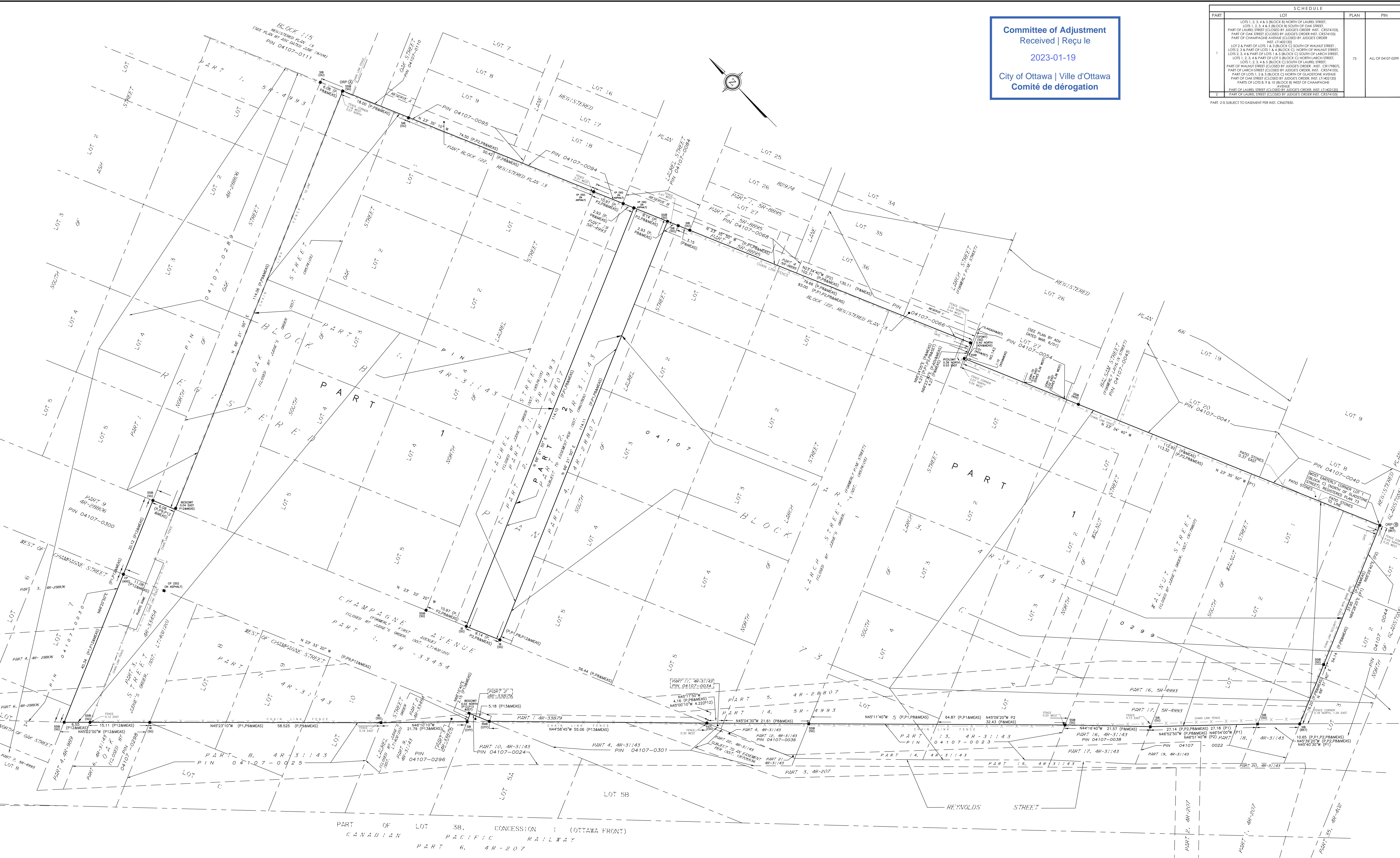


Approved: 13, 2022



Committee of Adjustment  
Received | Reçu le  
2023-01-19  
City of Ottawa / Ville d'Ottawa  
Comité de dérogation

SCHEDULE			
PART	LOT	PLAN	PIN
1	LOTS 1, 2, 3, 4 & 5 (BLOCK B) NORTH OF LAUREL STREET, LOTS 1, 2, 3, 4 & 5 (BLOCK B) SOUTH OF OAK STREET, PART OF LAUREL STREET (CLOSED BY JUDGE'S ORDER INST. CR574103), PART OF OAK STREET (CLOSED BY JUDGE'S ORDER INST. CR574103), PART OF CHAMPAGNE AVENUE (CLOSED BY JUDGE'S ORDER INST. L1402120), LOTS 2 & 3 PART OF LOTS 1 & 4 (BLOCK C) NORTH OF WALNUT STREET, LOTS 2, 3 & 4 PART OF LOTS 1 & 8 (BLOCK C) SOUTH OF LARCH STREET, LOTS 1, 2, 3, 4 & 5 (BLOCK C) SOUTH OF LAUREL STREET, PART OF WALNUT STREET (CLOSED BY JUDGE'S ORDER INST. CR179807), PART OF LARCH STREET (CLOSED BY JUDGE'S ORDER INST. CR574103), PART OF LOTS 1, 2 & 3 (BLOCK C) NORTH OF GLADSTONE AVENUE, PART OF OAK STREET (CLOSED BY JUDGE'S ORDER INST. L1402120), PARTS OF LOTS 8, 9 & 10 (BLOCK B) WEST OF CHAMPAGNE AVENUE	73	ALL OF 04107-0299
2	PART OF LAUREL STREET (CLOSED BY JUDGE'S ORDER INST. L1402120)		

PART 2 IS SUBJECT TO EASEMENT PER INST. CR67070.

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.		PLAN 4R- RECEIVED AND DEPOSITED	
DATE:		DATE:	
R.G. BENNETT ONTARIO LAND SURVEYOR		REGISTRAR FOR THE LAND TITLES DIVISION OF OTTAWA-CARLETON No. 4	

PLAN OF SURVEY OF  
**LOT 2 AND PART OF LOTS 1 & 3,**  
**BLOCK C (SOUTH OF WALNUT STREET),**  
**LOTS 2 & 3 AND PART OF LOTS 1 & 4,**  
**BLOCK C (NORTH OF WALNUT STREET),**  
**LOTS 2, 3 & 4 AND PART OF LOTS 1 & 5,**  
**BLOCK C (SOUTH OF LARCH STREET),**  
**LOTS 1, 2, 3 & 4 AND PART OF LOT 5,**  
**BLOCK C (NORTH OF LARCH STREET),**  
**LOTS 1, 2, 3, 4 & 5, BLOCK C**  
**(SOUTH OF LAUREL STREET),**  
**LOTS 1, 2, 3, 4 & 5, BLOCK B**  
**(NORTH OF LAUREL STREET),**  
**LOTS 1, 2, 3, 4 & 5, BLOCK B**  
**(SOUTH OF OAK STREET),**  
**PART OF LOTS 8, 9 & 10, BLOCK B**  
**(WEST OF CHAMPAGNE AVENUE),**  
**PART OF LOTS 1, 2 & 3,**  
**BLOCK C (NORTH OF GLADSTONE AVENUE),**  
**PART OF OAK STREET**  
**(CLOSED BY JUDGE'S ORDER INST. CR574103),**  
**PART OF OAK STREET**  
**(CLOSED BY JUDGE'S ORDER INST. L1402120),**  
**PART OF LAUREL STREET**  
**(CLOSED BY JUDGE'S ORDER INST. CR574103),**  
**PART OF LAUREL STREET**  
**(CLOSED BY JUDGE'S ORDER INST. L1402120),**  
**PART OF LARCH STREET (FORMERLY PINE**  
**STREET)**  
**(CLOSED BY JUDGE'S ORDER INST. OC574103),**  
**PART OF WALNUT STREET**  
**(CLOSED BY JUDGE'S ORDER INST. CR179807),**  
**PART OF CHAMPAGNE AVENUE**  
**(FORMERLY FIRST AVENUE)**  
**(CLOSED BY JUDGE'S ORDER INST. L1402120)**  
**REGISTERED PLAN 73**  
**CITY OF OTTAWA**

Scale 1:300  
 METRIC CONVERSION  
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048  
 GRID SCALE CONVERSION  
 ESTIMATES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99995.  
 BEARING NOTE  
 BEARINGS ARE GRID, DERIVED FROM CAN-NET VRS NETWORK GPS OBSERVATIONS ON ICH3 HORIZONTAL CONTROL MONUMENTS 19773035 AND 1980191, CENTRAL MERIDIAN 78° 30' WEST LONGITUDE NAD 83 (ORIGINAL).  
 19773035 N=5006460.42 E=324888.04  
 1980191 N=5003564.26 E=388044.94  
 LEGEND  
 DENOTES FOUND MONUMENTS  
 SET MONUMENTS  
 IRON BAR  
 ROUND IRON BAR  
 STANDARD IRON BAR  
 SHORT STANDARD IRON BAR  
 CUT CROSS  
 CONCRETE PIN  
 WIRE  
 IDENTIFICATION NUMBER  
 MEASURES  
 PROPORTIONED  
 OBSERVED REFERENCE POINT  
 ANNEE, OSULLIVAN VOLLEBECK LIMITED, O.L.S.  
 GEORGIE UNDAUNED  
 STANTEC GEOMATICS LTD.  
 PARMEL, MURPHY & WOODLAND LIMITED, O.L.S.  
 PLAN 4R-3143  
 PLAN 4R-4993  
 PLAN 4R-2807  
 PLAN 4R-2806  
 PLAN 4R-207  
 PLAN 4R-3344  
 PLAN 4R-3397

OBSERVED REFERENCE POINTS DERIVED FROM THE CAN-NET VRS NETWORK GPS OBSERVATIONS ON ICH3 HORIZONTAL CONTROL MONUMENTS 19773035 AND 1980191. CENTRAL MERIDIAN 78° 30' WEST LONGITUDE WITH ZONE 9. NAD83(CRS) (2011.0). COORDINATES TO 10 METRE PRECISION (4G) OF GRID 21410.

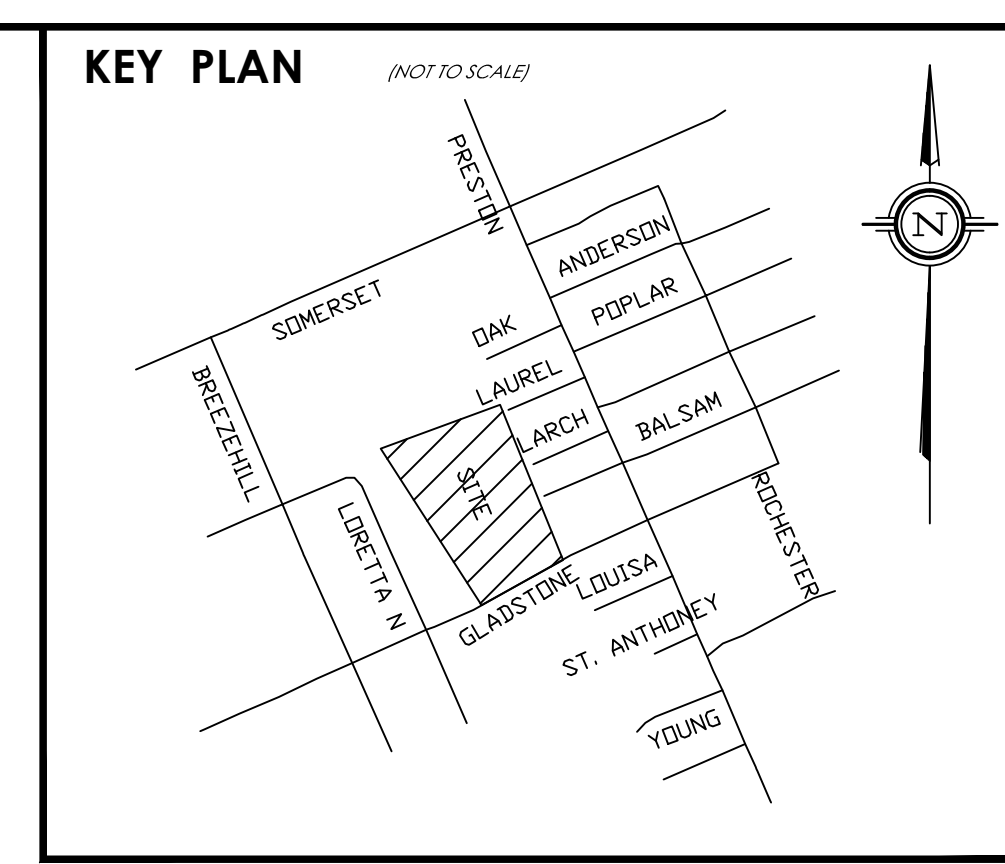
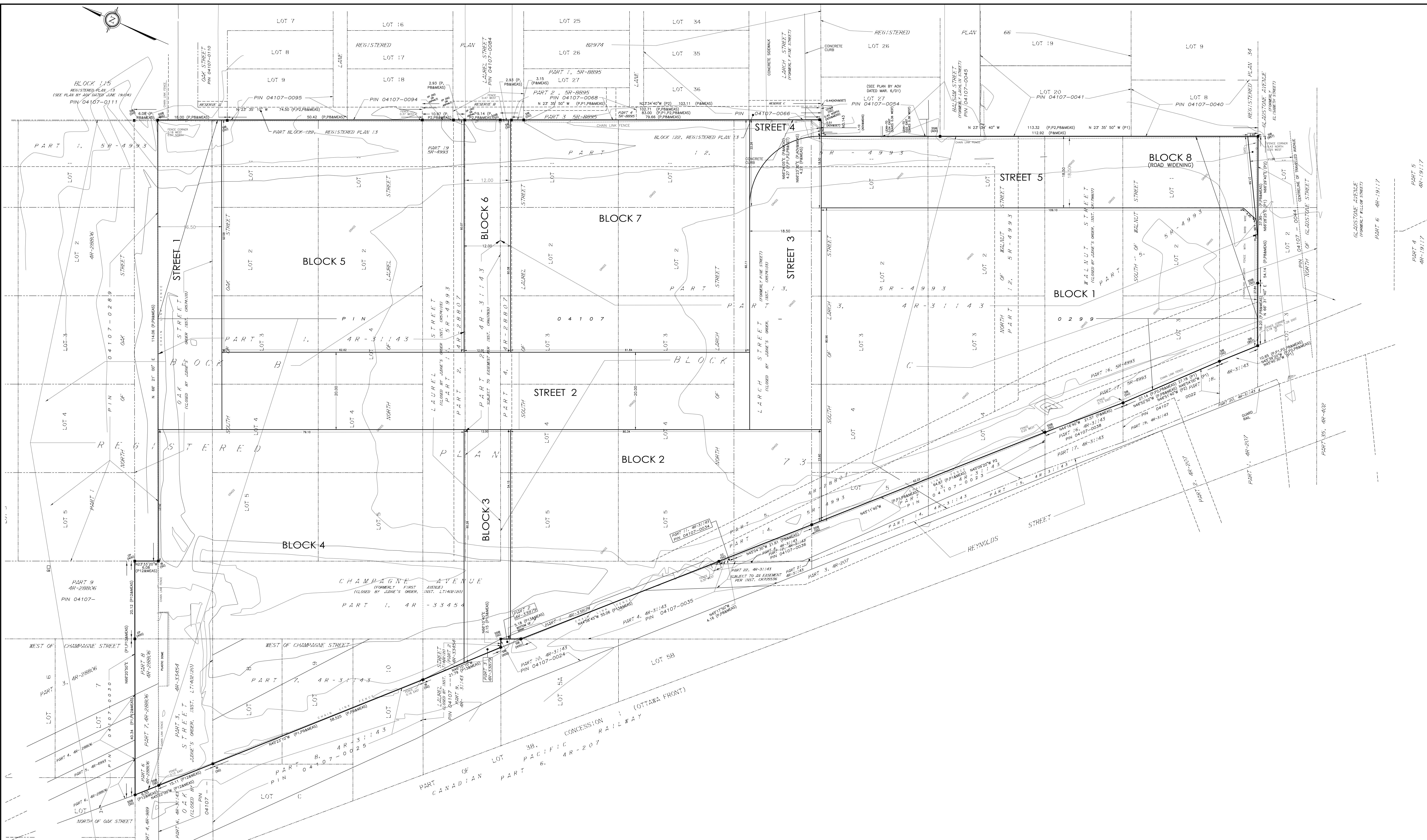
POINT ID	NORTHING	EASTING
(1)	502735.50	36271.44
(2)	502742.68	36281.34

