

AVERAGE GRADE CALCULATIONS
 87.75m
 87.52m
 87.86m
 87.54m
 87.28m

drop from garage slab to basement slab

THIS DRAWING IS A PROFESSIONAL ARCHITECTURAL DRAWING. IT IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED BY THE CLIENT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THIS DRAWING. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION AND DATA PROVIDED BY THE CLIENT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THIS DRAWING.

GENERAL NOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN METERS.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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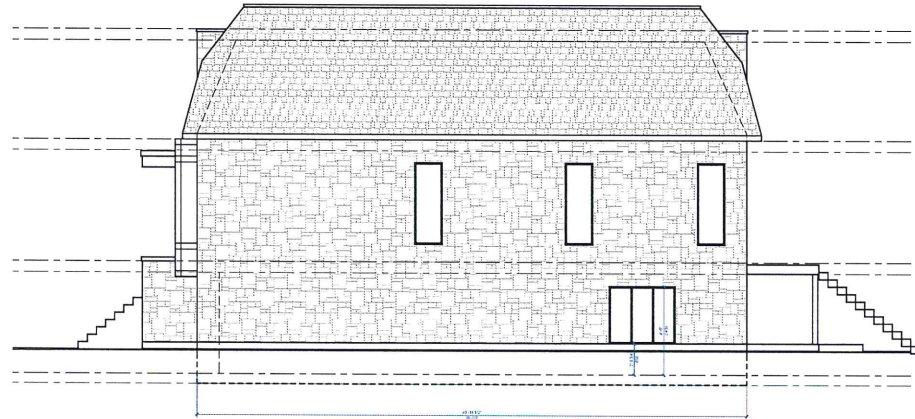
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1 WEST ELEVATION
SCALE 3/16" = 1'-0"



2 SOUTH ELEVATION
SCALE 3/16" = 1'-0"



1 EAST ELEVATION
SCALE 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE 3/16" = 1'-0"

ALL GUARD RAIL AND STEP
CONSTRUCTION TO BE PER 98.03.01
(S.B.3, S.C.4, ED-11 AND OBC 8.8)

- MATERIAL LEGEND & NOTES**
- ① FIBRE CEMENT PANELING FINISH (SPEC. B*)
 - ② STONE VENEER EXTERIOR FINISH (SPEC. C)
 - ③ HORIZ. STEEL SIDING - WOOD FINISH (SPEC. B)
 - ④ VERT. CORRUGATED STEEL SIDING (SPEC. B)
 - ⑤ FIBRE CEMENT PANELS SIDING
 - ⑥ ALUMINUM PANELS SIDING or ALUMINUM STOCK EXT.
 - ⑦ 4" x 8" PRE-CAST CONC. BILD.
 - ⑧ ALUMINUM STOCK CLAD FASCIA
 - ⑨ CEMENT PAINTING TO 4" BELOW GRADE
 - ⑩ GRASS TO BE CONNECTED TO NEIGHBORS FILE
 - ⑪ ASPHALT SHINGLES
 - ⑫ GLASS & METAL ELEMENTAL
 - ⑬ 8" WIDE PRE-CAST CONC. SURROUND
 - ⑭ ALUM. CLAD POST
 - ⑮ 8" RAISED EPS SURROUND
 - ⑯ 8" DOUBLE RAISED EPS FRIeze (4" x 2")
 - ⑰ 12" WIDE PRE-CAST CONC. BAND (SPEC. B.0.1)
 - ⑱ CONCRETE STEPS
 - ⑲ CORRUGATED STEEL WINDOW WELLS
 - ⑳ 12" WIDE RAISED EPS BAND
 - ㉑ SOLDIER BRICK COURSE
- GLAZING AREA USED TO CALCULATE FOR SB-12
- TOP OF RAIL AND STEP CONSTRUCTION TO BE PER 98.03.01 (S.B.3, S.C.4, ED-11 AND OBC 8.8)
- CONCRETE BAND USED TO CALCULATE FOR SB-12

ARCHITECT: SCOTT HARRIS
2077 PROSPECT AVENUE
OTTAWA, ON K1N 9J7
DRAWING NO.: 2012-0101
13-06-2012

RESPONSIBILITIES:
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE PERMITTED BUILDING CODE. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL, PROVINCIAL AND FEDERAL REGULATIONS AND STANDARDS.

