

Committee of Adjustment
Received | Reçu le
2022-01-9
City of Ottawa | Ville d'Ottawa
Comité de dérogation

ELEVATION NOTES

1. Elevations shown are geodetic and are referred to the CGVD25 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. Underground utility data derived from City of Ottawa utility sheet No. C-21-11 (Revision date September 2015).
4. Sanitary and storm sewer grades and inverts were derived from City of Ottawa Plan Reference 2623 (Sheet 4 of 12) (Revision 2, dated May 6, 1996).
5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

SURVEYOR'S REAL PROPERTY REPORT

PART 1 Plan of
PART OF THE WEST HALF OF LOT 25 CONCESSION 1 (OTTAWA FRONT)
Geographic Township of Gloucester
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Plan Amended on April 26, 2022 to Add Underground Services.
Plan Amended on June 29, 2022 to Show Asphalt Driveway Extent.

Scale 1 : 250
10 7.5 5.0 2.5 0 5 10 Metres

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

- I CERTIFY THAT:
1. This survey and plans are correct and in accordance with the Surveys Act and the regulations made under them.
 2. The survey was completed on the 2nd day of March, 2022.

March 18, 2022
Date
E. H. Herveyer
Ontario Land Surveyor

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED: March 18, 2022

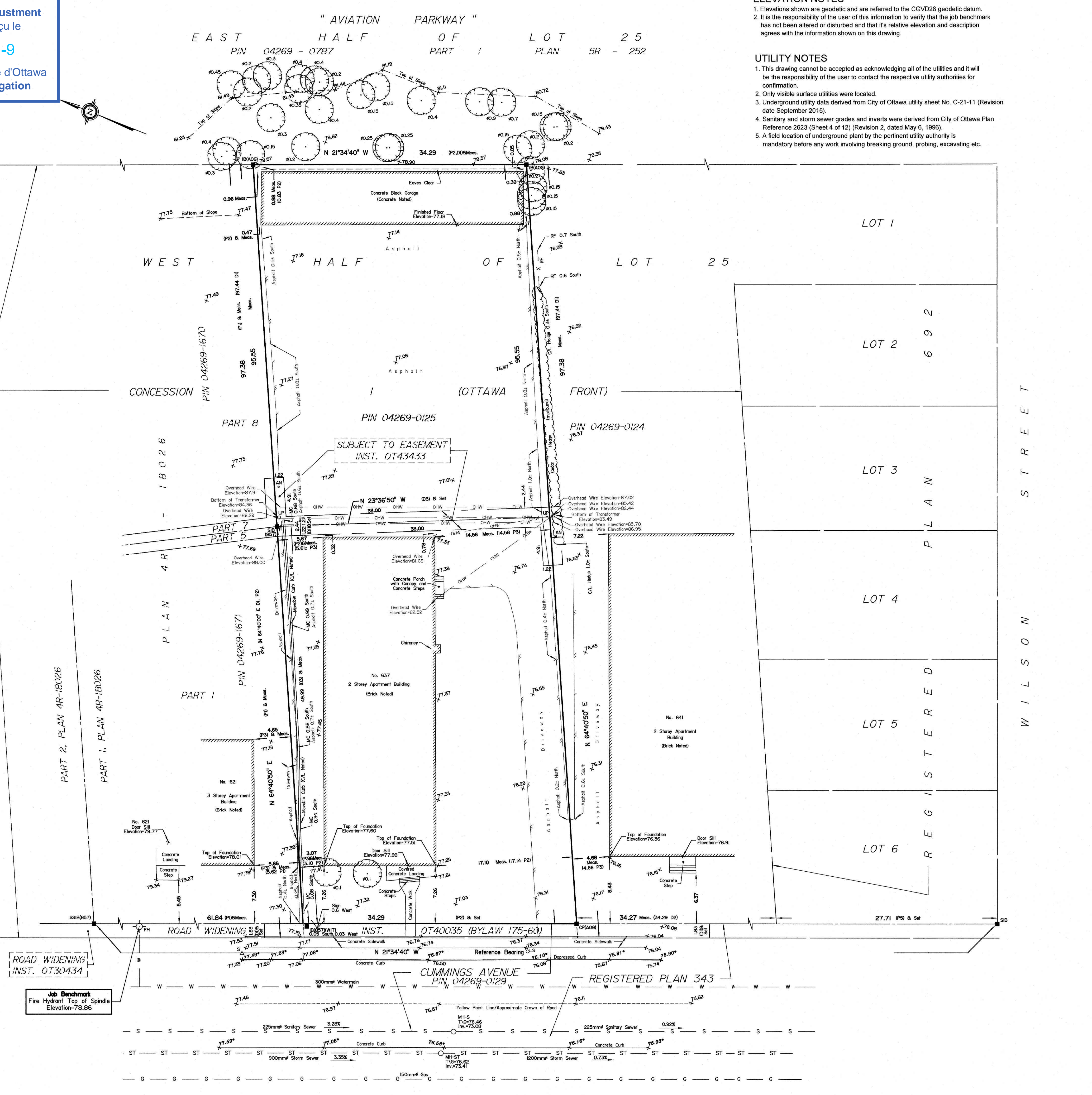
ANNIS, O'SULLIVAN, VOLLEBEK LTD. grants to Manor Park Management Inc. ("The Client"), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