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1. THE SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON THE DAY OF, 2022.  
 DATE: \_\_\_\_\_ R.G. BENNETT  
 ONTARIO LAND SURVEYOR

Stantec Geomatics Ltd.  
 ONTARIO LAND SURVEYOR  
 133 COVE AVENUE, SUITE 400  
 OTTAWA, ONTARIO, K2C 3G4  
 TEL: (416) 232-4400 FAX: (416) 232-7799  
 stantec.com

DRAWN: CT/MME CHECKED: CT PW: CT FIELD: AW PROJECT NO: 16161420114



**DRAFT PLAN OF SUBDIVISION OF**

**LOT 2 AND PART OF LOTS 1&3, BLOCK C (SOUTH WALNUT STREET), LOTS 2 & 3 AND PART OF LOTS 1 & 4, BLOCK C (NORTH WALNUT STREET), LOTS 2, 3 & 4 AND PART OF LOTS 1 & 5, BLOCK C (SOUTH LARCH STREET), LOTS 1, 2, 3 & 4 AND PART OF LOT 5, BLOCK C (NORTH LARCH STREET), LOTS 1, 2, 3, 4 & 5, BLOCK C (SOUTH LAUREL STREET), LOTS 1, 2, 3, 4 & 5, BLOCK B (SOUTH OAK STREET), PART OF LOTS 8, 9 & 10, BLOCK B (WEST CHAMPAGNE AVENUE), PART OF LOTS 1, 2 & 3, BLOCK C (NORTH GLADSTONE AVENUE), PART OF OAK STREET (CLOSED BY JUDGE'S ORDER INST. CR574103), PART OF OAK STREET (CLOSED BY JUDGE'S ORDER INST. LT1402120), PART OF LAUREL STREET (CLOSED BY JUDGE'S ORDER INST. CR574103), PART OF LAUREL STREET (CLOSED BY JUDGE'S ORDER INST. LT1402120), PART OF LARCH STREET (CLOSED BY JUDGE'S ORDER INST. OC574103), PART OF WALNUT STREET (CLOSED BY JUDGE'S ORDER INST. CR179807), PART OF CHAMPAGNE AVENUE (CLOSED BY JUDGE'S ORDER INST. LT1402120)**

**REGISTERED PLAN 73**  
**CITY OF OTTAWA**

Scale 1:300  
METRIC CONVERSION  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**ADDITIONAL INFORMATION REQUIRED UNDER SECTION 51 OF THE PLANNING ACT.**

- (A) AS SHOWN ON DRAFT PLAN
- (B) AS SHOWN ON DRAFT PLAN
- (C) AS SHOWN ON DRAFT AND KEY PLANS
- (D) RESIDENTIAL
- (E) AS SHOWN ON DRAFT PLAN
- (F) AS SHOWN ON DRAFT PLAN
- (G) AS SHOWN ON DRAFT PLAN
- (H) CITY OF OTTAWA
- (I) SEE SOIL REPORT
- (J) AS SHOWN ON DRAFT PLAN
- (K) ALL MUNICIPAL SERVICES ARE AVAILABLE
- (L) AS SHOWN ON DRAFT PLAN

**OWNER'S CERTIFICATE**  
I HEREBY AUTHORIZE STANTEC GEOMATICS LTD. TO SUBMIT THIS DRAFT PLAN OF SUBDIVISION ON MY BEHALF.

DATE: \_\_\_\_\_ ROBERT MAGNÉE  
DIRECTOR REALTY RELIATIVES  
ARROY PROPERTIES  
I HAVE THE AUTHORITY TO BIND THE CORPORATION

**SURVEYOR'S CERTIFICATE**  
I HEREBY CERTIFY THAT THE BOUNDARIES OF THE SUBDIVISIONS AND THEIR RELATIONSHIP TO ADJOINING LANDS HAVE BEEN ACCURATELY AND CORRECTLY SHOWN.

DATE: \_\_\_\_\_ GRANT BENNETT  
ONTARIO LAND SURVEYOR

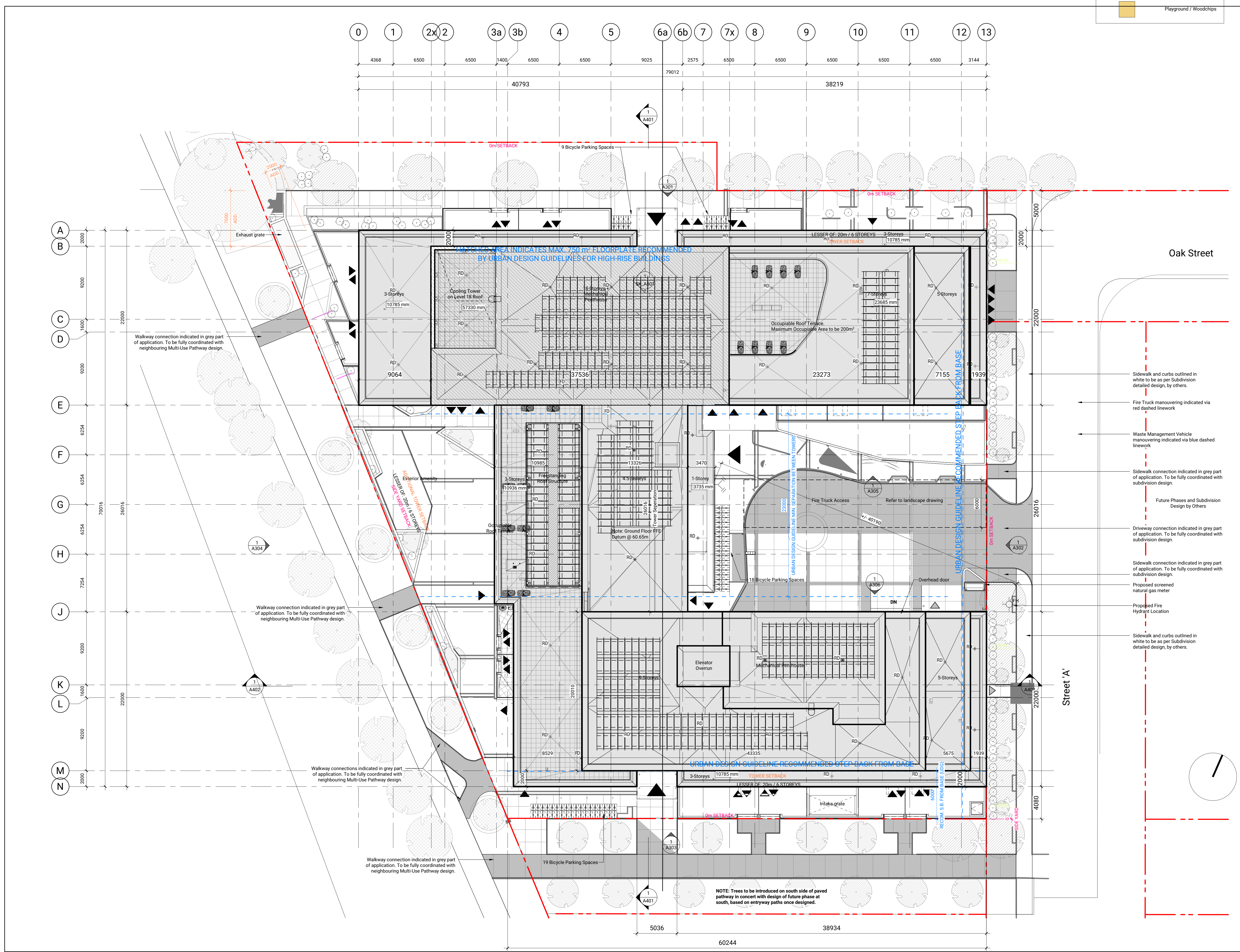
**Stantec Geomatics Ltd.**  
CANADA LANDS SURVEYORS  
1331 CLOVE AVENUE, SUITE 400  
OTTAWA, ONTARIO K1V 4S4  
TEL: 416.772.4400 FAX: 416.772.3799  
STANTEC.COM

**LEGEND**

	Principal Building Entrance
	Building Entry / Egress
	Slamse Connection
	Fire Hydrant
	Roof Drain
	Existing Tree with Tree Protection Zone
	Existing Tree
	Proposed Tree
	Property Line
	Site Services
	Block Pavers
	Concrete Paving
	Building Roof
	Landscaped / Planted Area
	Playground / Woodships

**ISSUED**

No.	Date	Description
4	08 SEP 2021	ISSUED FOR SITE PLAN CONTROL DEVELOPMENT
5	14 DEC 2021	ISSUED FOR 100% DESIGN DEVELOPMENT
7	09 MAR 2022	ISSUED FOR SITE PLAN RESUBMISSION
9	16 JUN 2022	ISSUED FOR 60% CONSTRUCTION DOCUMENTS
12	06 OCT 2022	ISSUED FOR BUILDING PERMIT



Oak Street

Street 'A'

- Sidewalk and curbs outlined in white to be as per Subdivision detailed design, by others.
- Fire Truck manoeuvring indicated via red dashed line work
- Waste Management Vehicle manoeuvring indicated via blue dashed line work
- Sidewalk connection indicated in grey part of application. To be fully coordinated with subdivision design.
- Future Phases and Subdivision Design by Others
- Driveway connection indicated in grey part of application. To be fully coordinated with subdivision design.
- Sidewalk connection indicated in grey part of application. To be fully coordinated with subdivision design.
- Proposed screened natural gas meter
- Proposed Fire Hydrant Location
- Sidewalk and curbs outlined in white to be as per Subdivision detailed design, by others.

Contractor Must Check & Verify all Dimensions on the Job.  
Do Not Scale Drawings.  
All drawings, Specifications and Related Documents are the Copyright Property of the Architect and shall be returned upon Request, Reproduction or Drawing, Specification and Related Documents in their entirety without the written permission of the Architect.  
This Drawing is Not to be Used for Construction until Signed by the Architect.

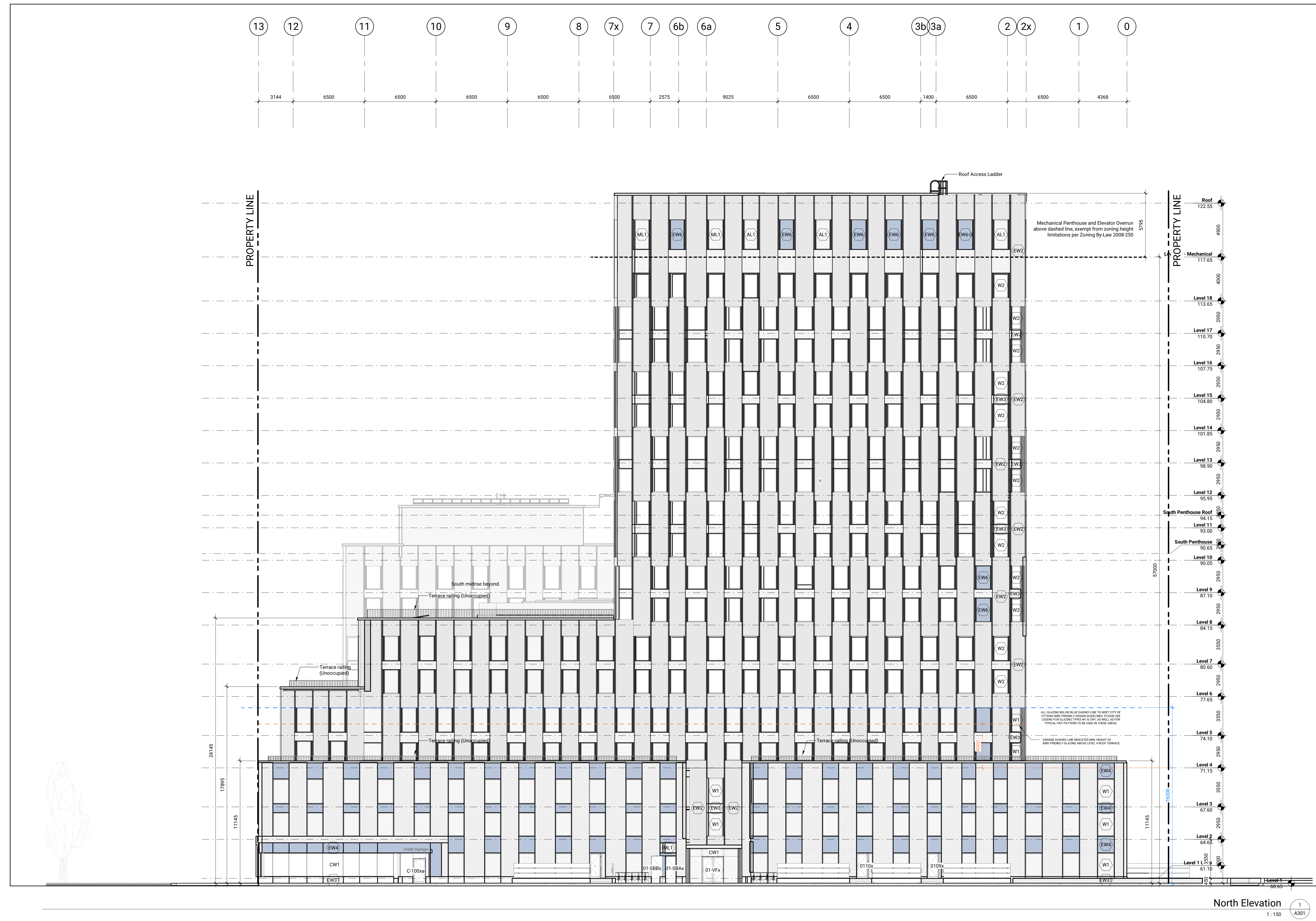
**GLADSTONE VILLAGE PHASE 1**  
933 Gladstone Avenue - Phase 1  
211006












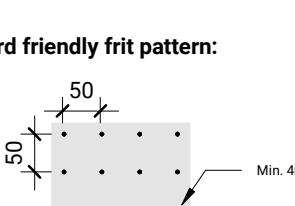
**Site Plan**  
1:200  
**A010**

13/01/2023 10:23:44 AM

ISSUED

No.	Date	Description
1	23 JUL 2021	ISSUED FOR COSTING
2	30 JUL 2021	ISSUED FOR 100% SCHEMATIC DESIGN
4	08 SEP 2021	ISSUED FOR SITE PLAN CONTROL
5	14 DEC 2021	ISSUED FOR 100% DESIGN DEVELOPMENT
6	18 FEB 2022	ISSUED FOR 30% CONSTRUCTION DOCUMENTS
7	09 MAR 2022	ISSUED FOR SITE PLAN RESUBMISSION DOCUMENTS
9	16 JUN 2022	ISSUED FOR 40% CONSTRUCTION DOCUMENTS
12	06 OCT 2022	ISSUED FOR BUILDING PERMIT



-  Architectural Louver - Perforated Type - Refer Div. 08
  -  Exterior Wall Type 1 - Refer to A550 & Div. 07
  -  Exterior Wall Type 2 - Refer to A550 & Div. 07
  -  Exterior Wall Type 3 - Refer to A550 & Div. 07
  -  Exterior Wall Type 4 - Refer to A550 & Div. 07
  -  Exterior Wall Type 5 - Refer to A550 & Div. 07
  -  Exterior Wall Type 6 - Refer to A550 & Div. 07
  -  Curtain Wall Type 1 - Triple Glazed Curtain Wall  
Bird Friendly Fit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines\*  
Refer to Div. 08
  -  Curtain Wall Type 2 - Triple Glazed Fiberglass Window  
Clear glazing without fit  
Refer to Div. 08
  -  Punched Window Type 1 - Triple Glazed Fiberglass Window  
Bird Friendly Fit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines\*  
Refer to Div. 08
  -  Punched Window Type 2 - Triple Glazed Fiberglass Window  
Clear glazing without fit  
Refer to Div. 08
- \*Bird Friendly fit pattern:
- 
- Bird friendly fit pattern to be installed on Surface #1, to meet the layout illustrated below, as well as requirements noted in Div. 08 and Ottawa Bird Friendly Design Guidelines.