IF THIS DRAWING IS TO BE USED FOR ANY OTHER PROJECT, THE USER SHALL OBTAIN THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THIS DRAWING FOR ANY OTHER PROJECT.

623 ROWANWOOD AVENUE
SCOPE OF WORK: NEW SINGLE DETACHED DWELLING

NO.	REVISIONS	DATE
1	ISSUED FOR PERMITS	2012-06-13
2	ISSUED FOR PERMITS	2012-06-13
3	ISSUED FOR PERMITS	2012-06-13
4	ISSUED FOR PERMITS	2012-06-13

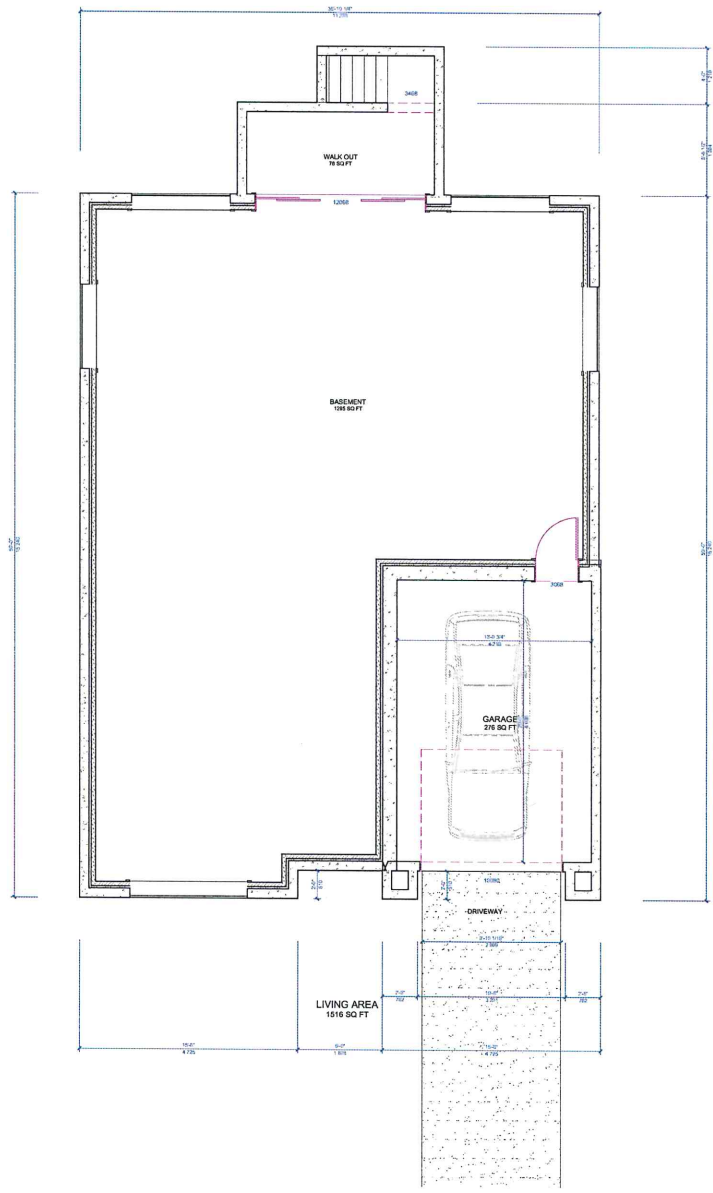
623 ROWANWOOD AVENUE
NEW SINGLE DETACHED
DWELLING
OTTAWA, ON K1N 9J7

