

Committee of Adjustment
 Received | Reçu le
Revised | Modifié le : 2023-01-10
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

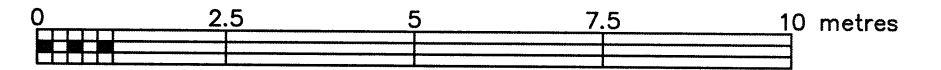
SURVEYOR'S REAL PROPERTY REPORT

PART 1 Plan of

PART OF LOT 9
REGISTERED PLAN 53
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2020

Scale 1: 100



Metric Note

Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

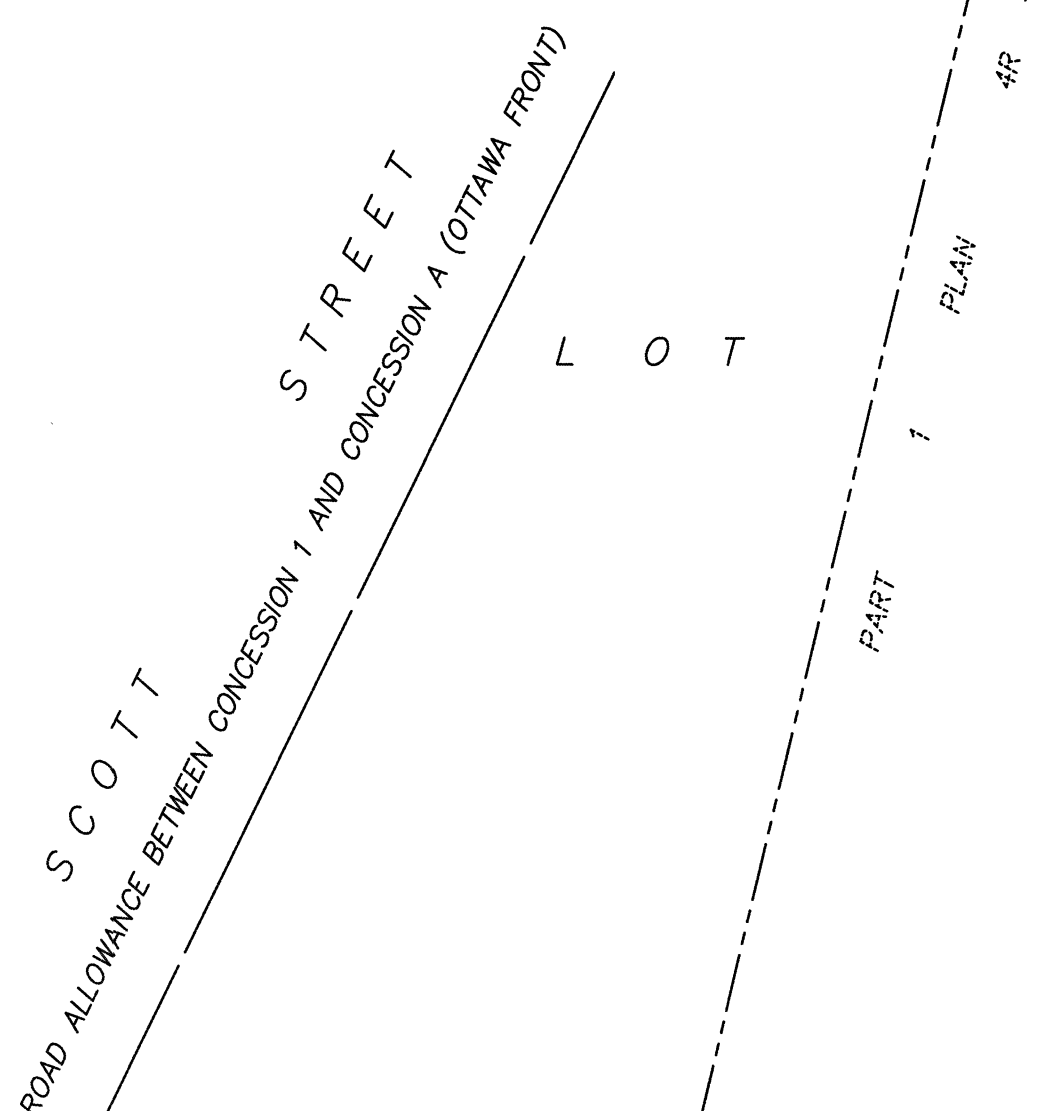
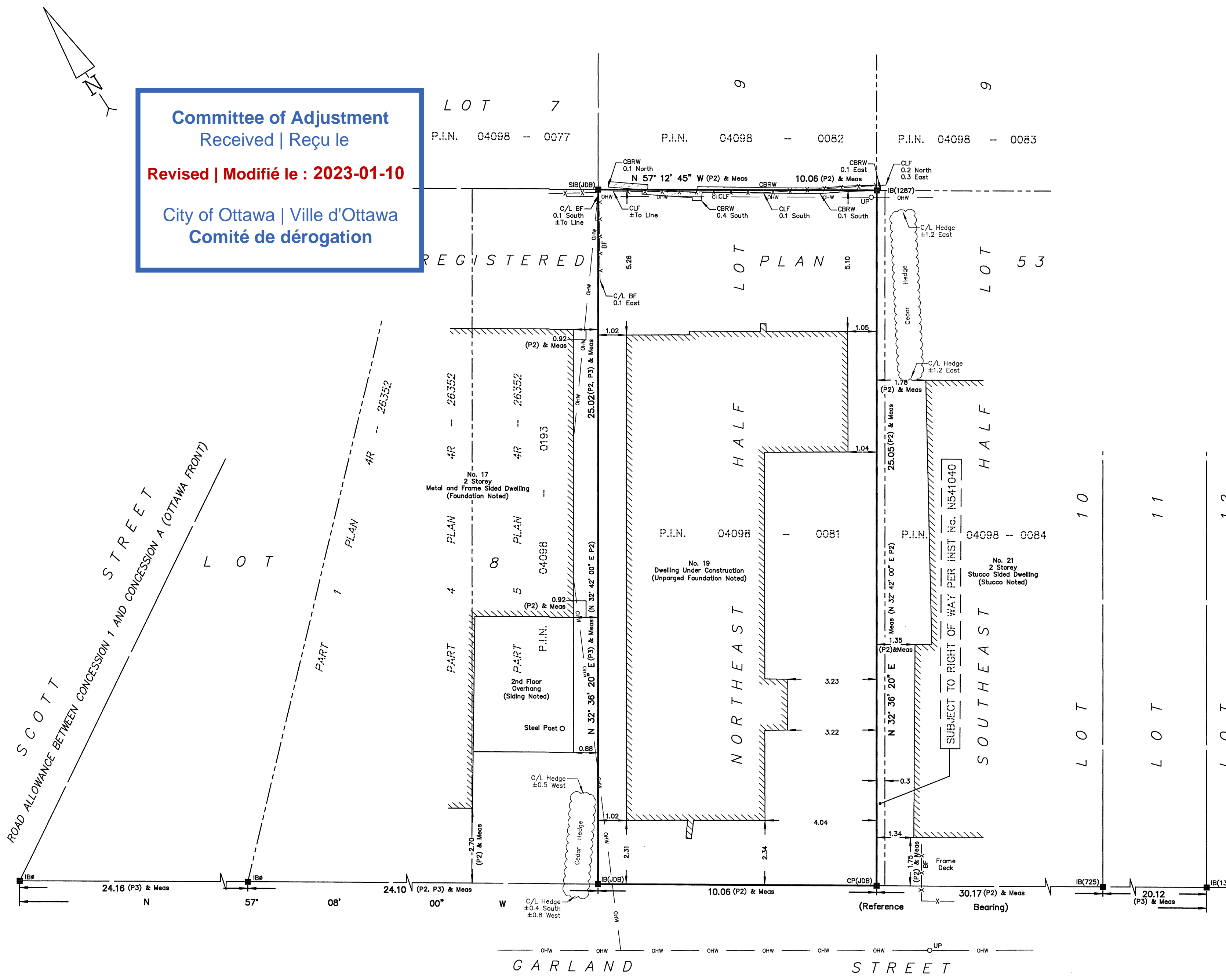
Bearing Note