Contractor Must Check & Verify all Dimensions on the Job.  
Do Not Scale Drawings.  
All Windows, Specifications and Related Drawings are the Copyright Property of the Architect and Shall be Returned Upon Request, Satisfaction of Drawings, Specifications and Related Drawings in Part or Whole to the Architect Without the Written Permission of the Architect.  
This Drawing is Not to be Used for Construction Until Signed by the Architect.

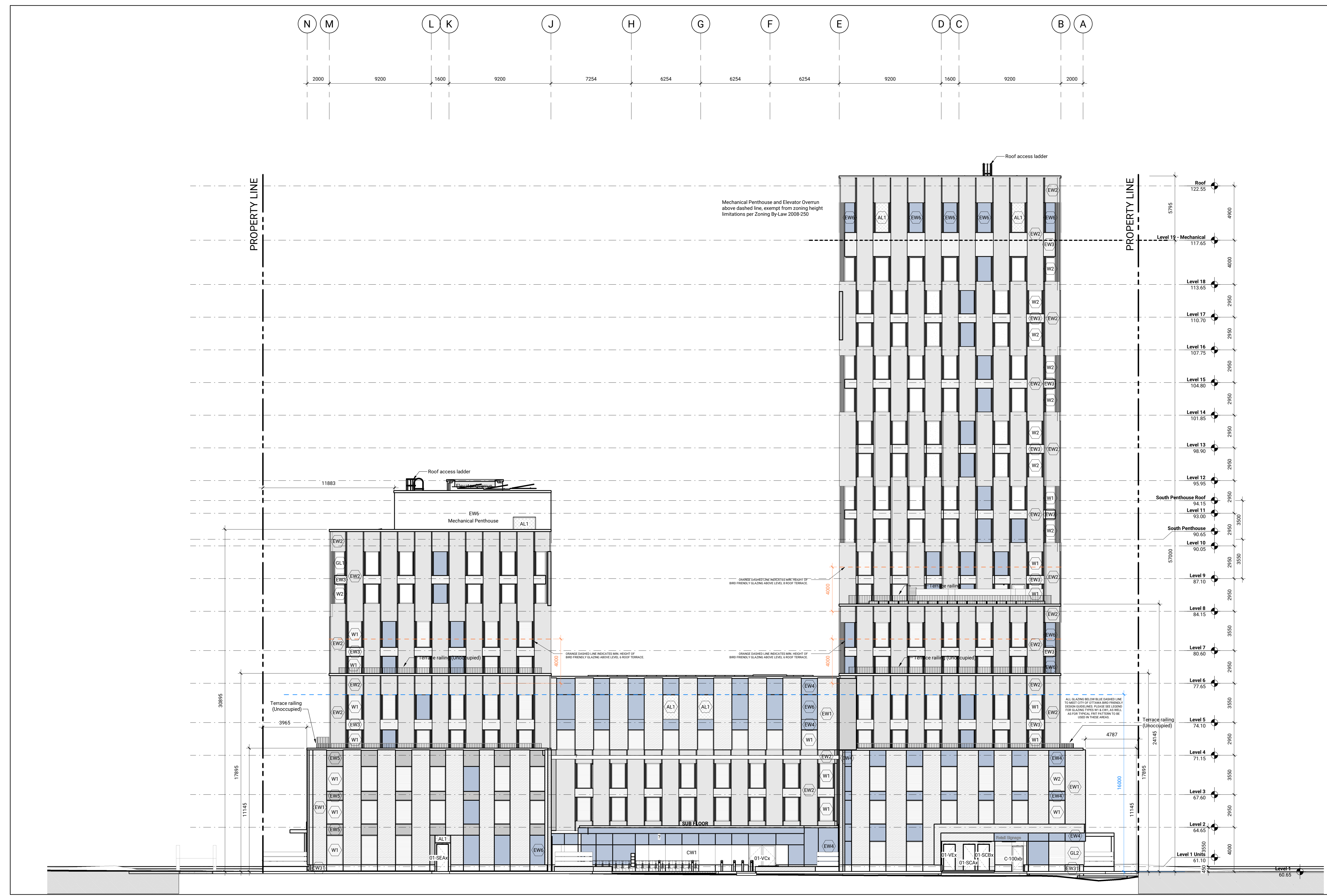
**GLADSTONE VILLAGE  
PHASE 1**  
933 Gladstone Avenue - Phase 1  
211006

**North Elevation**  
As indicated  
**A301**

North Elevation  
1:150

ISSUED

No.	Date	Description
1	23 JUL 2021	ISSUED FOR COSTING
2	30 JUL 2021	ISSUED FOR 100% SCHEMATIC DESIGN
4	08 SEP 2021	ISSUED FOR SITE PLAN CONTROL
5	14 DEC 2021	ISSUED FOR 100% DESIGN DEVELOPMENT
6	18 FEB 2022	ISSUED FOR 30% CONSTRUCTION DOCUMENTS
7	09 MAR 2022	ISSUED FOR SITE PLAN RESUBMISSION DOCUMENTS
9	16 JUN 2022	ISSUED FOR 40% CONSTRUCTION DOCUMENTS
12	06 OCT 2022	ISSUED FOR BUILDING PERMIT



- Architectural Louver - Perforated Type - Refer Div. 08
  - Exterior Wall Type 1 - Refer to A550 & Div. 07
  - Exterior Wall Type 2 - Refer to A550 & Div. 07
  - Exterior Wall Type 3 - Refer to A550 & Div. 07
  - Exterior Wall Type 4 - Refer to A550 & Div. 07
  - Exterior Wall Type 5 - Refer to A550 & Div. 07
  - Exterior Wall Type 6 - Refer to A550 & Div. 07
  - Curtain Wall Type 1 - Triple Glazed Curtain Wall Bird-Friendly Fit on Surface #1 to meet Ottawa Bird-Friendly Design Guidelines\* Refer to Div. 08
  - Curtain Wall Type 2 - Triple Glazed Fiberglass Window Clear glazing without fit Refer to Div. 08
  - Punched Window Type 1 - Triple Glazed Fiberglass Window Bird-Friendly Fit on Surface #1 to meet Ottawa Bird-Friendly Design Guidelines\* Refer to Div. 08
  - Punched Window Type 2 - Triple Glazed Fiberglass Window Clear glazing without fit Refer to Div. 08
- \*Bird-Friendly fit pattern:
- 
- Bird-friendly fit pattern to be installed on Surface #1, to meet the layout illustrated below, as well as requirements noted in Div. 08 and Ottawa Bird-Friendly Design Guidelines

Contractor Must Check & Verify all Dimensions on the Job.  
 Do Not Scale Drawings.  
 All drawings, Specifications and Related Documents are the Copyright Property of the Architect and shall be returned upon Request, Satisfaction of Contract, Completion and Payment of Contract in Full or in Whole as a Condition of the Written permission of the Architect.  
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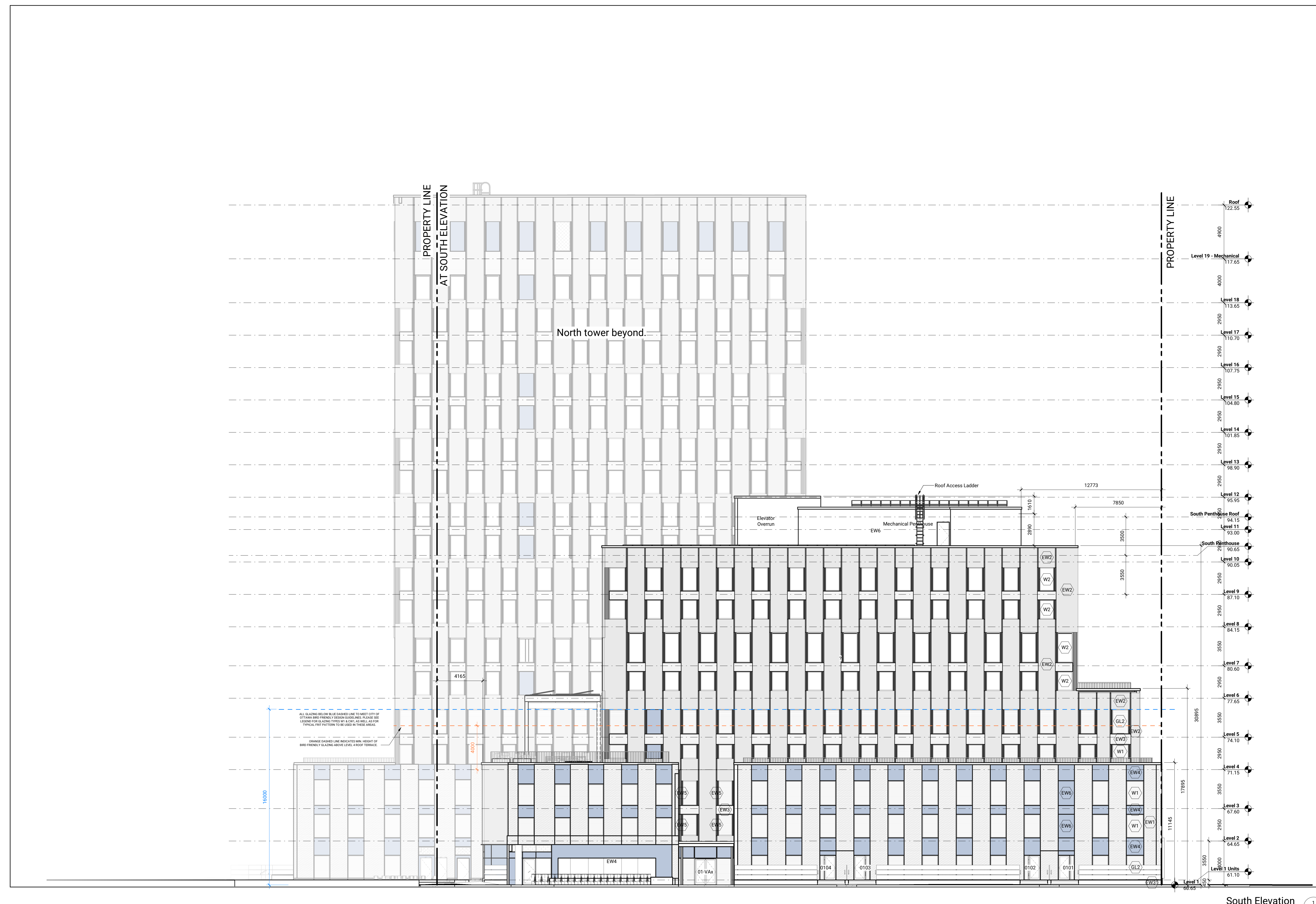
**GLADSTONE VILLAGE**  
**PHASE 1**  
 933 Gladstone Avenue • Phase 1 • 211006












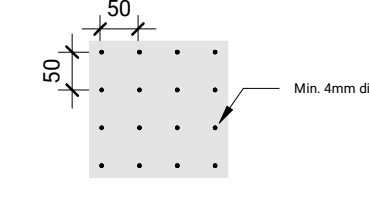
East Elevation  
 As indicated

**A302**

ISSUED

No.	Date	Description
1	23 JUL 2021	ISSUED FOR COSTING
2	30 JUL 2021	ISSUED FOR 100% SCHEMATIC DESIGN
4	08 SEP 2021	ISSUED FOR SITE PLAN CONTROL
5	14 DEC 2021	ISSUED FOR 100% DESIGN DEVELOPMENT
6	18 FEB 2022	ISSUED FOR 30% CONSTRUCTION DOCUMENTS
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9	14 JUN 2022	ISSUED FOR 40% CONSTRUCTION DOCUMENTS
12	06 OCT 2022	ISSUED FOR BUILDING PERMIT