Notes & Legend

Denotes	
—□—	Survey Monument Planted
—■—	Survey Monument Found
SIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
CP	Concrete Pin
Meas.	Measured
(WIT)	Witness
(AOG)	Annis, O'Sullivan, Vollebek Ltd.
(P1)	Plan 4R-18026
(P2)	(1287) Plan July 10, 1986
(P3)	(647) Plan February 17, 1960
(P4)	(AOG) Plan January 23, 1992
(P5)	Registered Plan 692
(D1)	Inst. N347843
(D2)	Inst. NS32404
(D3)	Inst. OT43433
MC	Movable Curb
○ M+S	Maintenance Hole (Sanitary)
— OHW —	Overhead Wires
— ST —	Underground Storm Sewer
— S —	Underground Sanitary Sewer
— W —	Underground Water
— G —	Underground Gas
○ UP	Utility Pole
+ AN	Anchor
○ LS	Light Standard
○ FH	Fire Hydrant
T/G	Top of Grate
○	Diameter
+65.00	Location of Elevations
+65.00*	Top of Concrete Curb Elevation
C/L	Centreline
○	Deciduous Tree
RF	Rail Fence

Bearings are astronomic, derived from the easterly limit of Cummings Avenue, shown to be N 21°34'40" W on Plan 4R-18026.

For bearing comparisons, a rotation of 0°40'10" counter-clockwise was applied to bearings on (P2), (D1) and (D3).

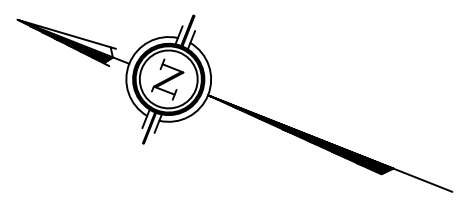


ROAD WIDENING
INST. OT30434

Job Benchmark
Fire Hydrant Top of Spindle
Elevation=78.86

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-22629

THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL
COPY ISSUED BY THE SURVEYOR
In accordance with
Regulation 1028, Section 29 (3).



PLAN 4R-35115

Received and deposited

December 7th, 2022

Kevin Oikonen

Representative for the
Land Registrar for the
Land Titles Division of
Ottawa-carleton (No.4)

" AVIATION PARKWAY "
E A S T H A L F O F L O T 2 5
PIN 04269 - 0787 PART 1 PLAN 5R - 252

SCHEDULE				
PART	LOT	CONCESSION	PIN	AREA (Sq.m.)
1	PART OF 25	1 (OTTAWA FRONT)	PART OF 04269-0125	66.7

PLAN OF SURVEY OF
PART OF THE WEST HALF OF LOT 25
CONCESSION 1 (OTTAWA FRONT)
Geographic Township of Gloucester
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 250



The intended plot size of this plan is 762 mm in width by 610 mm in height when plotted at a scale of 1:250.

Metric

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Surveyor's Certificate

I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the 21st day of November, 2022.

