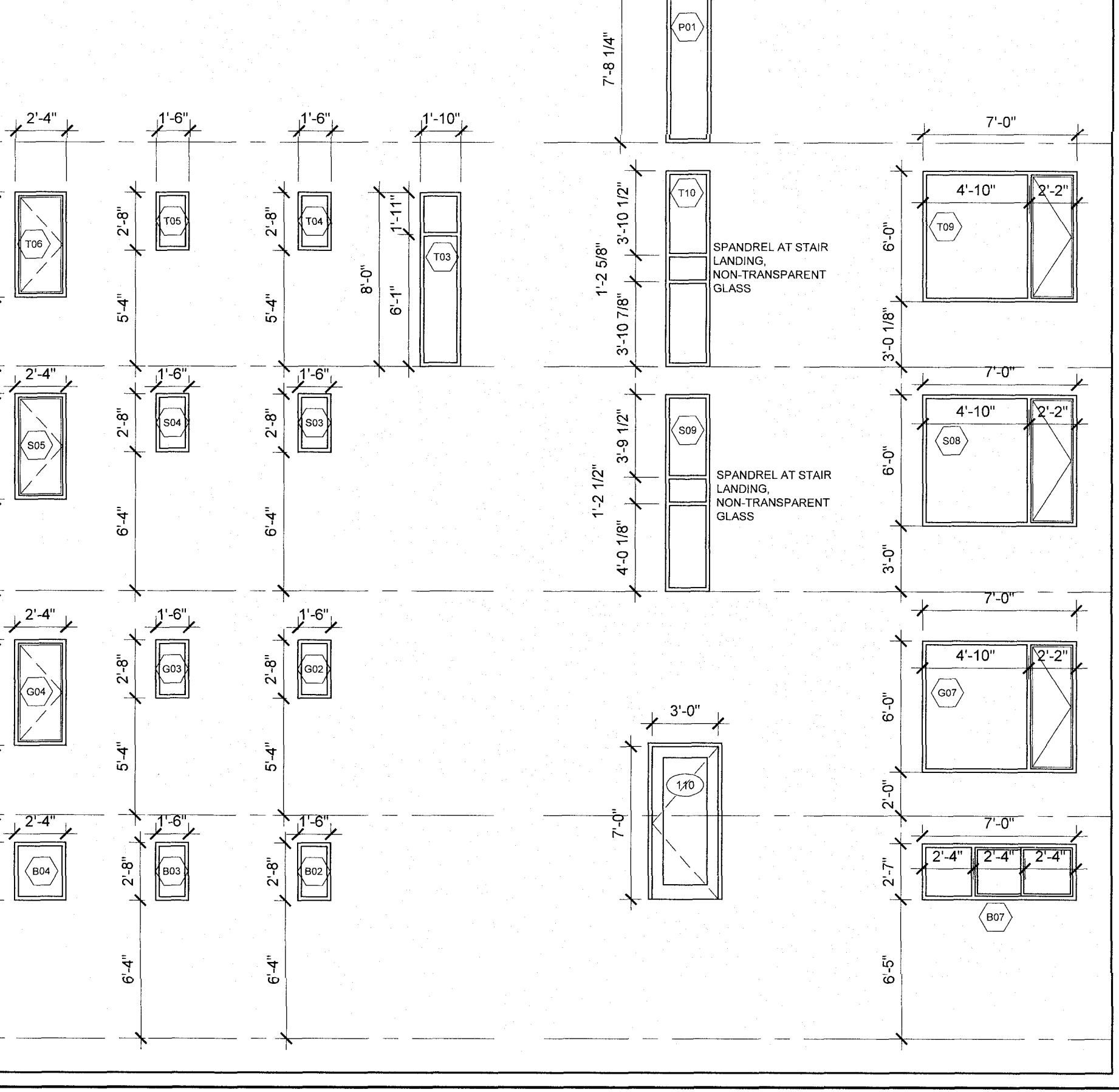
DOOR SCHEDULE NOTES:

- OPERABLE DOOR DIRECTION AS PER PLAN.
- PROVIDE TEMPERED OR LAMINATED SAFETY GLASS IN ALL DOORS AND SIDELIGHTS.
- PROVIDE WOOD BLOCKING AT LATCH SIDE OF ALL EXTERIOR DOORS TO PREVENT SPREADING OF THE OPENING IN THE EVENT OF FORCED ENTRY.
- VERIFY FRAMED OPENING DIMENSIONS PRIOR TO ORDERING. PROVIDE WINDOW AND DOOR SHOP DWGS TO ARCHITECT FOR REVIEW PRIOR TO ORDERING.
- COORDINATE KEYING REQUIREMENTS WITH OWNER.