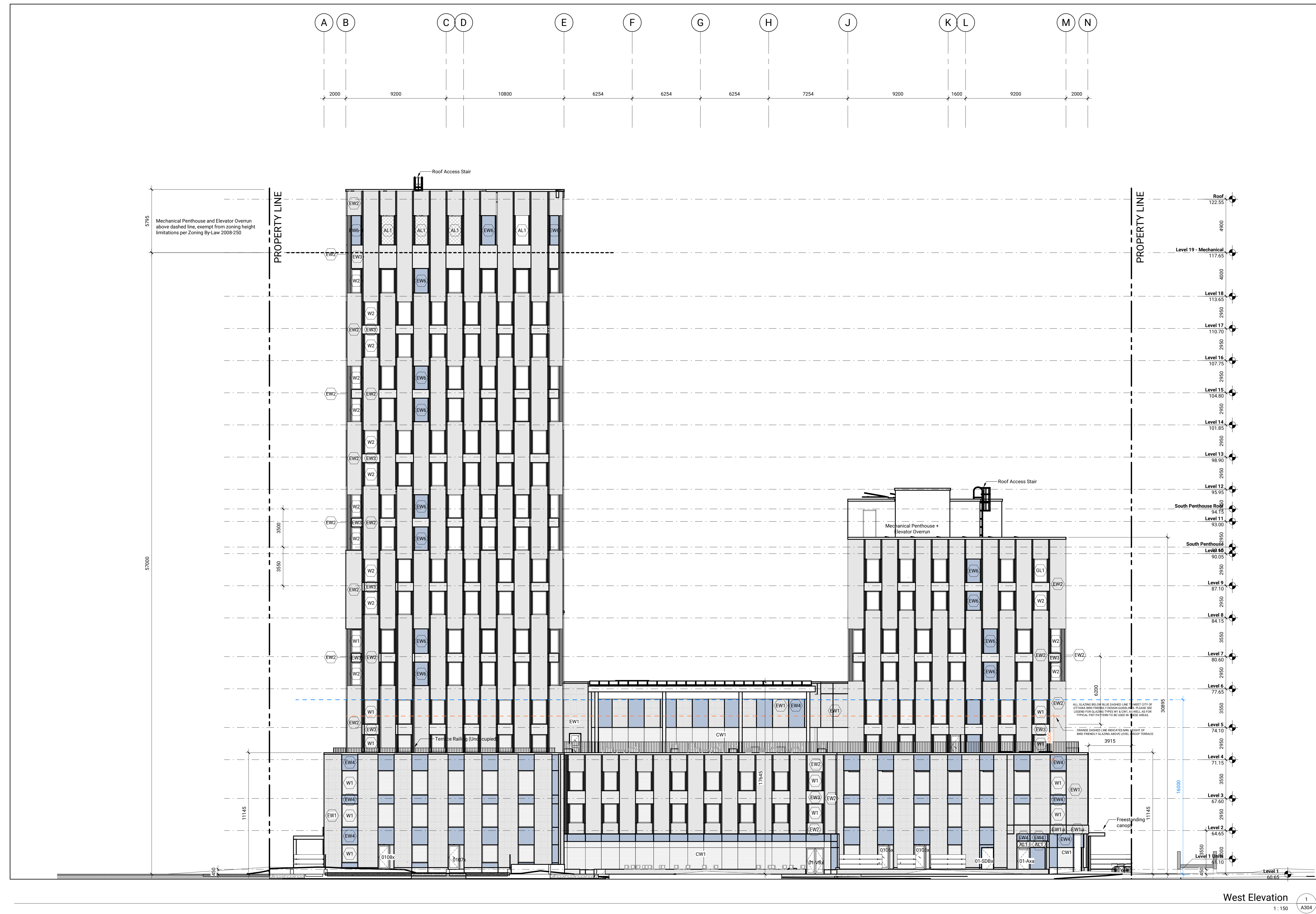
-  Architectural Louver - Perforated Type - Refer Div. 08
  -  Exterior Wall Type 1 - Refer to A550 & Div. 07
  -  Exterior Wall Type 2 - Refer to A550 & Div. 07
  -  Exterior Wall Type 3 - Refer to A550 & Div. 07
  -  Exterior Wall Type 4 - Refer to A550 & Div. 07
  -  Exterior Wall Type 5 - Refer to A550 & Div. 07
  -  Exterior Wall Type 6 - Refer to A550 & Div. 07
  -  Curtain Wall Type 1 - Triple Glazed Curtain Wall Bird Friendly Frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines\* Refer to Div. 08
  -  Curtain Wall Type 2 - Triple Glazed Fiberglass Window Clear glazing without frit Refer to Div. 08
  -  Punched Window Type 1 - Triple Glazed Fiberglass Window Bird Friendly Frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines\* Refer to Div. 08
  -  Punched Window Type 2 - Triple Glazed Fiberglass Window Clear glazing without frit Refer to Div. 08
- \*Bird friendly frit pattern:
- 
- Bird friendly frit pattern to be installed on Surface #1, to meet the layout illustrated below, as well as requirements noted in Div. 08 and Ottawa Bird Friendly Design Guidelines.
- Contractor Must Check & Verify all Dimensions on the job.  
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GLADSTONE VILLAGE  
PHASE 1  
933 Gladstone Avenue - Phase 1  
21006

South Elevation  
As indicated  
**A303**

ISSUED

No.	Date	Description
1	23 JUL 2021	ISSUED FOR COSTING
2	30 JUL 2021	ISSUED FOR 100% SCHEMATIC DESIGN
4	08 SEP 2021	ISSUED FOR SITE PLAN CONTROL
5	14 DEC 2021	ISSUED FOR 100% DESIGN DEVELOPMENT
6	18 FEB 2022	ISSUED FOR 30% CONSTRUCTION DOCUMENTS
7	09 MAR 2022	ISSUED FOR SITE PLAN RESUBMISSION DOCUMENTS
9	14 JUN 2022	ISSUED FOR 40% CONSTRUCTION DOCUMENTS
12	06 OCT 2022	ISSUED FOR BUILDING PERMIT



- (AL1) Architectural Louver - Perforated Type - Refer Div. 08
  - (EW1) Exterior Wall Type 1 - Refer to A550 & Div. 07
  - (EW2) Exterior Wall Type 2 - Refer to A550 & Div. 07
  - (EW3) Exterior Wall Type 3 - Refer to A550 & Div. 07
  - (EW4) Exterior Wall Type 4 - Refer to A550 & Div. 07
  - (EW5) Exterior Wall Type 5 - Refer to A550 & Div. 07
  - (EW6) Exterior Wall Type 6 - Refer to A550 & Div. 07
  - (CW1) Curtain Wall Type 1 - Triple Glazed Curtain Wall  
Bird Friendly Fit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines\*  
Refer to Div. 08
  - (CW2) Curtain Wall Type 2 - Triple Glazed Fibreglass Window  
Clear glazing without fit  
Refer to Div. 08
  - (W1) Punched Window Type 1 - Triple Glazed Fibreglass Window  
Bird Friendly Fit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines\*  
Refer to Div. 08
  - (W2) Punched Window Type 2 - Triple Glazed Fibreglass Window  
Clear glazing without fit  
Refer to Div. 08
- \*Bird friendly fit pattern:
- 
- Bird friendly fit pattern to be installed on Surface #1, to meet the layout illustrated below, as well as requirements noted in Div. 08 and Ottawa Bird Friendly Design Guidelines

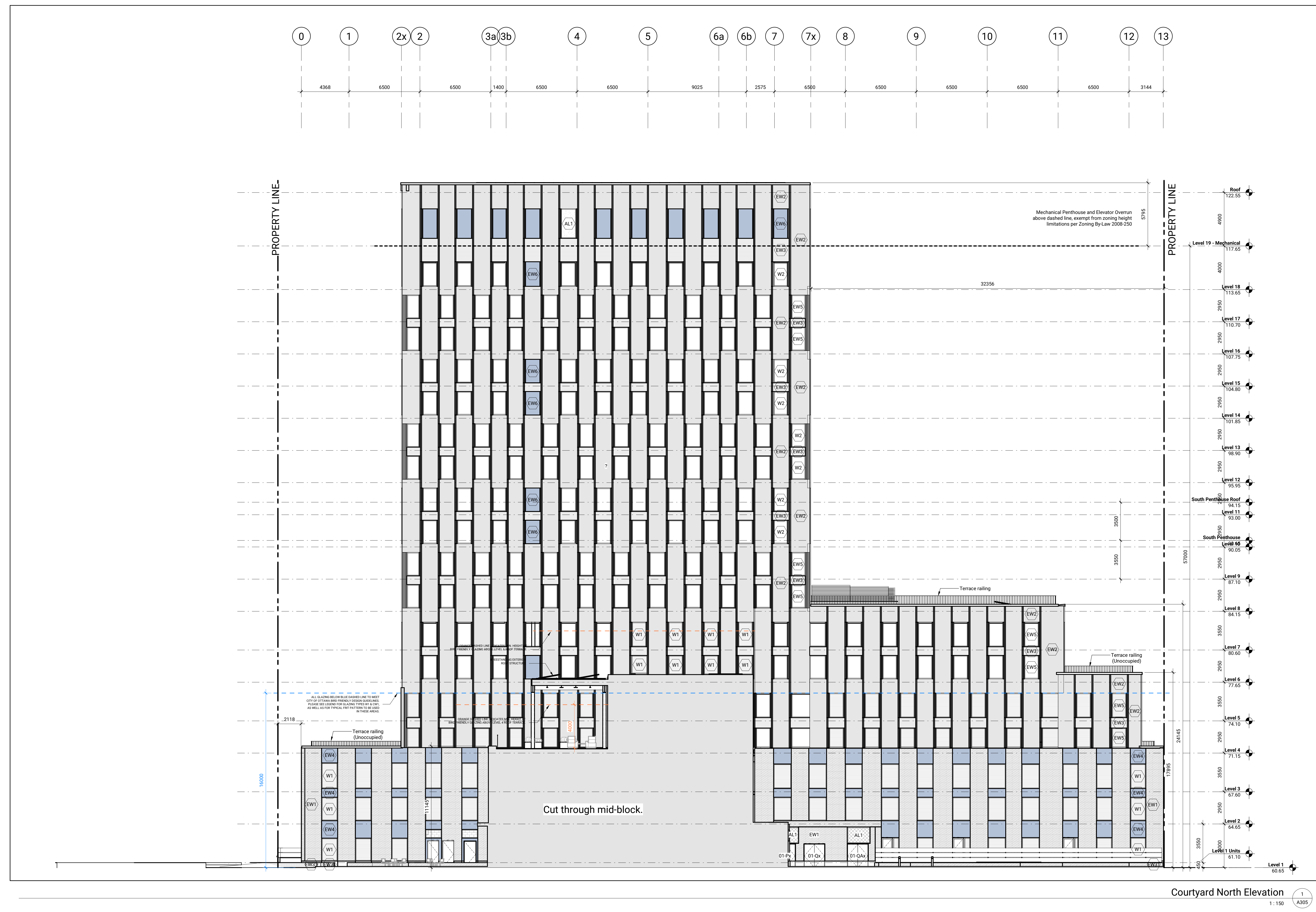
Contractor Must Check & Verify all Dimensions on the Job.  
Do Not Scale Drawings.  
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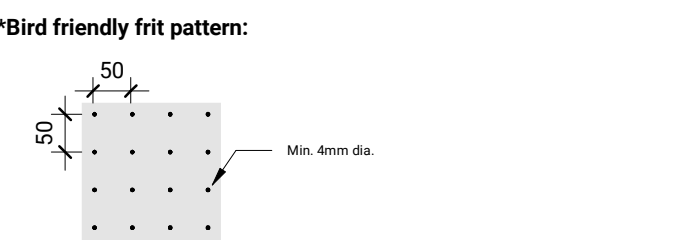
**GLADSTONE VILLAGE**  
**PHASE 1**  
833 Gladstone Avenue - Phase 1  
211006

**West Elevation**  
As indicated  
**A304**

ISSUED

No.	Date	Description
1	23 JUL 2021	ISSUED FOR COSTING
2	30 JUL 2021	ISSUED FOR 100% SCHEMATIC DESIGN
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5	14 DEC 2021	ISSUED FOR 100% DESIGN DEVELOPMENT
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7	09 MAR 2022	ISSUED FOR SITE PLAN RESUBMISSION DOCUMENTS
9	14 JUN 2022	ISSUED FOR 40% CONSTRUCTION DOCUMENTS
12	06 OCT 2022	ISSUED FOR BUILDING PERMIT



- (AL1) Architectural Louver - Perforated Type - Refer Div. 08
  - (EW1) Exterior Wall Type 1 - Refer to A050 & Div. 07
  - (EW2) Exterior Wall Type 2 - Refer to A050 & Div. 07
  - (EW3) Exterior Wall Type 3 - Refer to A050 & Div. 07
  - (EW4) Exterior Wall Type 4 - Refer to A050 & Div. 07
  - (EW5) Exterior Wall Type 5 - Refer to A050 & Div. 07
  - (EW6) Exterior Wall Type 6 - Refer to A050 & Div. 07
  - (EW7) Exterior Wall Type 7 - Refer to A050 & Div. 07
  - (EW8) Exterior Wall Type 8 - Refer to A050 & Div. 07
  - (EW9) Exterior Wall Type 9 - Refer to A050 & Div. 07
  - (EW10) Exterior Wall Type 10 - Refer to A050 & Div. 07
  - (EW11) Exterior Wall Type 11 - Refer to A050 & Div. 07
  - (EW12) Exterior Wall Type 12 - Refer to A050 & Div. 07
  - (EW13) Exterior Wall Type 13 - Refer to A050 & Div. 07
  - (EW14) Exterior Wall Type 14 - Refer to A050 & Div. 07
  - (EW15) Exterior Wall Type 15 - Refer to A050 & Div. 07
  - (EW16) Exterior Wall Type 16 - Refer to A050 & Div. 07
  - (EW17) Exterior Wall Type 17 - Refer to A050 & Div. 07
  - (EW18) Exterior Wall Type 18 - Refer to A050 & Div. 07
  - (EW19) Exterior Wall Type 19 - Refer to A050 & Div. 07
  - (CW1) Curtain Wall Type 1 - Triple Glazed Curtain Wall Bird-Friendly Fit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines\* Refer to Div. 08
  - (CW2) Curtain Wall Type 2 - Triple Glazed Fibreglass Window Clear glazing without frit Refer to Div. 08
  - (W1) Punched Window Type 1 - Triple Glazed Fibreglass Window Bird-Friendly Fit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines\* Refer to Div. 08
  - (W2) Punched Window Type 2 - Triple Glazed Fibreglass Window Clear glazing without frit Refer to Div. 08
- \*Bird friendly fit pattern:
- 
- Bird friendly fit pattern to be installed on Surface #1, to meet the layout illustrated below, as well as requirements noted in Div. 08 and Ottawa Bird Friendly Design Guidelines

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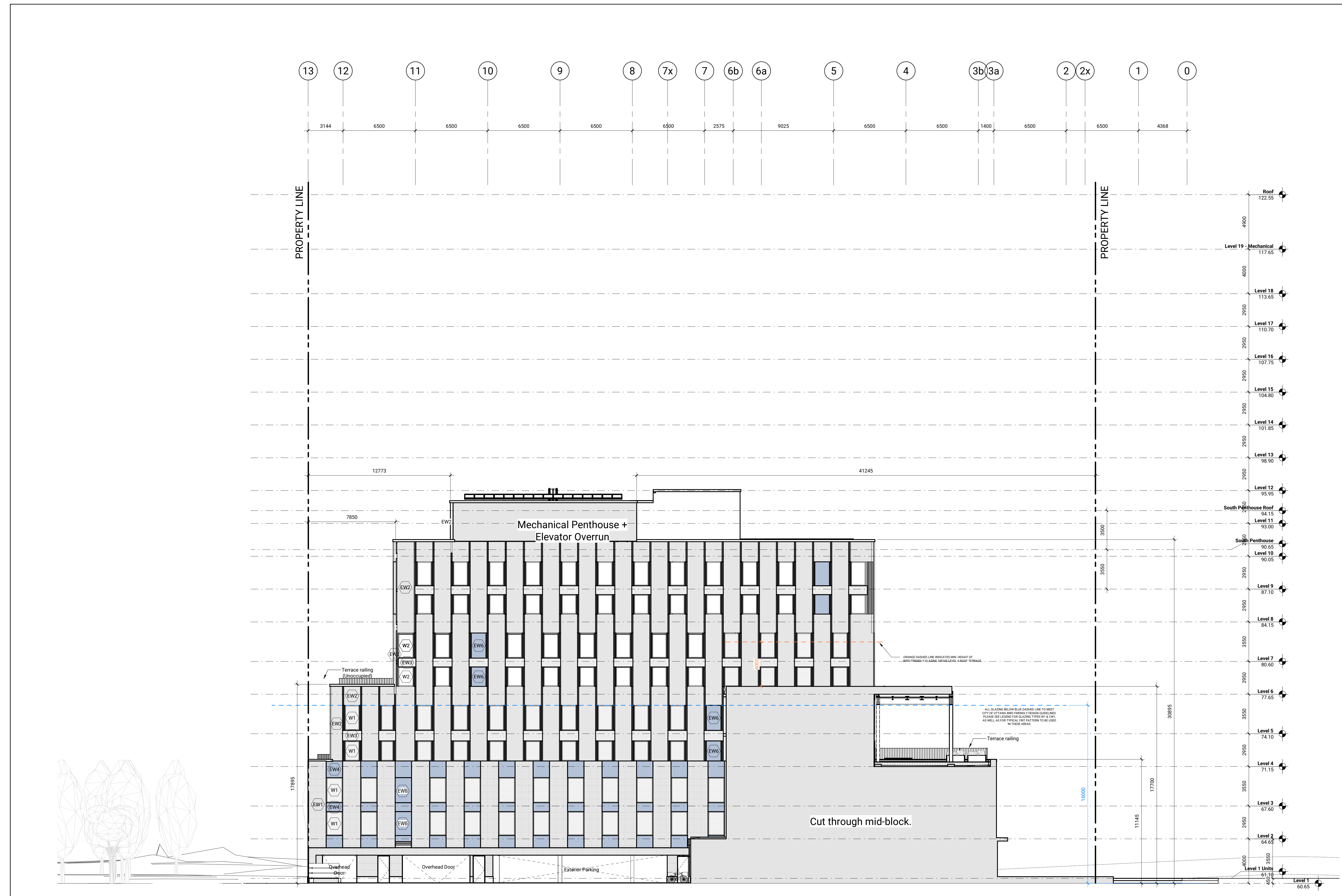
**GLADSTONE VILLAGE PHASE 1**  
933 Gladstone Avenue - Phase 1  
211006