ELEVATIONS
SKETCH

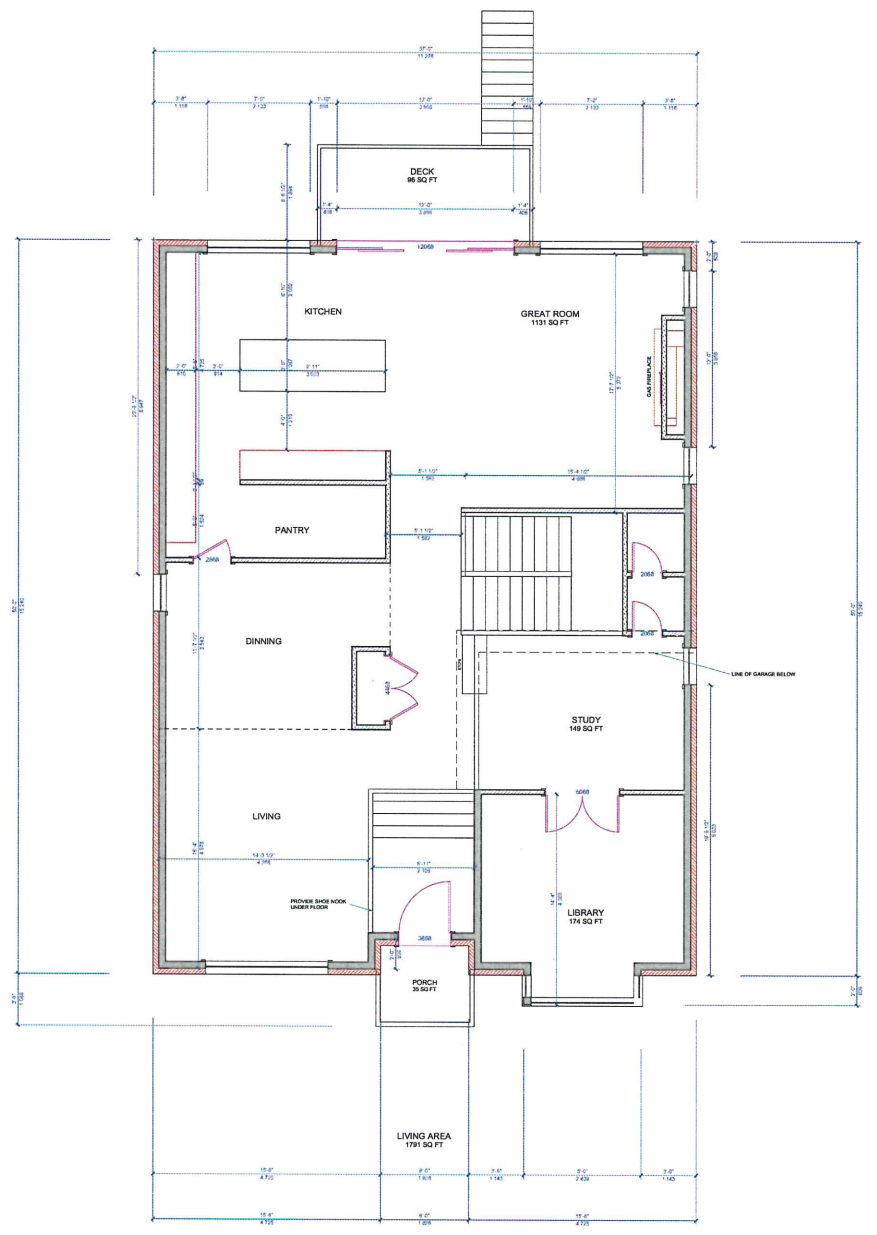
DATE: 2012 JUN 13 P.M.
DRAWN BY: [Signature]
SCALE: AS NOTED

A5

ELECTRICAL & PLUMBING
LEGEND ON PAGE A-



1 BASEMENT FLOOR PLAN
SCALE 1/4" = 1'-0"



2 FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2018 INTERNATIONAL PLUMBING AND MECHANICAL CODE BOOK (IPC/MEC). THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