December 6, 2022
Date

E. H. Hervey
E. H. Hervey
Ontario Land Surveyor

This plan relates to AOLS Plan Submission form number: V-36388

Notes & Legend

Denotes	
	Survey Monument Planted
	Survey Monument Found
SIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
CP	Concrete Pin
Meas.	Measured
(WIT)	Witness
(AOG)	Annis, O'Sullivan, Vollebakk Ltd.
(P1)	Plan 4R-18026
(P2)	(1287) Plan July 10, 1986
(P3)	(647) Plan February 17, 1960
(P4)	(AOG) Plan January 23, 1992
(P5)	Registered Plan 692
(D1)	Inst. N347843
(D2)	Inst. NS32404
(D3)	Inst. OT43433
MC	Movable Curb
C/L	Centreline

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999944.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on reference points A and B, shown hereon, having a bearing of N21°34'40"W and are referenced to Specified Control Points 01919680105 and 019198434761, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°40'100" counter-clockwise was applied to bearings on P2, D1 & D3.

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680105 and 01918434761, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

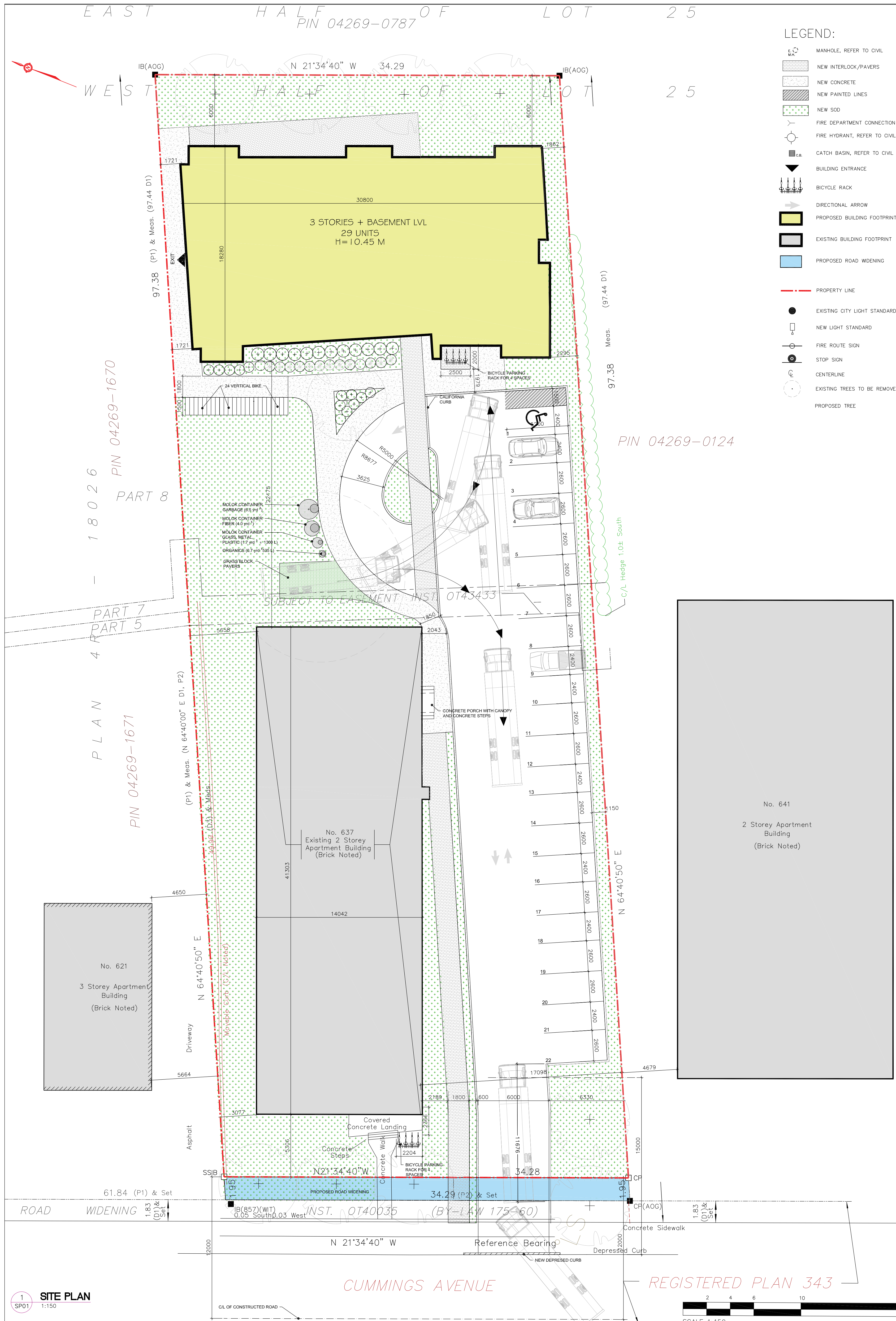
Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

.01919680105	Northing	5024915.16	Eastings	373971.65
.019198434761	Northing	5036178.12	Eastings	372436.11
.Point A	Northing	5033971.09	Eastings	372046.12
.Point B	Northing	5033824.07	Eastings	372104.26

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.