**Rebate Elevations**  
As indicated  
**A305**

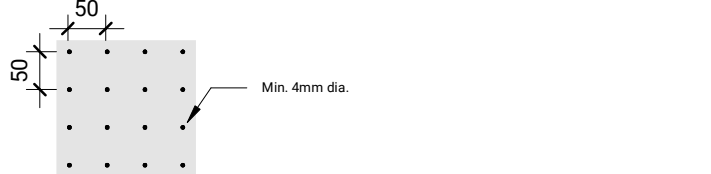


ISSUED

No.	Date	Description
1	23 JUL 2021	ISSUED FOR COSTING
2	30 JUL 2021	ISSUED FOR 100% SCHEMATIC DESIGN
4	08 SEP 2021	ISSUED FOR SITE PLAN CONTROL
5	14 DEC 2021	ISSUED FOR 100% DESIGN DEVELOPMENT
6	18 FEB 2022	ISSUED FOR 30% CONSTRUCTION DOCUMENTS
7	09 MAR 2022	ISSUED FOR SITE PLAN RESUBMISSION DOCUMENTS
9	16 JUN 2022	ISSUED FOR 40% CONSTRUCTION DOCUMENTS
12	06 OCT 2022	ISSUED FOR BUILDING PERMIT



- (AL) Architectural Louver - Perforated Type - Refer Div. 08
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- (EW3) Exterior Wall Type 3 - Refer to A550 & Div. 07
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- (W2) Punched Window Type 2 - Triple Glazed Fibreglass Window Clear glazing without frit Refer to Div. 08

\*Bird friendly frit pattern:  
  
 Bird friendly frit pattern to be installed on Surface #1, to meet the layout illustrated below, as well as requirements noted in Div. 08 and Ottawa Bird Friendly Design Guidelines

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**GLADSTONE VILLAGE**  
**PHASE 1**  
 833 Gladstone Avenue - Phase 1 211006

**Rebate Elevations**  
 As indicated  
**A306**

Ottawa Community Housing Corporation  
GLADSTONE VILLAGE PHASE 1

ISSUED FOR SITE PLAN RESUBMISSION  
15/07/2022



LANDSCAPE

L1-1 Landscape Plan  
L1-2 Planting Plan  
TP-1 Tree Protection Plan

CIVIL

C701 Roof Drain Layout & Ponding

LANDSCAPE

L0 Cover Page  
L1-1 Landscape Plan  
L1-2 Planting Plan  
L1-3 Entrance Court Call Out  
L1-4 Irrigation Plan  
L2-1 Details  
TP-1 Tree Protection Plan

CIVIL

C701 Roof Drain Layout & Ponding

Architect

**Diamond Schmitt Architects**  
384 Adelaide Street West, Suite 100  
Toronto, ON M5V 1R7  
T: (416) 962-8800

Joint Venture Architect

**KWC Architects Inc.**  
383 Parkdale Avenue, Suite 201  
Ottawa, ON K1Y 4R4  
T: (613)-238-2117

Structural

**Read Jones Christoffersen Ltd.**  
343 Preston Street, 11th Floor  
Ottawa, ON K1S 1N4  
T: (443)-291-1081

Mechanical

**Smith + Andersen (Ottawa)**  
1600 Carling Avenue, Suite 530  
Ottawa, ON K1Z 1G3  
T: (613)-230-1186

Electrical

**Smith + Andersen (Ottawa)**  
1600 Carling Avenue, Suite 530  
Ottawa, ON K1Z 1G3  
T: (613)-230-1186

Civil

**Morrison Hershfield**  
2322 Baseline Rd  
Ottawa, ON K2H 1B1  
T: (613)-739-7687

Code

**LMDG Building Code Consultants**  
300 North Queen Street, Suite 206  
Toronto, ON M9C 5K4  
T: (416)-646-0162

Landscape

**Lashley + Associates**  
950 Gladstone Avenue, Suite 202  
Ottawa, ON K1Y 3E6  
T: (613)-233-8579

Passive House / Energy Modeling

**RDH Building Science Inc.**  
26 Soho Street, Suite 350  
Toronto, ON M5T 1Z7  
T: (416)-314-2328

Intelligent Integrated Systems

**Smith + Andersen (Ottawa)**  
1600 Carling Avenue, Suite 530  
Ottawa, ON K1Z 1G3  
T: (613)-230-1186

Wind

**Gradient Wind Engineers & Scientists**  
127 Walgreen Road  
Ottawa, ON K0A 1L0  
T: (613)-836-0934

Elevator

**Priestman-Neilson & Associates Ltd.**  
160 Paseo Private  
Nepean, ON K2G 4N6  
T: (613)-422-0802



ISSUED

No.	Date	Description
1	2021 SEP 08	ISSUED FOR SITE PLAN APPROVAL
2	2021 SEP 17	ISSUED FOR SITE PLAN APPROVAL
2	2022 JUL 14	ISSUED FOR SITE PLAN APPROVAL

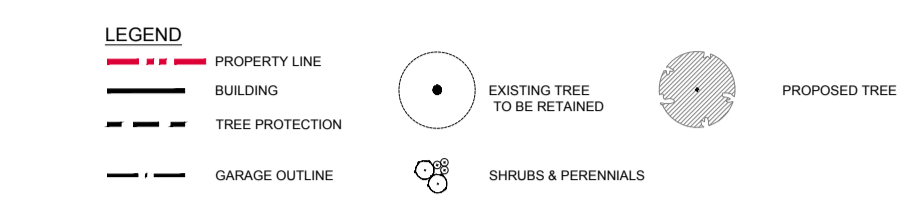
- LANDSCAPE NOTES**
- All general site information and conditions compiled from architect's and engineer's plans and surveys.
  - Do not scale this drawing.
  - Report any discrepancies prior to commencing work. No responsibility is born by the Landscape Architect for unknown subsurface conditions.
  - Reinstatement all areas and items damaged as a result of construction activities to the satisfaction of the Landscape Architect.
  - Drawing may not be used for construction until signed by Landscape Architect as issued for construction.
  - The accuracy of the position of utilities is not guaranteed.
  - Individual utility co. must be contacted for confirmation of utility existence and location prior to digging.
  - This drawing is an instrument of service and requires the permission of the Landscape Architect for use. Copyright is reserved by the Landscape Architect, David M. Lashley.
  - Plant material shall be No. 1 Grade and shall comply with the Metric Guide Specifications for Nursery stock (latest edition), published by Canadian Nursery Trades Association.
  - Plant substitutions shall not be permitted unless approved by the Landscape Architect.
  - Obtain approval of planting prior to digging.
  - Topsoil shall be garden soil mixture sandy loam with min. 5% organic matter and peat moss added at ratio of 1:10, topsoil to be approved by Landscape Architect.



CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON THE JOB.  
 DO NOT SCALE DRAWINGS.  
 ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.  
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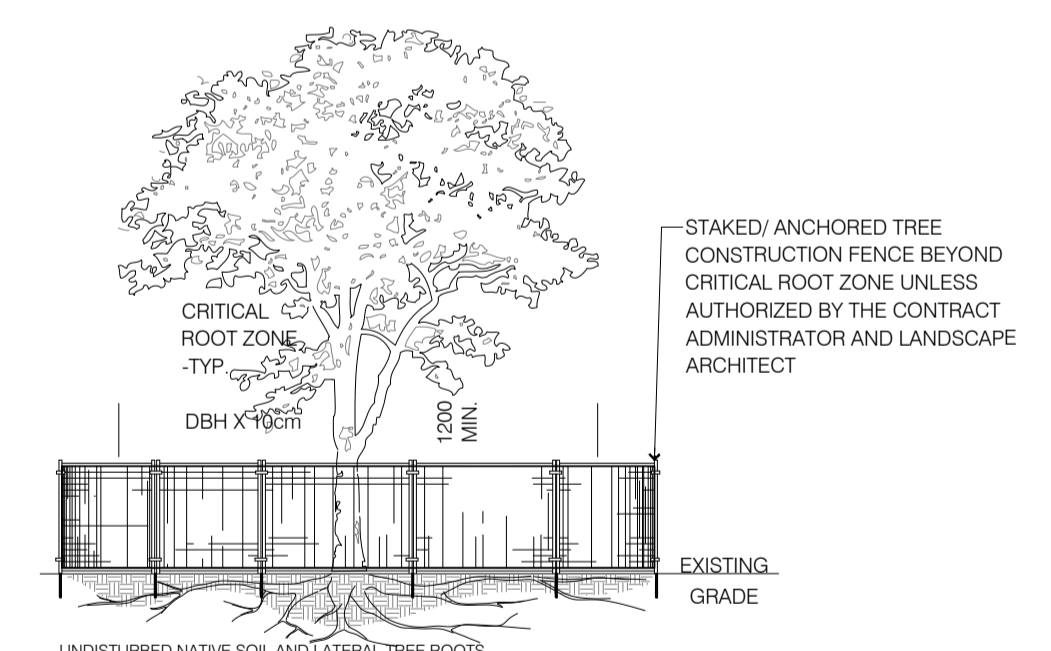
**GLADSTONE VILLAGE PHASE 1**  
 933 Gladstone Avenue - Phase 1  
 211006

Tree Protection Plan  
 TP-1

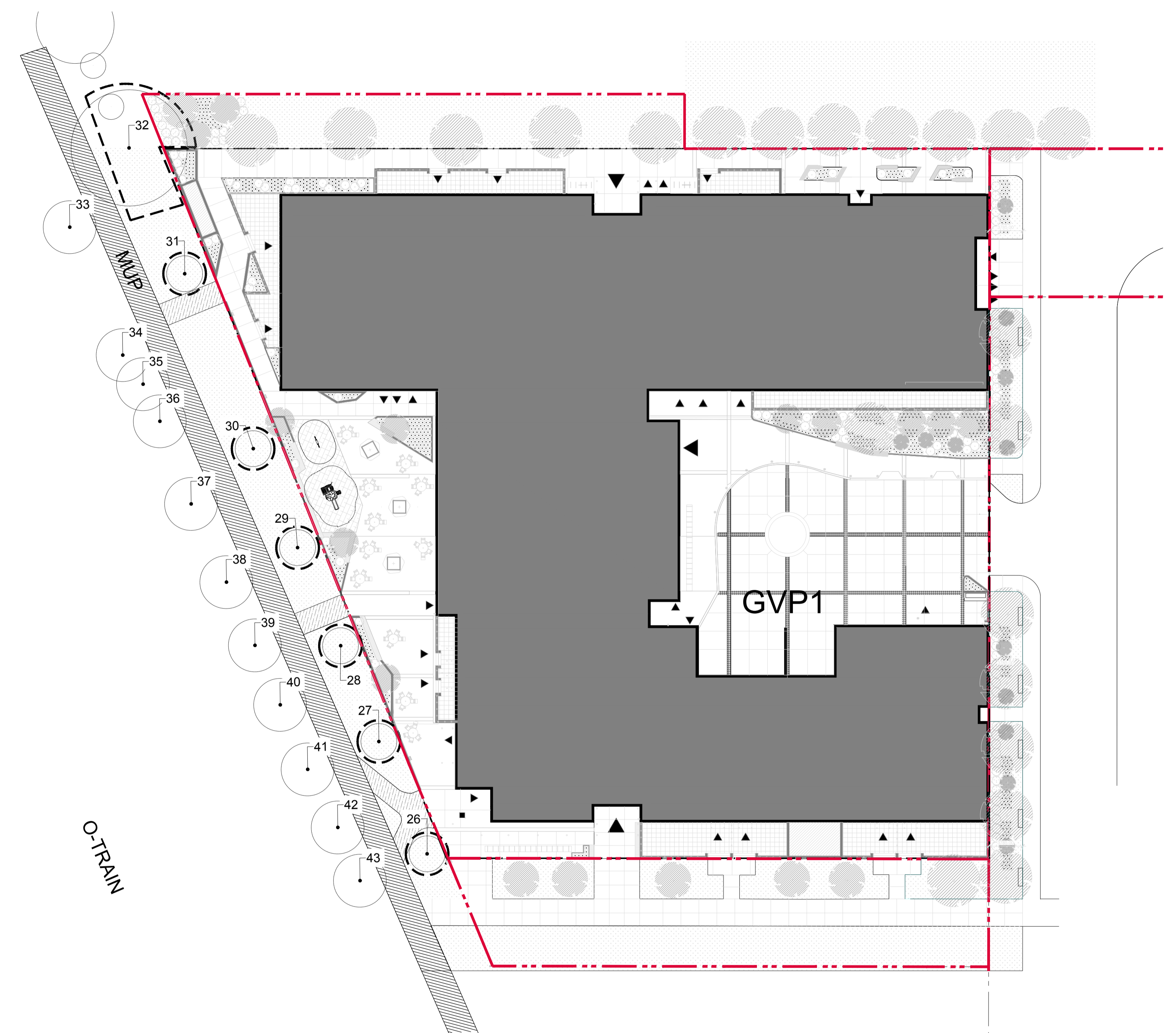


**EXISTING TREE INVENTORY**

NO.	TREE SPECIES	DBH (cm)	CONDITION	COMMENTS
26	Acer saccharum/Sugar Maple	9	Good	Tree location is for reference only. Pathway tree, east of pathway.
27	Acer saccharum/Sugar Maple	11	Good	Tree location is for reference only. Pathway tree, east of pathway.
28	Quercus rubra/Red Oak	12	Good	Tree location is for reference only. Pathway tree, east of pathway.
29	Quercus rubra/Red Oak	12	Good	Tree location is for reference only. Pathway tree, east of pathway.
30	Quercus rubra/Red Oak	10	Good	Tree location is for reference only. Pathway tree, east of pathway.
31	Quercus rubra/Red Oak	12	Good	Tree location is for reference only. Pathway tree, east of pathway.
32	Salix alba 'Tristis'/ White Willow	22,35,45	Good	Tree location is for reference only. Pathway tree, east of pathway. Multi-trunk (3)
33	Acer saccharum/Silver Maple	28	Good	Tree location is for reference only. Pathway tree, west of pathway.
34	Quercus rubra/Red Oak	12	Good	Tree location is for reference only. Pathway tree, west of pathway.
35	Acer negundo/ Manitoba Maple	15,20	Good	Tree location is for reference only. Pathway tree, west of pathway. Multi-trunk (2). Suckers at the base
36	Quercus macrocarpa/ Bur Oak	8	Good	Tree location is for reference only. Pathway tree, west of pathway.
37	Acer saccharum/Sugar Maple	11	Good	Tree location is for reference only. Pathway tree, west of pathway.
38	Quercus rubra/Red Oak	10	Good	Tree location is for reference only. Pathway tree, west of pathway.
39	Celtis occidentalis/ Hackberry	11	Good	Tree location is for reference only. Pathway tree, west of pathway.
40	Ulmus americana/ American Elm	14,15	Good	Tree location is for reference only. Pathway tree, west of pathway. Multi-trunk (2)
41	Acer negundo/ Manitoba Maple	13,15	Good	Tree location is for reference only, west of pathway tree. Multi-trunk (2)
42	Acer rubrum/ Red Maple	8	Good	Tree location is for reference only, west of pathway tree. Large wound on the trunk (50cm L). Tree location is for reference only. Pathway tree, west of pathway
43	Acer rubrum/ Red Maple	10	Good	Tree location is for reference only. Pathway tree, west of pathway