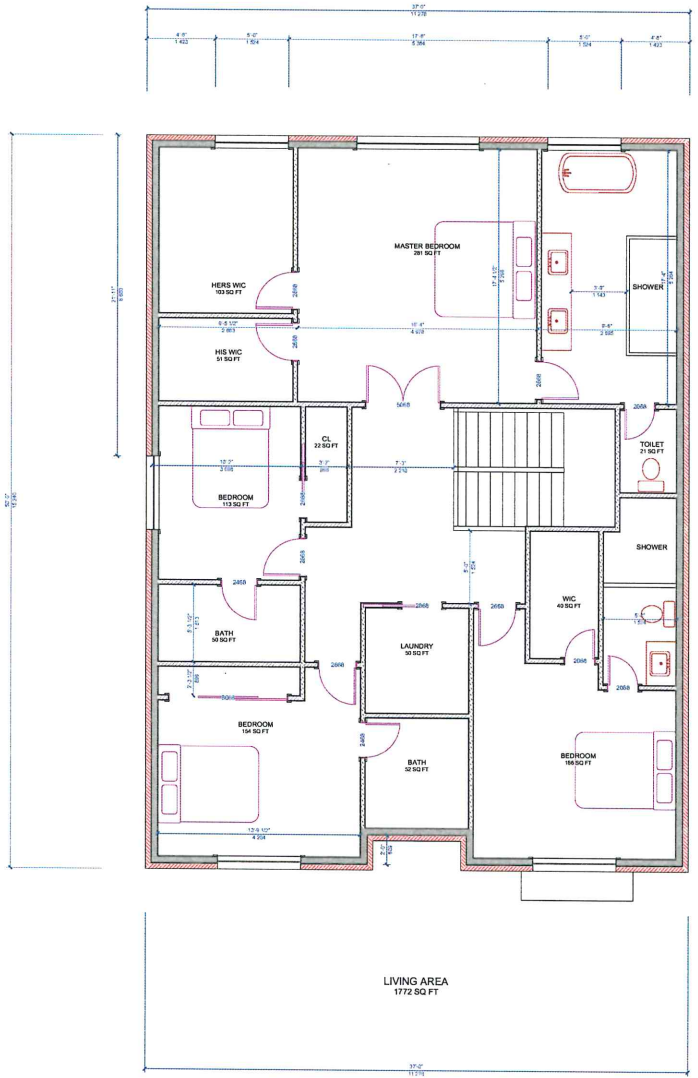
RESPONSIBILITIES:
OWNER: TO PROVIDE ALL NECESSARY PERMITS AND INSURANCE.
ARCHITECT: TO PROVIDE ALL NECESSARY PERMITS AND INSURANCE.
CONTRACTOR: TO OBTAIN ALL NECESSARY PERMITS AND INSURANCE.

623 ROWANWOOD AVENUE
SCOPE OF WORK: NEW SINGLE DETACHED DWELLING

NO.	DESCRIPTION	DATE
1	OWNER'S SET	06/20/2022
2	ARCHITECT'S SET	06/20/2022
3	PERMITS	07/12/2022
4	CONSTRUCTION	08/01/2022

623 ROWANWOOD AVENUE
NEW SINGLE DETACHED DWELLING
DATE: JUNE 20, 2022
SCALE: AS NOTED

A3



2 SECOND FLOOR PLAN
 A4 SCALE 1/4" = 1'-0"

AKA DESIGN - ROOM 10400
 2377 WINDSOR AVENUE
 OTTAWA, ON K1N 7G2
 PROJECT NO: 1705 - ROOM 10400
 #133664405
 CLIENT: FORTINER
 DESIGN: 08.2022
 THIS DOCUMENT IS THE PROPERTY OF AKA DESIGN AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AKA DESIGN.