W I L S O N S T R E E T

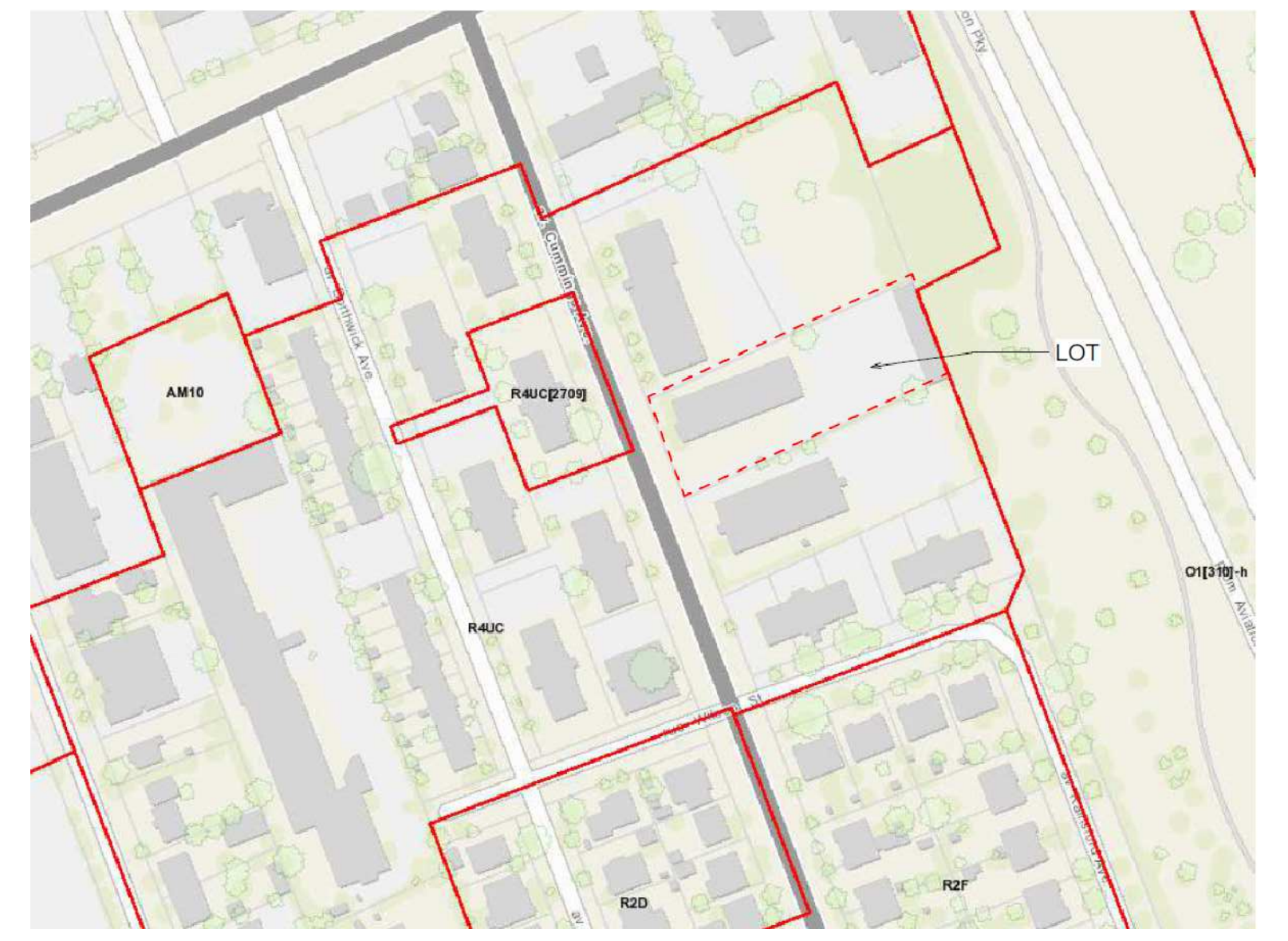


LEGEND:

- MANHOLE, REFER TO CIVIL
- NEW INTERLOCK/PAVERS
- NEW CONCRETE
- NEW PAINTED LINES
- NEW SOIL
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT, REFER TO CIVIL
- CATCH BASIN, REFER TO CIVIL
- BUILDING ENTRANCE
- BICYCLE RACK
- DIRECTIONAL ARROW
- PROPOSED BUILDING FOOTPRINT
- EXISTING BUILDING FOOTPRINT
- PROPOSED ROAD WIDENING
- PROPERTY LINE
- EXISTING CITY LIGHT STANDARD
- NEW LIGHT STANDARD
- FIRE ROUTE SIGN
- STOP SIGN
- CENTERLINE
- EXISTING TREES TO BE REMOVED
- PROPOSED TREE

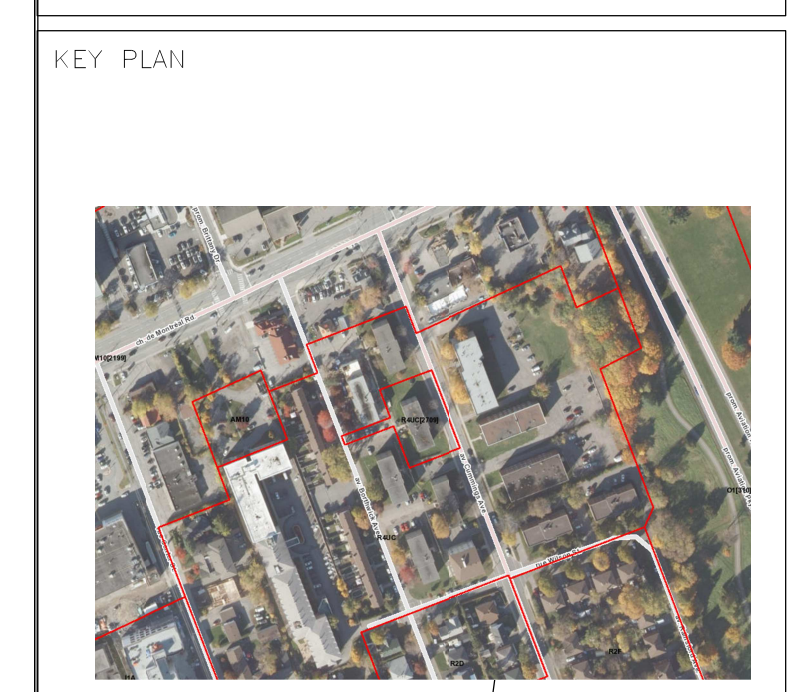
LEVEL	UNIT	SQ FT			SQ M			TYPE				TOTAL UNITS BY LEVEL	
		G.B.A	G.F.A	G.F.A FT/LEVEL	G.B.A	G.F.A	G.F.A FT/LEVEL	1 BEDROOM	STUDIO BF	2 BEDROOM	2 BEDROOM BF		
MECHANICAL LEVEL	MECH.	376	0	0	35	0	0						
	BASEMENT	1		547			51						
		2		544			51						
		3		344			32						
		4	4964	682	3626	461	63	300					7
		5		562			51						
		6		554			51						
7			393			37							
MAIN LEVEL	101		569			53							
	102		563			52							
	103		351	3371		33	313						
	104	5375	699		499	65							
	105		615			57							
	106		574			53							
2	201		569			53							
	202		563			52							
	203		351			33							
	204		699	4388		65	408						
	205	5419	614		503	57							
	206		561			52							
	207		632			59							
	208		399			37							
3	301		569			53							
	302		563			52							
	303		351			33							
	304		699	4388		65	408						
	305	5419	614		503	57							
	306		561			52							
	307		632			59							
	308		399			37							
	TOTAL		21 553	15 773	15 773	2 002	1 465	1 429	3	18	4	29	