ELEVATION NOTES

- PREFINISHED METAL FLASHING COLOUR TO MATCH ADJACENT CLADDING MATERIAL.
- WOOD SOFFIT FINISHED WITH CETOL 123 CLEAR FINISH. ALL CEDAR FINISHES NOTED, PROVIDE CLEAR CEDAR.
- ARRISCRAFT DRESSED STONE. FULL BED MASONRY, VARIED COURSING OF 4"(90MM) AND 10"(190MM) HIGH.
- PRECAST CONCRETE STAIR/LANDING. SMOOTH FINISH (ARCHITECTURAL).
- POWDER COAT FINISHED STEEL GUARD SUPPORT. REFER TO DETAIL FOR FASTENING.
- 3/4" LAMINATED CLEAR GLASS GUARD REFER TO DETAIL FOR ATTACHMENT.
- 2 X 3 CEDAR WOOD HORIZONTAL SUN SCREEN SPACED 6" O.C. SUPPORTED FROM WALL WITH CABLES SEE DETAIL.
- CAST IN PLACE FOUNDATION WALL WITH CEMENT PARGING TO 6" BELOW GRADE.
- PREFINISHED METAL TO MATCH WINDOW FRAMES. LAMINATE METAL OVER PRESSURE TREATED PLYWOOD & BLOCKING.
- DARK GREY FIBERGLASS WINDOW FRAMES.
- RECESSED MAILBOX MULTIPLE UNIT MAILBOX.
- PRE-CAST CONCRETE STAIR & LANDING ANCHOR TO FOUNDATION WALL.
- POWDER COATED METAL BAR HANDRAIL.
- GRAVITY RETAINING WALL WINDOW WELL.
- TURN ROOF MEMBRANE MIN. 6" UP WALL. PROVIDE PREFINISHED METAL FLASHING TO MATCH WINDOW FRAMES. MIN. 2" STANDOFF FROM ROOF SURFACE TO CLADDING SYSTEM WHERE <8" IS REQUIRED.

- PROVIDE 3/8" - 3/4" WIDE SEALANT JOINT AT JUNCTIONS IN MATERIAL. VENTED DRAINED SEALANT JOINTS WEPT AT BOTTOM FOR PRESSURE EQUALIZED DRAINED AND VENTED CLADDING SYSTEMS. PROVIDE BOND BREAKING BACKUP.
- 5/16" SMOOTH JAMES HARDIE HARDIBOARD PANEL SOFFIT, NOT PERFORATED.
- P.T. WOOD DECK CW 1 1/2" CEDAR WOOD DECKING AND 5/4" CEDAR WOOD FACING / SKIRT.
- PREFINISHED CLADDING PANEL BY JAMES HARDIE CW MANUFACTURER SUPPLIED METAL EDGE TRIM ACCESSORY.
- OPEN CEDAR WOOD TRELLIS FRAMING.
- 2X4" HORIZONTAL WOOD SCREEN/GUARD. MAXIMUM 3/16" SPACE BETWEEN MEMBERS TO PREVENT CLIMBING PER 9.8.8.6. O.B.C. 2006.
- PREFINISHED EAVES TROUGH TO MATCH FASCIA CW GUTTER HELMET.
- LETTERING - SURFACE MOUNTED RESTORATION HARDWARE MOUNTED TO MASONRY.
- SURFACE MOUNTED LIGHT FIXTURE.
- FLAT ROOF. CANTILEVER FRAMING WITH BLUESKIN AND PREFIN. METAL CLADDING. SLOPE AWAY.
- STEEL CHANNEL AND CEDAR FENCE BOARD PRIVACY SCREEN. METAL PAINTED TO MATCH PREFINISHED METAL FLASHING.



03 WINDOW SCHEDULE
SCALE: 3/16" = 1'-0"

GENERAL NOTES

- DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ONLY TO BE USED.
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- ALL WORK DESCRIBED UNDER THIS CONTRACT TO COMPLY WITH ONTARIO BUILDING CODE, 2006 AND/OR NATIONAL BUILDING CODE, 1995 AND OTHER CODES AND BY-LAWS IN EFFECT.