Bearings are astronomic and are referred to the Northerly limit of Garland Street having a bearing of N 57° 08' 00" W as shown on Plan 4R-26352.

For bearing comparisons, a rotation of 0°21'45" counter-clockwise was applied to bearings on P2.

Notes & Legend

Denotes	
□	Survey Monument Planted
■	Survey Monument Found
SIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
IBØ	Round Iron Bar
(Wit)	Witness
Meas	Measured
(P1)	Registered Plan 53
(P2)	Plan by (JDB) dated January 4, 2019 (Ref. No. 18-10-099-00)
(P3)	Plan 4R-26352
UP	Overhead Wires
CLF	Chain Link Fence
BF	Board Fence
CBRW	Concrete Block Retaining Wall
C/L	Centreline
---	Property Line



PART 2

- REGISTERED RIGHTS-OF-WAY/EASEMENTS**
No rights-of-way or easements were found to be registered against the subject property.
- PROPERTY IMPROVEMENTS**
Not applicable. This is a foundation survey only; future structures above foundation level and future site improvements cannot be commented on. Fencing, hedges and retaining walls are displaced from the property lines. See plan for location.
- COMPLIANCE WITH MUNICIPAL ZONING BYLAWS**
Compliance is not certified by this report.
- ADDITIONAL REMARKS**
The building ties are to the unparged concrete foundation walls.

THIS REPORT WAS PREPARED FOR:
 Crossford Construction Ltd. ("The Client"), the Client's solicitors, mortgagees, and other related parties. The undersigned accepts no responsibility for use by other parties. See Part 2 of this Report.

Surveyor's Certificate

I certify that:

- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
- The survey was completed on the 29th day of September, 2020.

Date: Jan. 4/21
 Daniel Robinson
 Ontario Land Surveyor

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
 2139100

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29 (3).

FARLEY, SMITH & DENIS SURVEYING LTD.

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