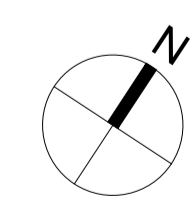


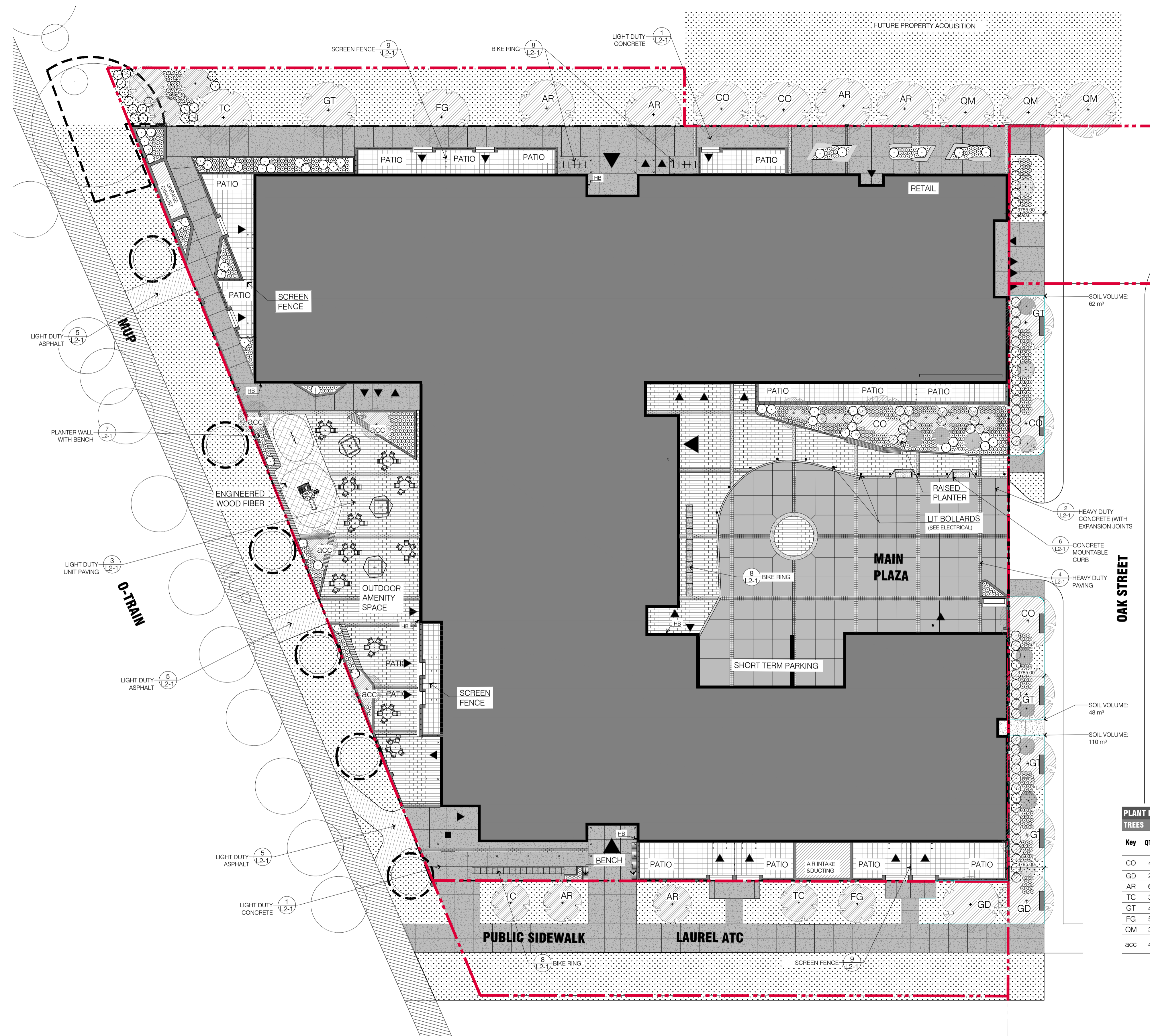
- NOTES:**  
 THE FOLLOWING PROTECTION MEASURES MUST BE IMPLEMENTED FOR RETAINED TREES, BOTH WITHIN THE WORK AREA AND ON ADJACENT PARCELS.
- UNDER THE GUIDANCE OF AN ARBORIST, ERECT A MODULAR FENCE AT THE CRITICAL ROOT ZONE (CRZ) OF TREES WHERE THE CRZ IS ESTABLISHED AS BEING 10 CENTIMETERS FROM THE TRUNK FOR EVERY CENTIMETER OF TRUNK DIAMETER AT BREAST HEIGHT.
  - TREE PROTECTION SHALL BE ERECTED TO PROVIDE A CONTINUOUS BARRICADE BETWEEN DESIGNATED TREES AND THE WORK AREA PRIOR TO CONSTRUCTION.
  - TUNNEL OR BORE WHEN DIGGING WITHIN THE CRZ OF A TREE.
  - ENSURE ALL EQUIPMENT AND CONSTRUCTION RELATED MATERIAL ARE NOT PLACED OR TEMPORARILY STORED WITHIN THE CRZ.
  - ENSURE EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARDS ANY TREE'S CANOPY.
  - FLOODING OR DEPOSITION OF SEDIMENT SHALL BE PREVENTED WHERE TREES ARE LOCATED.
  - ALL DISTURBED ROOT SYSTEMS SHALL BE EXPOSED AND BACKFILLED IN ONE CONTINUOUS OPERATION TO MINIMIZE DESICCATION.
  - EXPOSED ROOTS SHALL BE KEPT CONTINUOUSLY MOIST DURING EXCAVATION.
  - REMOVE BROKEN AND DAMAGED ROOTS WITH SHARP PRUNING SHEARS.
  - THE TREE PROTECTION MODULAR FENCE IS TEMPORARY, SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION OPERATIONS, AND SHALL BE REMOVED UPON COMPLETION OF WORK WHEN AGREED TO BY THE CONTRACT ADMINISTRATOR AND LANDSCAPE ARCHITECT.



1 TREE PROTECTION PLAN  
 TP-01

1:200



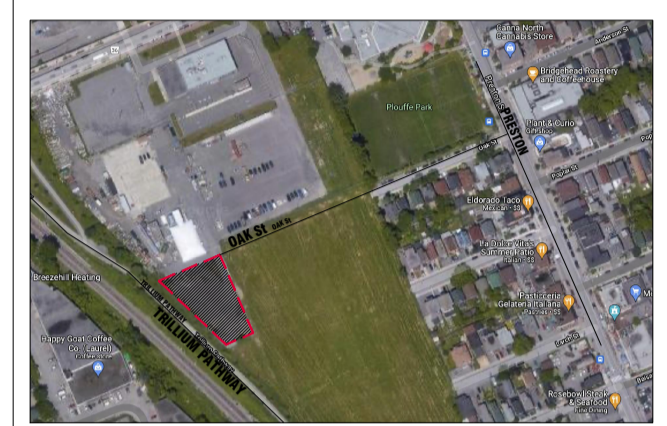


- LEGEND**
- PROPERTY LINE
  - BUILDING
  - - - TREE PROTECTION
  - - - GARAGE OUTLINE
  - DECIDUOUS TREES
  - EXISTING TREES
  - SOD
  - LIGHT DUTY CONCRETE
  - PAVER TYPE 1
  - PAVER TYPE 2
  - HEAVY DUTY CONCRETE
  - HEAVY DUTY UNIT PAVERS
  - ENGINEERED WOOD FIBER
  - ASPHALT
  - EXISTING MUP
  - BENCH
  - BIKE RACK
  - SHRUBS
  - PERENNIALS
  - LIGHT POLE
  - SCREEN FENCE
  - PLANTER WALL

**diamond schmitt** **RMC RMC RMC**

**LASHLEY + ASSOCIATES**  
 LANDSCAPE ARCHITECTURE AND SITE ENGINEERING

201-850 GLADSTONE AVENUE  
 OTTAWA, ON K1Y 5E8  
 T 613 233 8579  
 F 613 233 4201  
 W lashleya.com  
 E Mail@lashleya.com



ISSUED

No.	Date	Description
1	2021 SEP 08	ISSUED FOR SITE PLAN APPROVAL
2	2021 SEP 17	ISSUED FOR SITE PLAN APPROVAL
3	2022 JUL 14	ISSUED FOR SITE PLAN APPROVAL

- LANDSCAPE NOTES**
- All general site information and conditions compiled from architect's and engineer's plans and surveys.
  - Do not scale this drawing.
  - Report any discrepancies prior to commencing work. No responsibility is born by the Landscape Architect for unknown subsurface conditions.
  - Reinstate all areas and items damaged as a result of construction activities to the satisfaction of the Landscape Architect.
  - Drawing may not be used for construction until signed by Landscape Architect as issued for construction.
  - The accuracy of the position of utilities is not guaranteed.
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  - Plant substitutions shall not be permitted unless approved by the Landscape Architect.
  - Obtain approval of planting prior to digging.
  - Topsoil shall be garden soil mixture sandy loam with min. 5% organic matter and peat moss added at ratio of 1:10, topsoil to be approved by Landscape Architect.



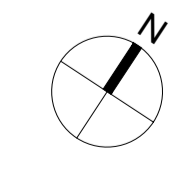
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**GLADSTONE VILLAGE**  
**PHASE 1**  
 933 Gladstone Avenue - Phase 1  
 211006

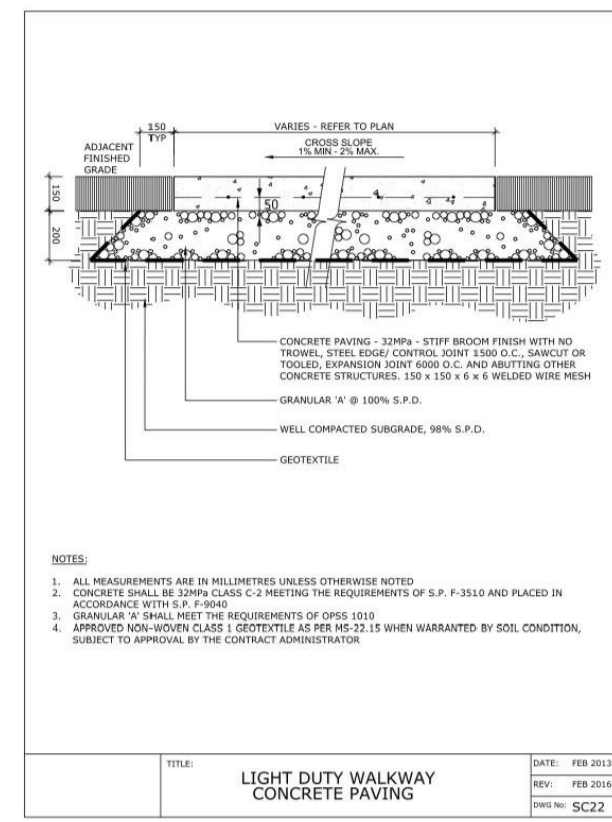
**PLANT LIST**

Key	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
CO	4	Celtis Occidentalis	Hackberry	50mm CAL	W.B.
GD	2	Gymnocladus Dioicus	Kentucky Coffeetree	50mm CAL	W.B.
AR	6	Acer Rubrum	Red Maple	50mm CAL	W.B.
TC	3	Tilia Cordata	Littleleaf Linden	50mm CAL	W.B.
GT	4	Gleditsia Triacanthos	Honey Locust	50mm CAL	W.B.
FG	5	Fagus Grandifolia	American Beech	50mm CAL	W.B.
QM	3	Quercus Macrocarpa	Burr Oak	50mm CAL	W.B.
acc	4	Amelanchier Canadensis Clump	Shadblow Serviceberry	7 gal	pot