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05	04	BUILDING PERMIT	12-02-29
06	05	SCALE CORRECTION	12-03-27
07	06	CONSTRUCTION	12-04-27

No	DATE	REVISION
06	12-08-27	GENERAL
04	12-02-29	GENERAL
03	12-02-27	STRUCTURAL NOTES
02	12-02-06	BUILDING FOOTPRINT
01	12-02-01	GENERAL
00	12-21-11	ORIGINAL DOCUMENT

PROJECT NORTH

CLIENT:
CHRIS HAYMAN

CONSULTANTS:
STRUCTURAL
YANNICK DENIS
GENIVAR INC.
356 KIRKWOOD AV.
OTTAWA, ON
K1Z 8P1

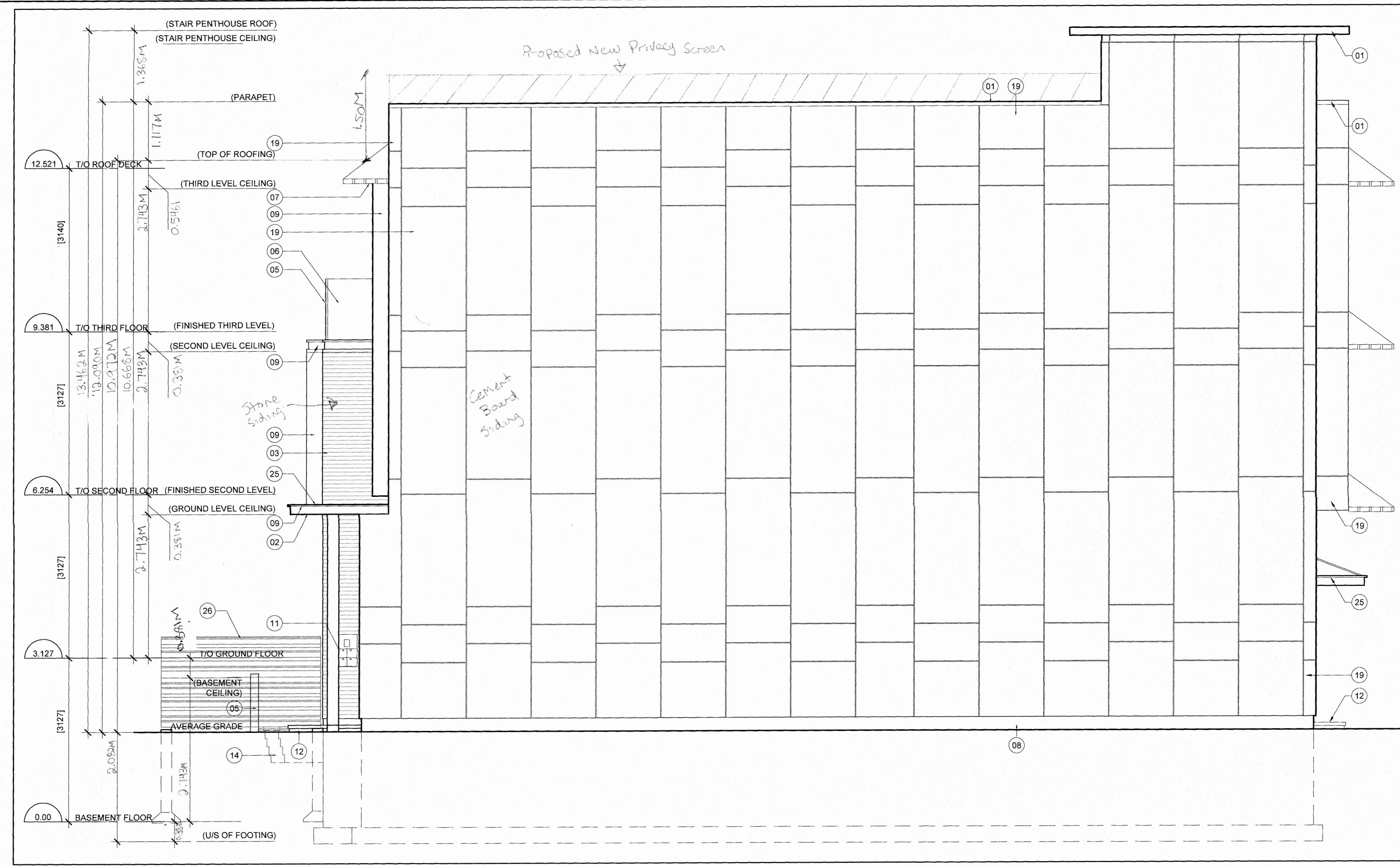
SERVICES AND GRADING
KALEB LAKEW
KOLLARD AND ASSOCIATES ENGINEERS
P.O. BOX 189, 210 PRESCOTT ST.
KEMPTVILLE, ON
K0G 1J0