RESPONSIBILITIES
 10-100 (ALL CONTRACTS)
 ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE PROPOSED BUILDING CODE 2018
 ALL CONTRACTORS MUST BE IN ACCORDANCE WITH ALL LOCAL REGULATIONS AND STANDARDS APPLICABLE
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS TO THE WORK AND TO THE ARCHITECT/DESIGNER APPROVED CONTRACTS
 GENERAL NOTES

623 ROWANWOOD AVENUE
 SCOPE OF WORK: NEW SINGLE DETACH DWELLING

NO.	DESCRIPTION	DATE
1	ISSUED SET 1	08/2022
2	REVISIONS	08/2022
3	FINAL	08/2022
4	PERMITS	08/2022
5	CONSTRUCTION	08/2022

623 ROWANWOOD AVENUE
 NEW SINGLE DETACHED
 623 ROWANWOOD AVE.
 OTTAWA, ON K1N 7G2
 FLOOR PLANS
 SKETCH
 DATE: 08/2022
 TIME: P.M.
 DRAWN: JUNE 30, 2022
 SCALE: AS NOTED
 A4

COURTENAY AVENUE
(Formerly Seventh Avenue)

REGISTERED
LOT 1070

LOT 1069

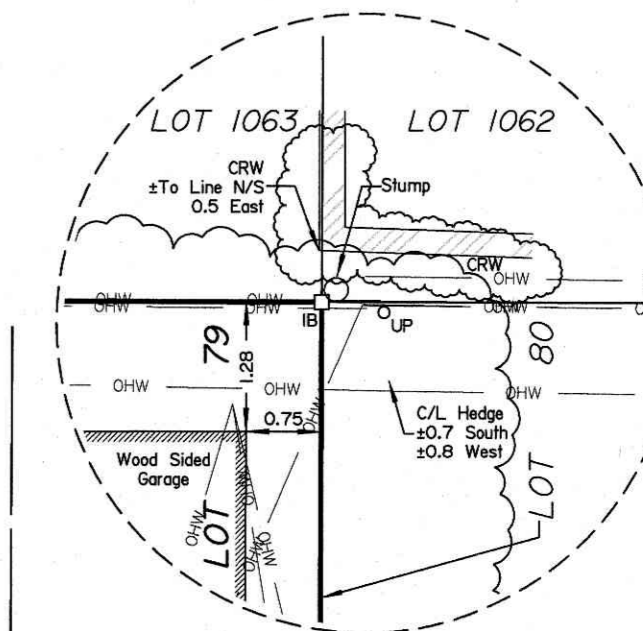
LOT 1068

LOT 1064

PLAN
LOT 1063
PIN 03978-0007

LOT 1062
PIN 03978-0008

Committee of Adjustment
Received | Reçu le
2022-10-19
City of Ottawa | Ville d'Ottawa
Comité de dérogation



TOPOGRAPHIC PLAN OF SURVEY OF
PART OF LOT 79
REGISTERED PLAN 354
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1:150
0 1.5 3.0 4.5 6.0 Metres

Metric
DISTANCES AND COORDINATES SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE CONVERTED TO FEET BY
DIVIDING BY 0.3048.

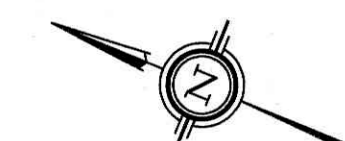
Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 23rd day of February, 2022.
Date: Mar 1/22
T. Hartwick
Ontario Land Surveyor