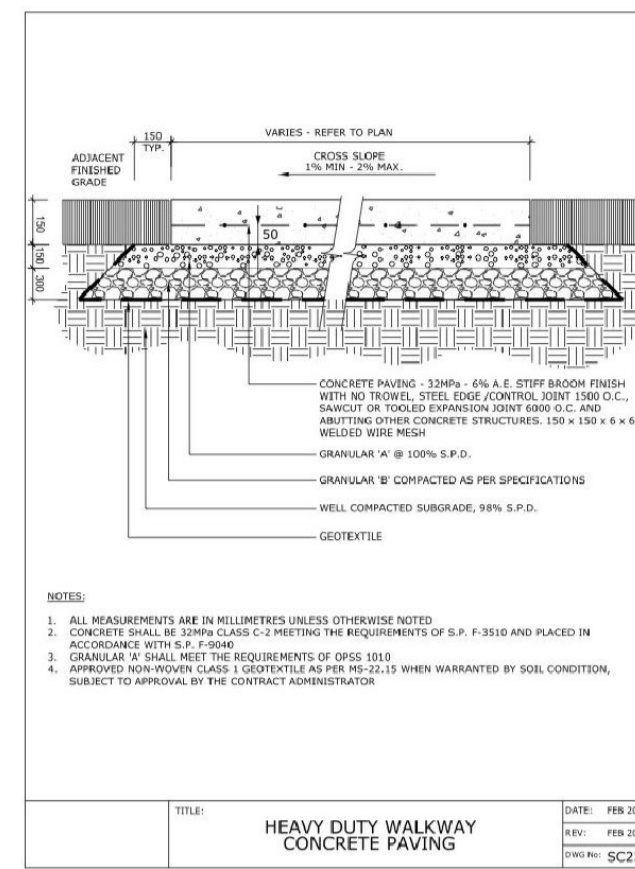
1 LL-1 LANDSCAPE PLAN



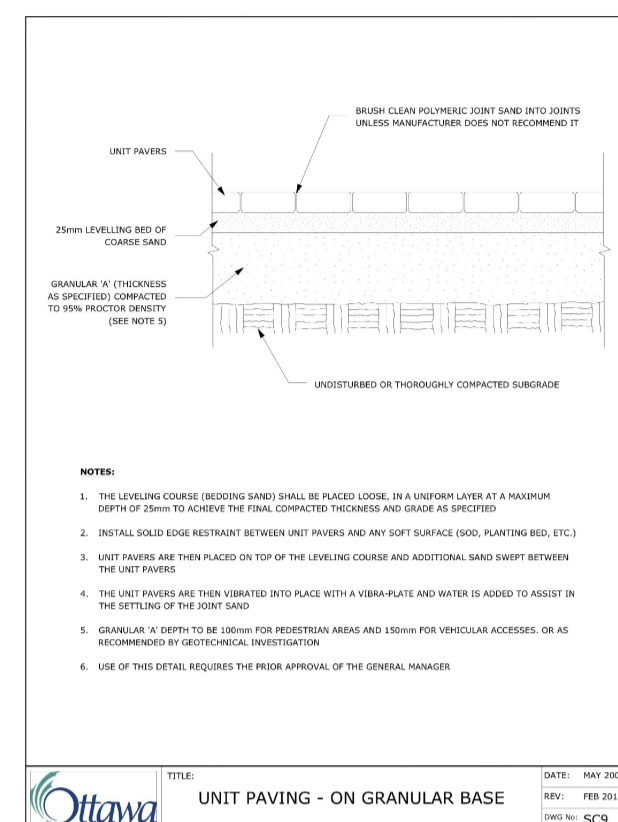
Landscape Plan  
 L1-1



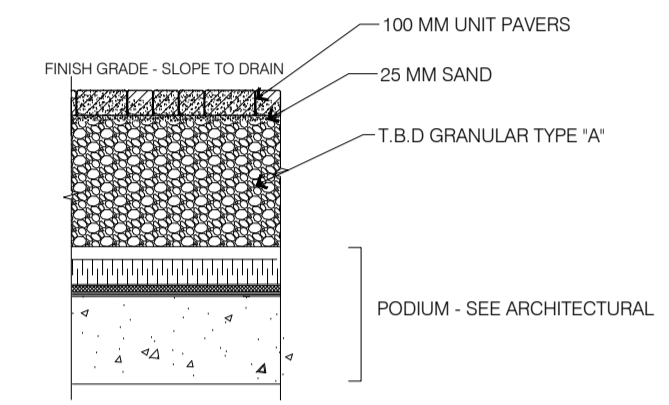
1 LIGHT DUTY CONCRETE  
L2-1



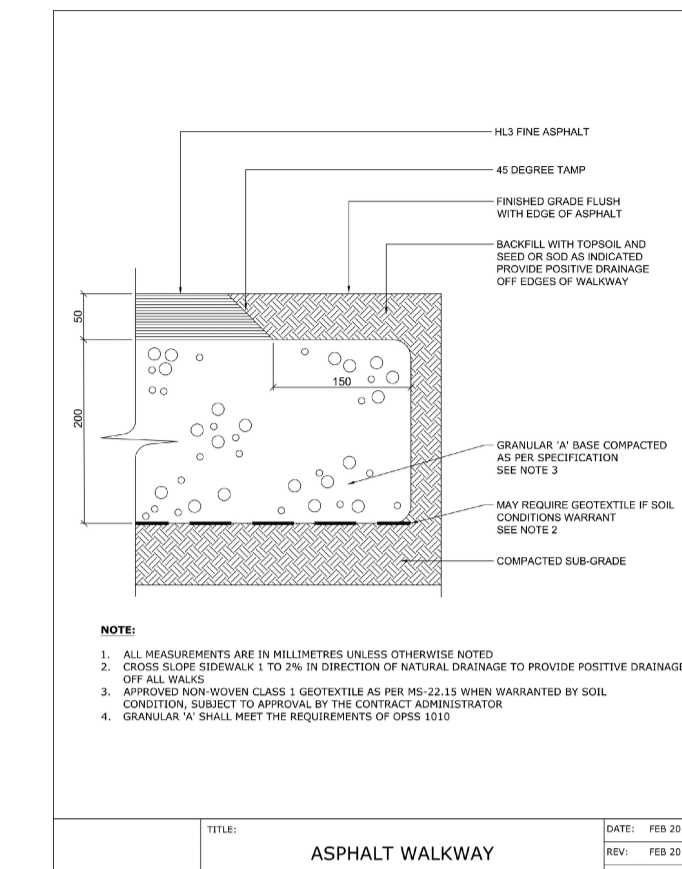
2 HEAVY DUTY CONCRETE  
L2-1



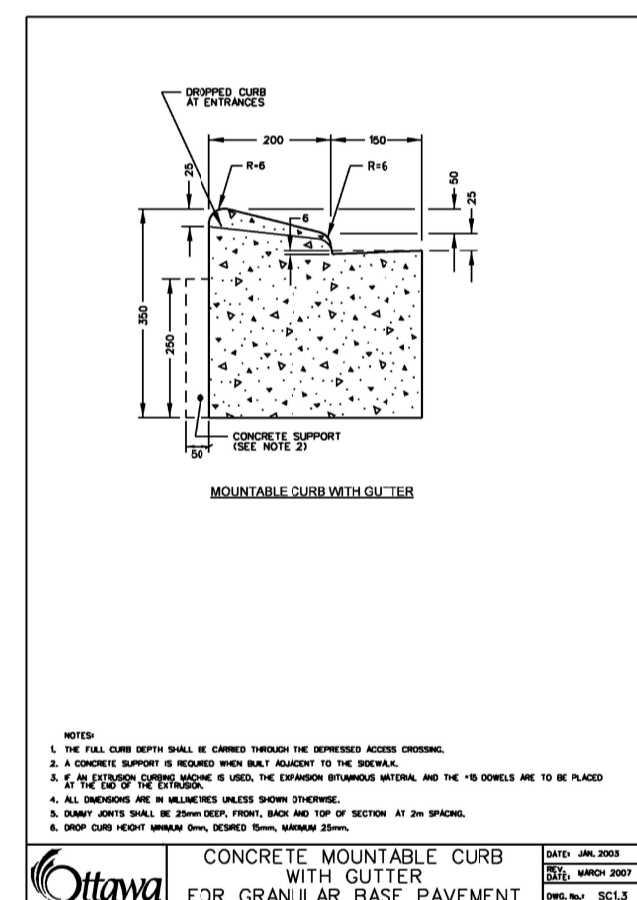
3 LIGHT DUTY UNIT PAVING  
L2-1



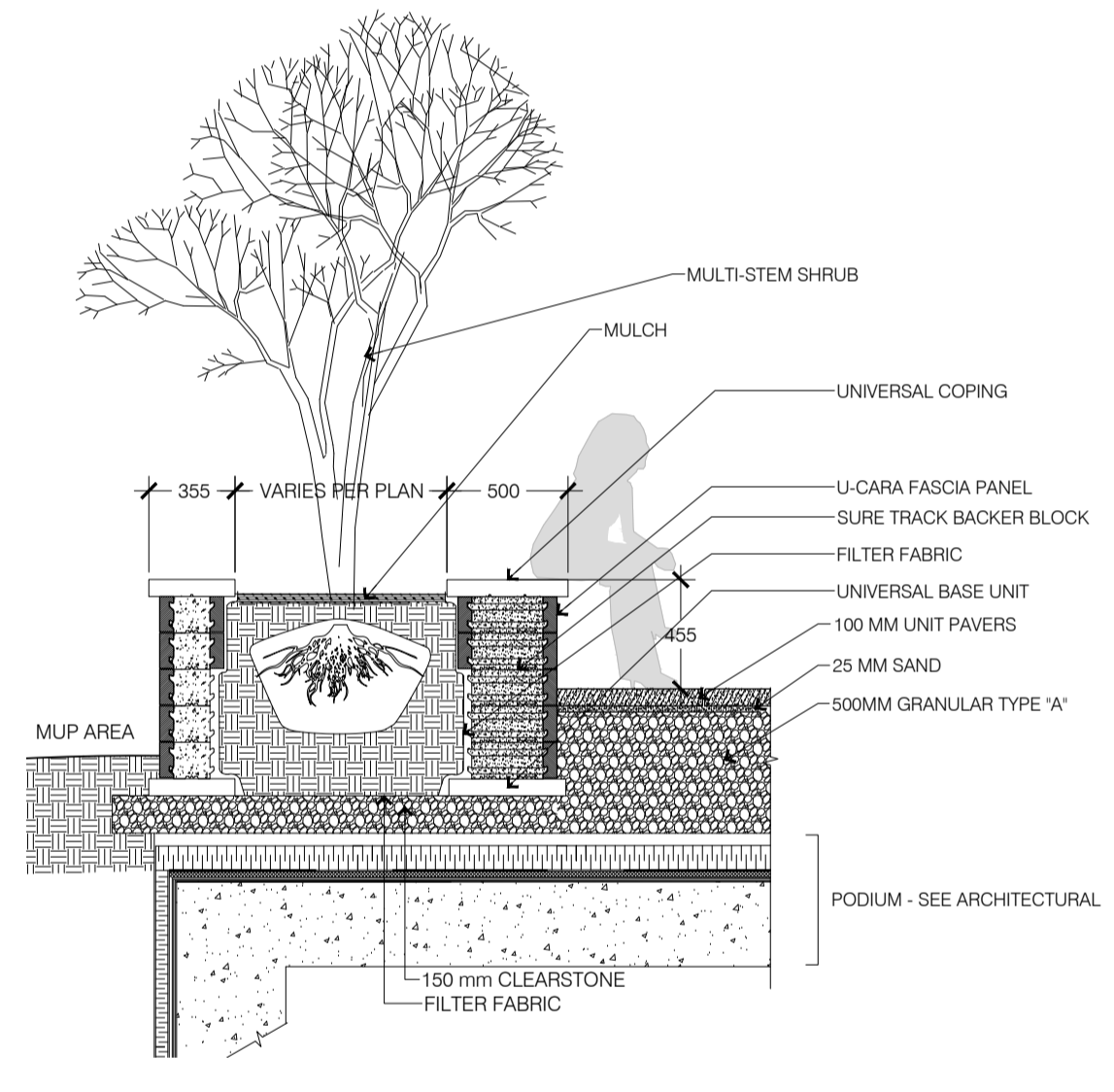
4 HEAVY DUTY UNIT PAVING  
L2-1



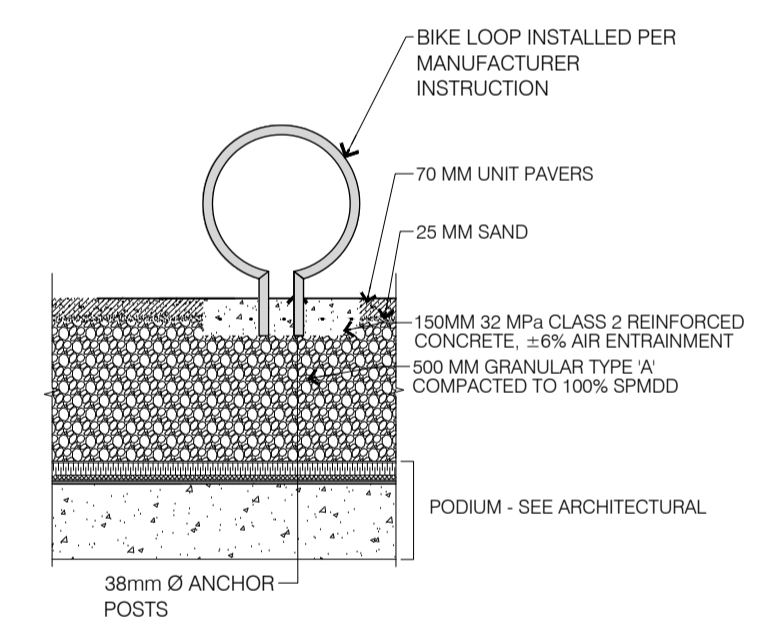
5 LIGHT DUTY ASPHALT  
L2-1



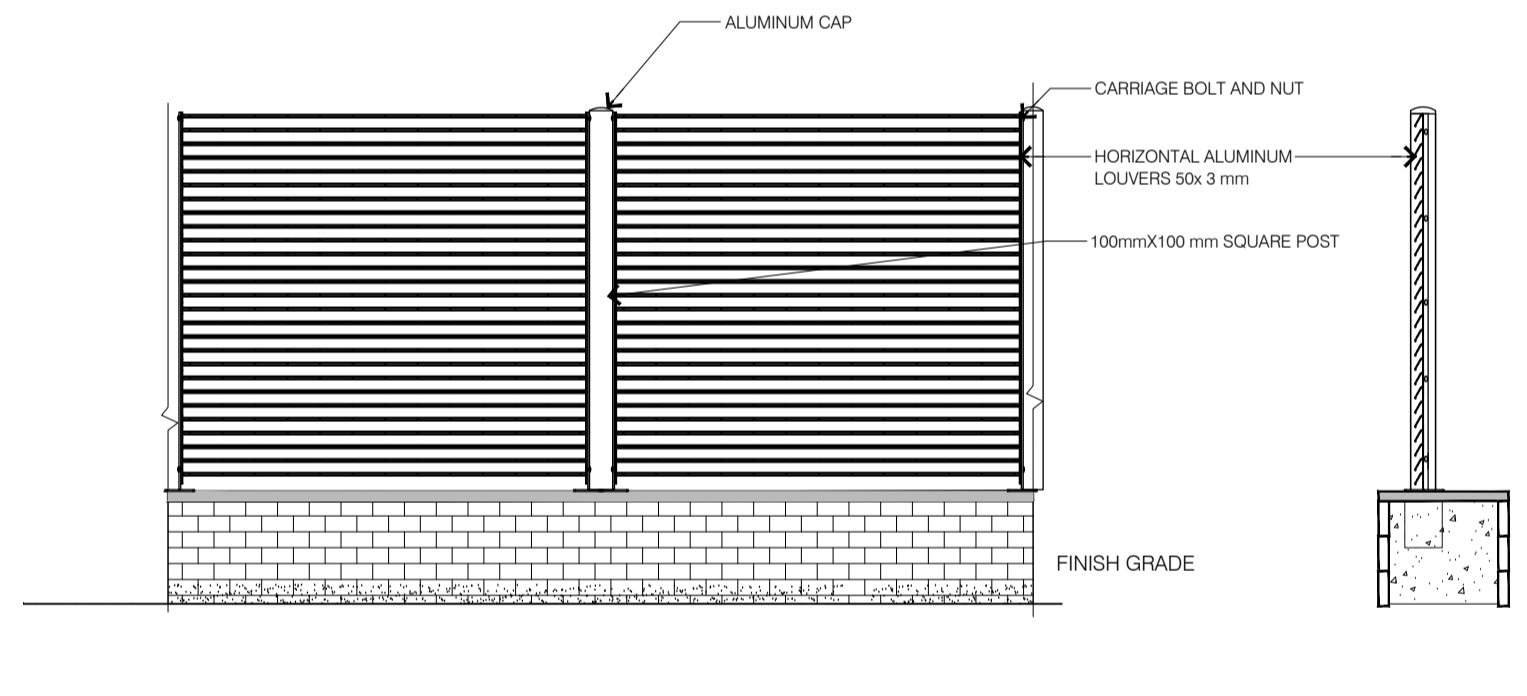
6 MOUNTABLE CURB  
L2-1



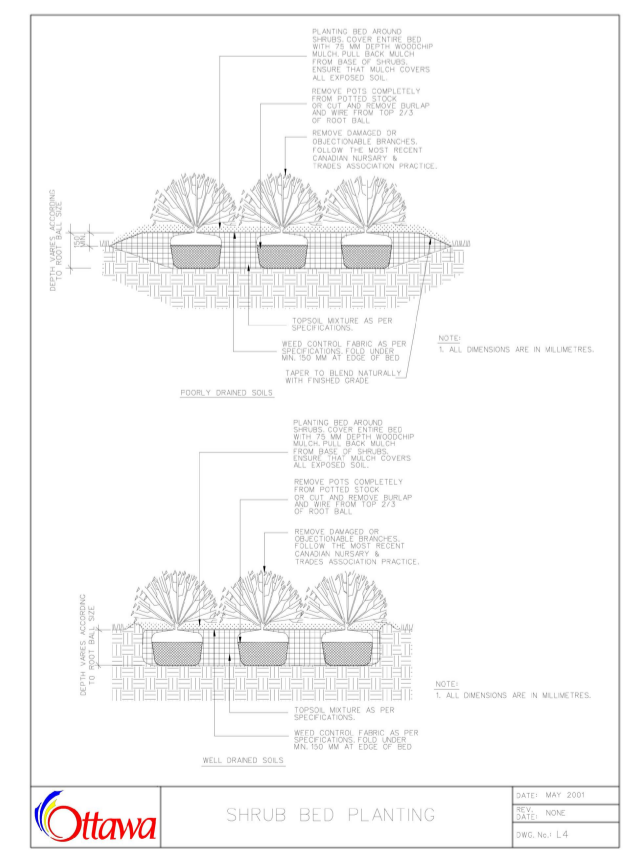
7 PLANTER WALL WITH BENCH  
L2-1



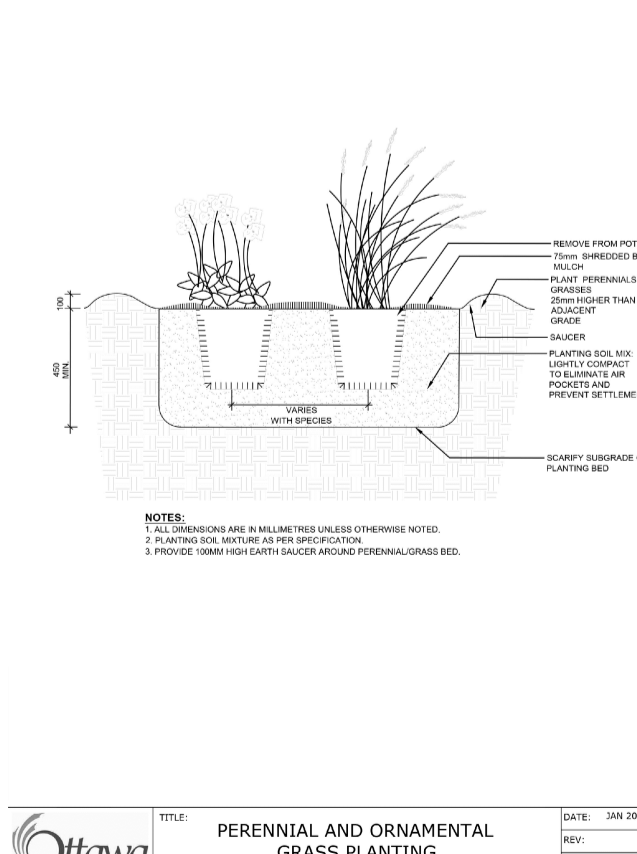
8 BIKE RING ON CONCRETE PAD  
L2-1



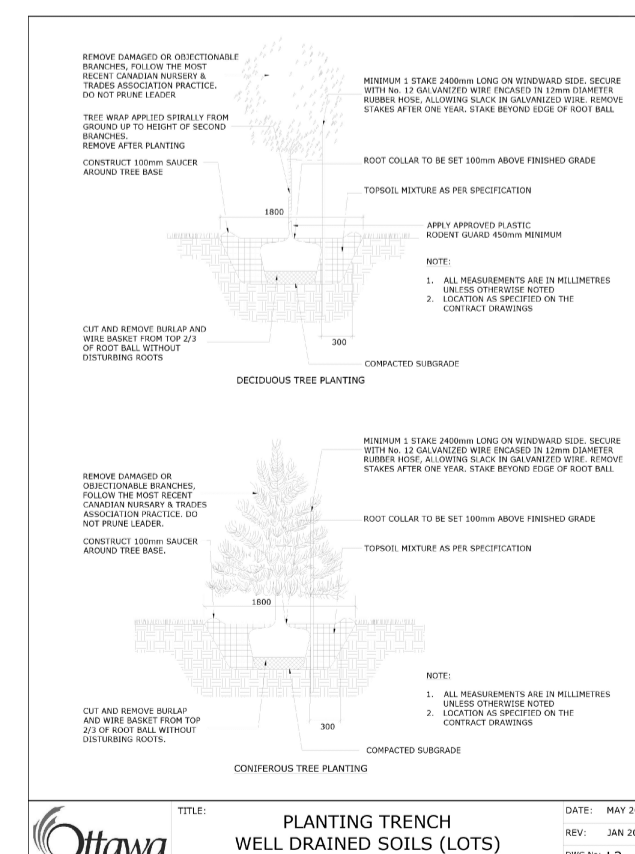
9 ALUMINUM SCREEN DETAIL  
L2-1



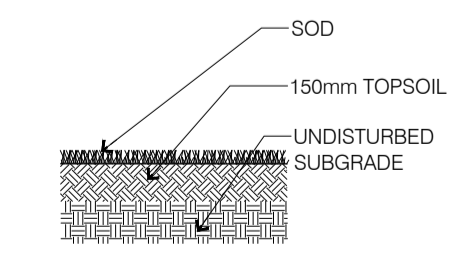
10 SHRUB PLANTING  
L2-1



11 PERENNIAL PLANTING  
L2-1



12 DECIDUOUS TREE PLANTING  
L2-1



13 SOD  
L2-1

**diamond schmitt** **RMC RMC RMC**

**LASHLEY + ASSOCIATES**

LANDSCAPE ARCHITECTURE AND SITE ENGINEERING

202-895 GLADSTONE AVENUE  
OTTAWA, ON K1Y 5E6  
T 613 233 8579  
F 613 233 4201  
W lashedley.com  
E Mail@lashley.com

ISSUED

No.	Date	Description
1	2021 SEP 08	ISSUED FOR SITE PLAN APPROVAL
2	2021 SEP 17	ISSUED FOR SITE PLAN APPROVAL
3	2022 JUL 14	ISSUED FOR SITE PLAN APPROVAL

- LANDSCAPE NOTES**
- All general site information and conditions compiled from architect's and engineer's plans and surveys.
  - Do not scale this drawing.
  - Report any discrepancies prior to commencing work. No responsibility is born by the Landscape Architect for unknown subsurface conditions.
  - Reinstall all areas and items damaged as a result of construction activities to the satisfaction of the Landscape Architect.
  - Drawing may not be used for construction until signed by Landscape Architect as issued for construction.
  - The accuracy of the position of utilities is not guaranteed.
  - Individual utility co. must be contacted for confirmation of utility existence and location prior to digging.
  - This drawing is an instrument of service and requires the permission of the Landscape Architect for use. Copyright is reserved by the Landscape Architect, David M. Lashley.
  - Plant material shall be No. 1 Grade and shall comply with the Metric Guide Specifications for Nursery stock (latest edition), published by Canadian Nursery Trades Association.