PROJECT TITLE:
214 PRETORIA
Fourplex

DRAWING TITLE:
BUILDING ELEVATIONS

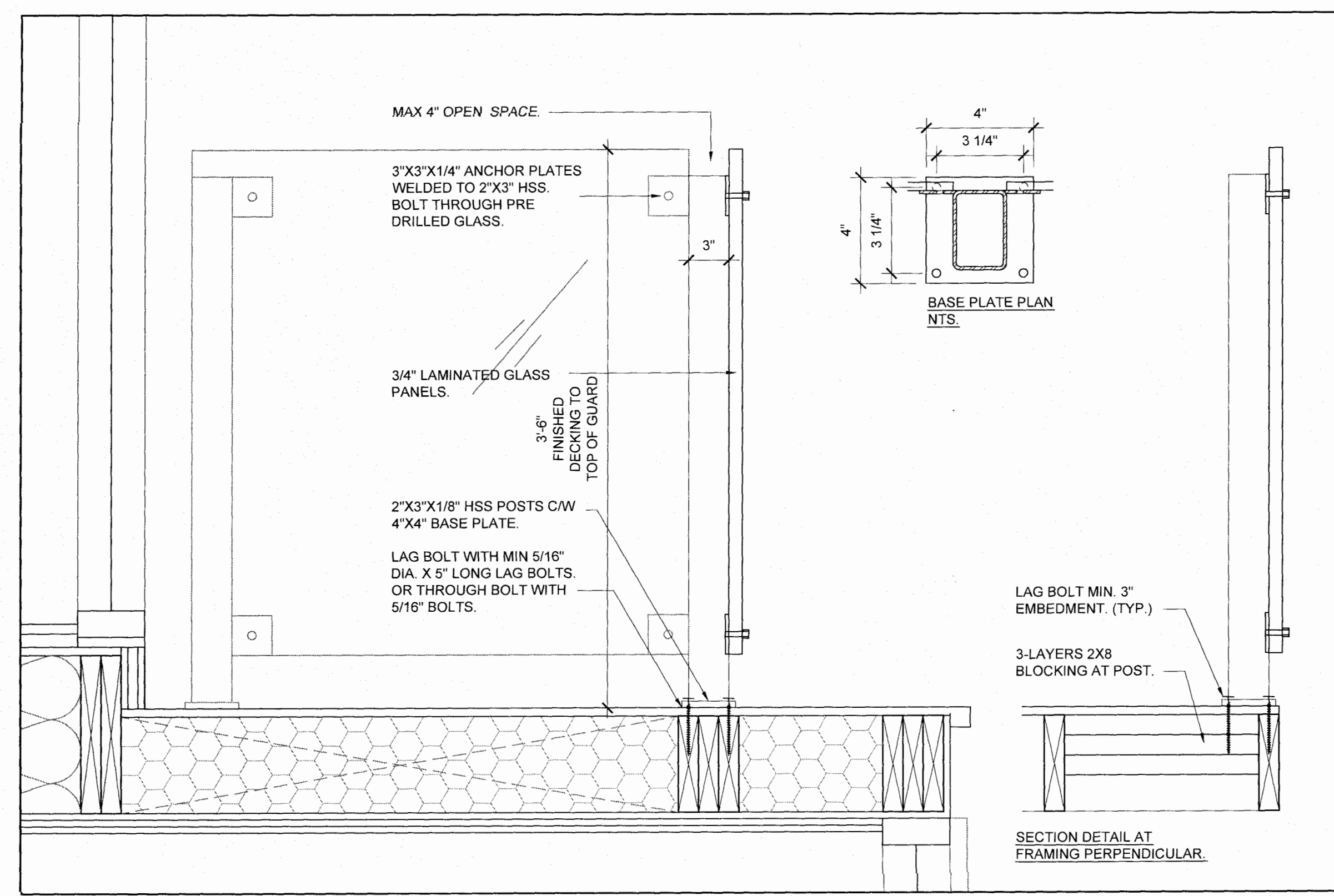
DATE	DRAWN BY	JOB No.	DRAWING No.
JAN '12	E.A.S. INC.		
SCALE AS NOTED	CHECKED BY JCF	09-003	A-300

ARCHITECTURAL



01 WEST ELEVATION
SCALE 1/4" = 1'-0"

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2023-01-11
City of Ottawa | Ville d'Ottawa
Comité de dérogation