Section	Requirement	Provided	Compliance
Section 161 (Subsection)	Requirement	Provided	Compliance
(8) for lots > 450 m ²	50% of lot area to be landscaped Lot area = 3268 m ² 50% = 1634 m ²	Provided = 990 m ²	Yes
(15) (a) (ii) for lots > 450 m ²	50% of rear yard to be soft landscaped	97%	Yes
(15) (d) where front yard setback > 3 m	40% of front yard to be soft landscaped where lot width > 12 m	68.7%	Yes
(16) (b) for lots > 450 m ²	Minimum 25% of units to be 2 bedroom	Total units = 29. Total 2 bed units = 22 or 76%	Yes
Table 162A Standards	Requirement	Provided	Compliance
Minimum lot width	N/A	34.29 m	Yes
Minimum lot area	1400 m ²	3268 m ²	Yes
Maximum height	As per dwelling type - low-rise apartment < 5 units: 11 m	10.45 m	Yes
Minimum front yard	4.5 m	7.26 m (existing) With 2 m required widening = 5.3 m	Yes
Minimum rear yard where front yard setback > 4.5 m (Table 164 B (b) and Table 162A - Endnote 4)	For low-rise buildings with > 9 units - 25% of the lot depth which must comprise at least 25% of the area of the lot, and need not exceed 7.5 m	6 m	Not compliant: Minor variance required
Minimum interior side yard Table 162B Endnote 1	Subsection (b): 7.5 m	South lot line: 1.8 m North lot line: 1.7 m	Not compliant: Minor variance required
Table 131 - Provisions for Planned Unit Development	Requirement	Provided	Compliance
(1) Minimum lot width	N/A	34.29 m	Yes
(2) Minimum setback for any wall of a residential use building to a private way	1.8 m	1.8 m	Yes
(4) Minimum separation area between buildings within a planned unit development	(a) where the height of abutting buildings within the PUD is less than or equal to 14.5 m = 1.2 m	Building height is 10.45 m; Distance between buildings: 22.5 m	Yes
Table 137 (3) Low-rise apartment dwelling	6 m ² per dwelling unit = 29 units x 6 = 174 m ² aggregated into areas up to 54 m ² = 50% of total for community area	Total area provided = Interior Amenity = 56 m ² Balconies = 39 m ² Ext. amenity = 394 m ² Total = 489 m ²	Yes
Section 139 - Low-rise Residential Development within the Greenbelt	Requirement	Provided	Compliance
Table 139 (Subsection)	Requirement	Provided	Compliance
(1) Minimum % aggregated soft landscaped area	Front yard > 3 m with lot width > 12 m = 40%	Lot width > 12 m 76%	Yes
(4) A walkway located in a front yard or corner side yard is permitted subject to the following:	(b) Where a walkway extends from the right-of-way, it must be separated from any driveway by at least 0.6 m of soft landscaping.	0.60 m	Yes
(c) (i) The width of a walkway serving a low-rise apartment building may not exceed: 1.8 m	1.8 m		Yes
Parking, Queuing and Loading Provisions	Requirement	Provided	Compliance
Section 101 - Resident (3) in Area X and Table 101 Row 11	Total Units = 19 existing + 29 new units = 48 0 spaces for first 12 units = .5 spaces for 36 (balance) = 18 spaces	18 spaces	Yes
Section 102 - Visitor (2) in Area X and Table 102 Low-rise Apartment	Total Units = 19 existing + 29 new units = 48 0 spaces for first 12 units = .1 spaces for 36 (balance) = 3.6 or 4 spaces	4 spaces	Yes
Section 107 - Aids and Driveway Provisions (1) (a) A driveway providing access to a parking lot or parking garage must have a minimum width of:	For two way traffic - 6 m	6 m	Yes
Section 110 - Landscaping provisions for parking lots	Requirement	Provided	Compliance
Table 110 (b) lot containing > 10 and < 100 spaces	Minimum width - 1.5 m	1.08 m	Not compliant: Minor variance required
Section 111 - Bicycle Parking Space Rates and Provisions	Requirement	Provided	Compliance
Table 111A (b) (i)	.5 per unit: 48 x .5 = 24 spaces	32 spaces	Yes



ALL SURVEY INFORMATION TAKEN FROM TOPOGRAPHIC SURVEY OF PART 1, PLAN OF THE WEST HALF OF LOT 25 CONCESSION 1 (OTTAWA FRONT) GEOGRAPHIC TOWNSHIP OF GLOUCESTER, CITY OF OTTAWA, AS PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD. PLAN AMENDED ON APRIL 26, 2022 TO ADD UNDERGROUND SERVICES, PLAN AMENDED ON JUNE 29, 2022 TO SHOW ASPHALT DRIVEWAY EXTENT.

ELEVATION NOTE
 1. ELEVATIONS SHOWN ARE GEODETIC AND ARE REFERRED TO THE CGVD28 GEODETIC DATUM.
 2. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN THE ABOVE REFERENCED SURVEY.



ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL CODES AND BYLAWS AND OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.

DO NOT SCALE DRAWINGS.
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

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#	Description	Date
1	ISSUED FOR APPROVAL	2022-12-01
2	ISSUED FOR REVIEW	2022-09-04
3	ISSUED FOR REVIEW	2022-09-11
4	ISSUED FOR REVIEW	2022-09-30

JAWAN PROPERTIES INC.
 200 SKIPPER DRIVE, MANOTICK ON K4M 0M5

WOODMAN ARCHITECT ASSOCIATES LTD.
 4 BEECHWOOD, SUITE 201 OTTAWA, ONTARIO, CANADA K1L 8J9
 TEL: 613 228 9850 • FAX: 613 228 9848 • email: info@woodmanarchitect.com

CONSULTANTS:
 STRUCTURAL -
 MECHANICAL -
 CIVIL -
 ELECTRICAL -
 LANDSCAPING -

PROJECT
637 CUMMINGS AVE. OTTAWA




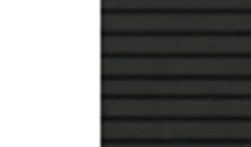



DRAWING:
SITE PLAN

NO.	DATE	BY	SCALE
1	2022-12-01	W.A.	1:150
2	2022-09-04	W.A.	1:150
3	2022-09-11	W.A.	1:150
4	2022-09-30	W.A.	1:150

SCALE 1:150 METERS



2 WEST ELEVATION -
A1109 1:50

-  BRICK
-  ALUMINUM WINDOW
-  BLACK METAL PANEL
-  WOOD TEXTURE METAL PANEL
-  WHITE METAL PANEL
-  GLASS RAILING
-  METAL FLASHING



1 NORTH ELEVATION --
A1109 1:50

KEY PLAN



PROJECT

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#	Description	Date

JAWAN PROPERTIES INC.
200 SKIPPER DRIVE, MANOTICK
ON, K4M 0M5

WOODMAN ARCHITECT
ASSOCIATES LTD.

4 BEECHWOOD, SUITE 201 OTTAWA, ONTARIO, CANADA K1L 8L9
TEL: 613 228 9850 • FAX 613 228 9848 • mail@woodmanarchitect.com

CONSULTANTS:
STRUCTURAL —
MECHANICAL —
CIVIL —
ELECTRICAL —
LANDSCAPING —

PROJECT
**637 CUMMINGS AVE.
OTTAWA**

DRAWING:
ELEVATIONS

DATE: 2022-08-29 11:47:20 AM	SCALE: 1/8"=1'-0"	PROJECT: 637 CUMMINGS AVE.
DRAWN BY: G. GORMAN	CHECKED BY: J. GORMAN	DATE: 2022-08-29
DESIGNED BY: J. GORMAN	VERIFIED BY: J. GORMAN	A110B



1 EAST ELEVATION --
A1119 1:50

	BRICK
	ALUMINUM WINDOW
	BLACK METAL PANEL
	WOOD TEXTURE METAL PANEL
	WHITE METAL PANEL
	GLASS RAILING
	METAL FLASHING



3 SOUTH ELEVATION --
A1119 1:50

KEY PLAN



PROJECT

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL CODES AND BYLAWS AND OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.
DO NOT SCALE DRAWINGS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
COPYRIGHT RESERVED.

#	Description	Date

JAWAN PROPERTIES INC.
200 SKIPPER DRIVE, MANOTICK ON, K4M 8M5

WOODMAN ARCHITECT ASSOCIATES LTD.
4 BEECHWOOD, SUITE 201 OTTAWA, ONTARIO, CANADA K1L 8L9
TEL: 613 228 9850 • FAX: 613 228 9848 • mail@woodmanarchitect.com

CONSULTANTS:
STRUCTURAL —
MECHANICAL —
CIVIL —
ELECTRICAL —
LANDSCAPING —

PROJECT
**637 CUMMINGS AVE.
OTTAWA**

DRAWING:
ELEVATIONS

DATE: 2022-08-29 11:47:27 AM	NO. 001 - 2011
NAME: Corinne Indigala	DRAWN BY:
DESIGNED BY: Author	CHECKED BY:
APPROVED BY: Verificateur	DATE: 2022-08-29 11:47:27 AM

A111B