  - Plant substitutions shall not be permitted unless approved by the Landscape Architect.
  - Obtain approval of planting prior to digging.
  - Topsoil shall be garden soil mixture sandy loam with min. 5% organic matter and peat moss added at ratio of 1:10, topsoil to be approved by Landscape Architect.

**ASSOCIATION OF LANDSCAPE ARCHITECTS**

**RAND D. PALKA**

**MEMBER SINCE 2010**

CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON THE JOB.

DO NOT SCALE DRAWINGS.

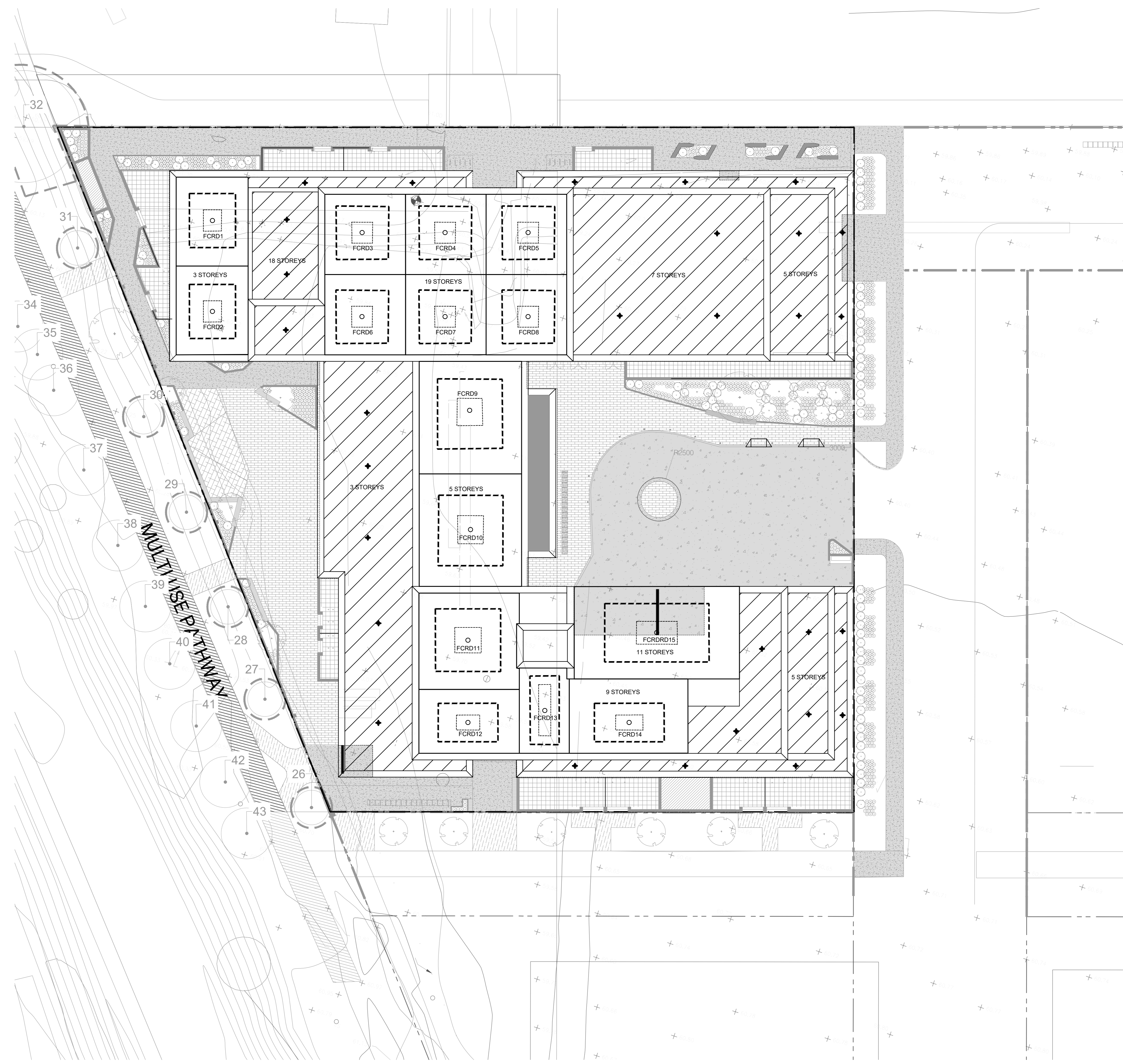
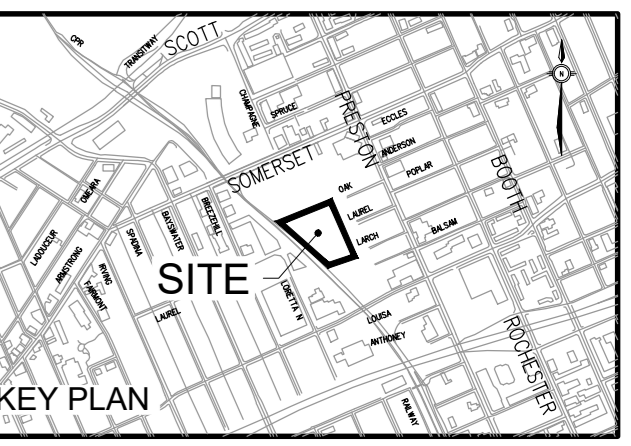
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THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

**GLADSTONE VILLAGE**  
**PHASE 1**  
933 Gladstone Avenue - Phase 1  
211006

Details  
L2-1

DWG # 18593



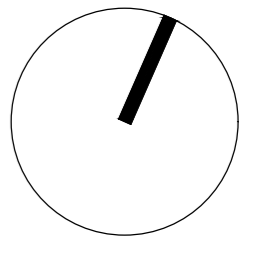
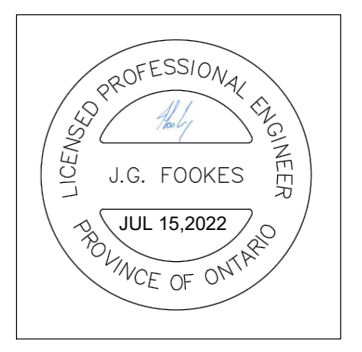
- LEGEND**
- FLOW CONTROLLED ROOF DRAIN
  - UNCONTROLLED FLOW ROOF DRAIN
  - AMENITY ROOF/OCCUPIABLE - NO FLOW CONTROL
  - UNOCCUPIABLE ROOF - NO FLOW CONTROL
  - AREA WITH UNCONTROLLED FLOW
  - 2 YR=25mm DEPTH
  - 100 YR=63mm DEPTH

**PRODUCT HEAD vs. FLOW**

PONDING DEPTH (m)	FLOW (L/s)				
	OPEN	3/4	1/2	1/4	CLOSED
0.025	0.315	0.315	0.315	0.315	0.315
0.05	0.631	0.631	0.631	0.631	0.315
0.075	0.946	0.867	0.789	0.710	0.315
0.1	1.262	1.104	0.946	0.789	0.315
0.125	1.577	1.341	1.104	0.867	0.315
0.15	1.893	1.577	1.262	0.946	0.315

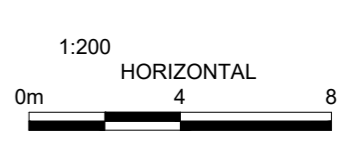
- NOTES:**
- PRODUCT - ADJUSTABLE ACCUTROL WEIR  
WEIR SETTING - 3/4  
FLOW RATE APPROX. 0.8L/s IN 100-YR EVENT
  - FOR SCUPPER / EMERGENCY OVERFLOW LOCATIONS / ELEVATION REFER TO ARCHITECTURAL

- ISSUED**
- | No. | Date        | Description                        |
|-----|-------------|------------------------------------|
| 1   | 2021 SEP 08 | ISSUED FOR SITE PLAN APPROVAL      |
| 2   | 2021 DEC 14 | ISSUED FOR 100% DESIGN DEVELOPMENT |
| 3   | 2022 MAR 09 | ISSUED FOR SITE PLAN RESUBMISSION  |
| 4   | 2022 JUN 16 | ISSUED FOR 60% CD                  |
| 5   | 2022 JUL 15 | ISSUED FOR SITE PLAN RESUBMISSION  |



CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON THE JOB.  
NO 40% SCALE DRAWINGS.  
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**GLADSTONE VILLAGE**  
**PHASE 1**  
933 Gladstone Avenue - Phase 1  
211006



**ROOF DRAIN LAYOUT & PONDING**  
Scale: 1:200  
Project No: 210101900  
Date: 15/07/22  
**C701**  
#18593