Notes & Legend

□	Denotes	Survey Monument Planted
■	Denotes	Survey Monument Found
SIB	Standard Iron Bar	
SSIB	Short Standard Iron Bar	
IB	Iron Bar	
CP	Concrete Pin	
(WIT)	Witness	
(AOG)	Annis, O'Sullivan, Vollebek Ltd.	
Meas.	Measured	
Prop.	Propositioned	
(P1)	Registered Plan 354	
(P2)	Registered Plan M-29	
(P3)	(AOG) Plan dated December 9, 2020	
(P4)	(1892) Plan dated April 26, 2021	
(P5)	(AOG) Plan dated September 11, 1996	
(P6)	(647) Plan dated October 14, 1980	
(P7)	(671) Plan dated August 29, 1967	
(D1)	Instrument N709515	
Ø	Diameter	
+65.00	Location of Elevations	
+65.00	Top of Concrete Curb / Wall Elevation	
Fdn	Foundation	
C/L	Centreline	
---	Property Line	
OHW	Overhead Wires	
OP	Utility Pole	
○	Deciduous Tree	
★	Coniferous Tree	
○	Shrubs	
○ MH-ST	Maintenance Hole (Storm Sewer)	
○ MH-S	Maintenance Hole (Sanitary)	
EOA	Edge of Asphalt	
BRW	Brick Retaining Wall	
TRW	Timber Retaining Wall	
CLF	Chain Link Fence	
BF	Board Fence	
T/G	Top of Grate	
○ PO-M	Metal Pole	
○ UP	Utility Pole	
○ LS	Light Standard	
○ GM	Gas Meter	
○ AC	Air Conditioner	

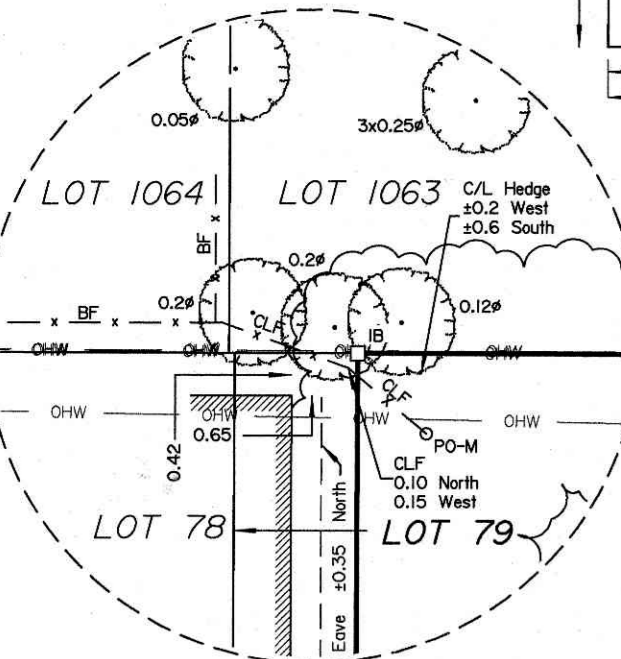
ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-22600
THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL
COPY ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29 (3).

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ANNIS, O'SULLIVAN, VOLLEBEK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: nepean@aosvl.com
Ontario Land Surveyors Job No. 22596-22 R01qpor_PHL179 RP354 POS D2



REGISTERED
LOT 1070
30.51 (P5)BSet
56.96 (P3)BMeas.
29.89 (P3)BMeas. (88.33 P2)
SSIB(AOG)
IB(AOG)
BIA(AOG)
30.18 (P1,P3,P5)BMeas.
N 68°24'00" E
4.44 (P5)BSet
6.33 (P3)BSet

REGISTERED
LOT 72
15.24 (P1,P3,P5)BSet
IB(AOG)
N 68°32'10" E
29.74 (P3,P4)BMeas. (D0.36 P1)
DOVERCOURT AVENUE (Formerly Balmoral Avenue)



DETAIL A
Scale 1:75

Bearings are astronomic and are referred to the easterly limit of Rowanwood Avenue, shown to be N21°41'40"W on (AOG) Plan dated December 9, 2020.

ELEVATION NOTES
1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

SITE BENCHMARK No.1
Crowfoot on
Light Standard
Elevation=68.62

SITE BENCHMARK No.2
Top of Foundation
Elevation=68.14

No. 591
(Foundation Noted)

LOT 78
PIN 03978-0224

LOT 79
PIN 03978-0225