03 STRUCTURAL DETAIL, GUARD ATTACHMENT (STRUCTURAL ONLY)
SCALE 1 1/2" = 1'-0"

- ELEVATION NOTES**
- 01 PREFINISHED METAL FLASHING. COLOUR TO MATCH ADJACENT CLADDING MATERIAL.
 - 02 WOOD SOFFIT FINISHED WITH CETOL 123 CLEAR FINISH. ALL CEDAR FINISHES NOTED, PROVIDE CLEAR CEDAR.
 - 03 ARRISCRAFT DRESSED STONE. FULL BED MASONRY. VARIED COURSING OF 4"(90MM) AND 10" (190MM) HIGH.
 - 04 PRECAST CONCRETE STAIR/LANDING. SMOOTH FINISH (ARCHITECTURAL).
 - 05 POWDER COAT FINISHED STEEL GUARD SUPPORT. REFER TO DETAIL FOR FASTENING.
 - 06 3/4" LAMINATED CLEAR GLASS GUARD. REFER TO DETAIL FOR ATTACHMENT WALL.
 - 07 2 X 3 CEDAR WOOD HORIZONTAL SUN SCREEN SPACED 6" o.c. SUPPORTED FROM WALL WITH CABLES SEE DETAIL.
 - 08 CAST IN PLACE FOUNDATION WALL WITH CEMENT PARGING TO 6" BELOW GRADE.
 - 09 PREFINISHED METAL TO MATCH WINDOW FRAMES. LAMINATE METAL OVER PRESSURE TREATED PLYWOOD & BLOCKING.
 - 10 DARK GREY FIBERGLASS WINDOW FRAMES.
 - 11 RECESSED MAILBOX MULTIPLE UNIT MAILBOX.
 - 12 PRE-CAST CONCRETE STAIR & LANDING ANCHOR TO FOUNDATION WALL.
 - 13 POWDER COATED METAL BAR HANDRAIL.
 - 14 GRAVITY RETAINING WALL WINDOW WELL.
 - 15 TURN ROOF MEMBRANE MIN. 8" UP WALL. PROVIDE PREFINISHED METAL FLASHING TO MATCH WINDOW FRAMES. MIN. 2" STANDOFF FROM ROOF SURFACE TO CLADDING SYSTEM WHERE <8" IS REQUIRED.
 - 16 PROVIDE 3/8" - 3/4" WIDE SEALANT JOINT AT JUNCTIONS IN MATERIAL. VENTED DRAINED SEALANT JOINTS WEPT AT BOTTOM FOR PRESSURE EQUALIZED DRAINED AND VENTED CLADDING SYSTEMS. PROVIDE BOND BREAKING BACKUP.

- 17 5/16" SMOOTH JAMES HARDIE HARDIBOARD PANEL SOFFIT, NOT PERFORATED.
 - 18 P.T. WOOD DECK C/W 1 1/2" CEDAR WOOD DECKING AND 5/4" CEDAR WOOD FACING / SKIRT.
 - 19 PREFINISHED CLADDING PANEL BY JAMES HARDIE C/W MANUFACTURER SUPPLIED METAL EDGE TRIM ACCESSORY.
 - 20 OPEN CEDAR WOOD TRELLIS FRAMING.
 - 21 2X4" HORIZONTAL WOOD SCREEN/GUARD. MAXIMUM 3/16" SPACE BETWEEN MEMBERS TO PREVENT CLIMBING PER 9.8.8.6. O.B.C. 2006.
 - 22 PREFINISHED EAVES TROUGH TO MATCH FASCIA C/W GUTTER HELMET.
 - 23 LETTERING - SURFACE MOUNTED RESTORATION HARDWARE MOUNTED TO MASONRY.
 - 24 SURFACE MOUNTED LIGHT FIXTURE.
 - 25 FLAT ROOF. CANTILEVER FRAMING WITH BLUESKIN AND PREFIN METAL CLADDING. SLOPE AWAY.
 - 26 STEEL CHANNEL AND CEDAR FENCE BOARD PRIVACY SCREEN. METAL PAINTED TO MATCH PREFINISHED METAL FLASHING.
- NOTE: UNLESS NOTED OTHERWISE HATCHING PATTERNS SHOWN FOR MATERIALS WITH REGULAR COURSING OR REPEATING PATTERNS ARE SCHEMATIC REPRESENTATIONS ONLY AND DO NOT REFLECT COURSING, LAYOUT, NOR ORGANIZATION. WHERE CLARIFICATION IS REQUIRED CONSULT ARCHITECT.