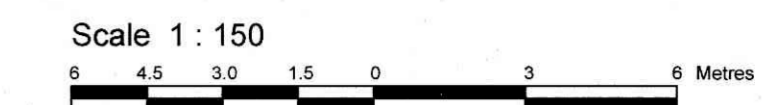


SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
LOT 2794
REGISTERED PLAN 4M-47
CITY OF OTTAWA
 Surveyed by Annis, O'Sullivan, Vollebakk Ltd.



Metric
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
 I CERTIFY THAT:
 1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
 2. The survey was completed on the 24th day of September, 2021.

Date: Sept. 27, 2021
 E. H. Henveyer
 Ontario Land Surveyor

PART 2
 THIS PLAN MUST BE READ IN CONJUNCTION WITH
 SURVEY REPORT DATED: SEPTEMBER 27, 2021

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to SAGE CORE ASSETS INC. ("The Client"), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

ELEVATION NOTES
 1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum, derived from vertical control monument No. Ott. X-3 having an elevation of 66.635 metres.
 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES
 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 2. Only visible surface utilities were located.
 3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
 4. Underground services and Inverts are taken from City of Ottawa Engineering Plans E-06-18 and Plan 2731 Sheets 4 of 5 and 5 of 5.

Bearings are grid, derived from the westerly limit of Hampton Avenue, shown to be N23°29'45"W on Plan 4R-28640, MTM Zone 9 (78°30' West Longitude) NAD-83 (original).
 For bearing comparisons, a rotation of 0°31'03" counter-clockwise was applied to bearings on plans P1, P3, P5, P6.

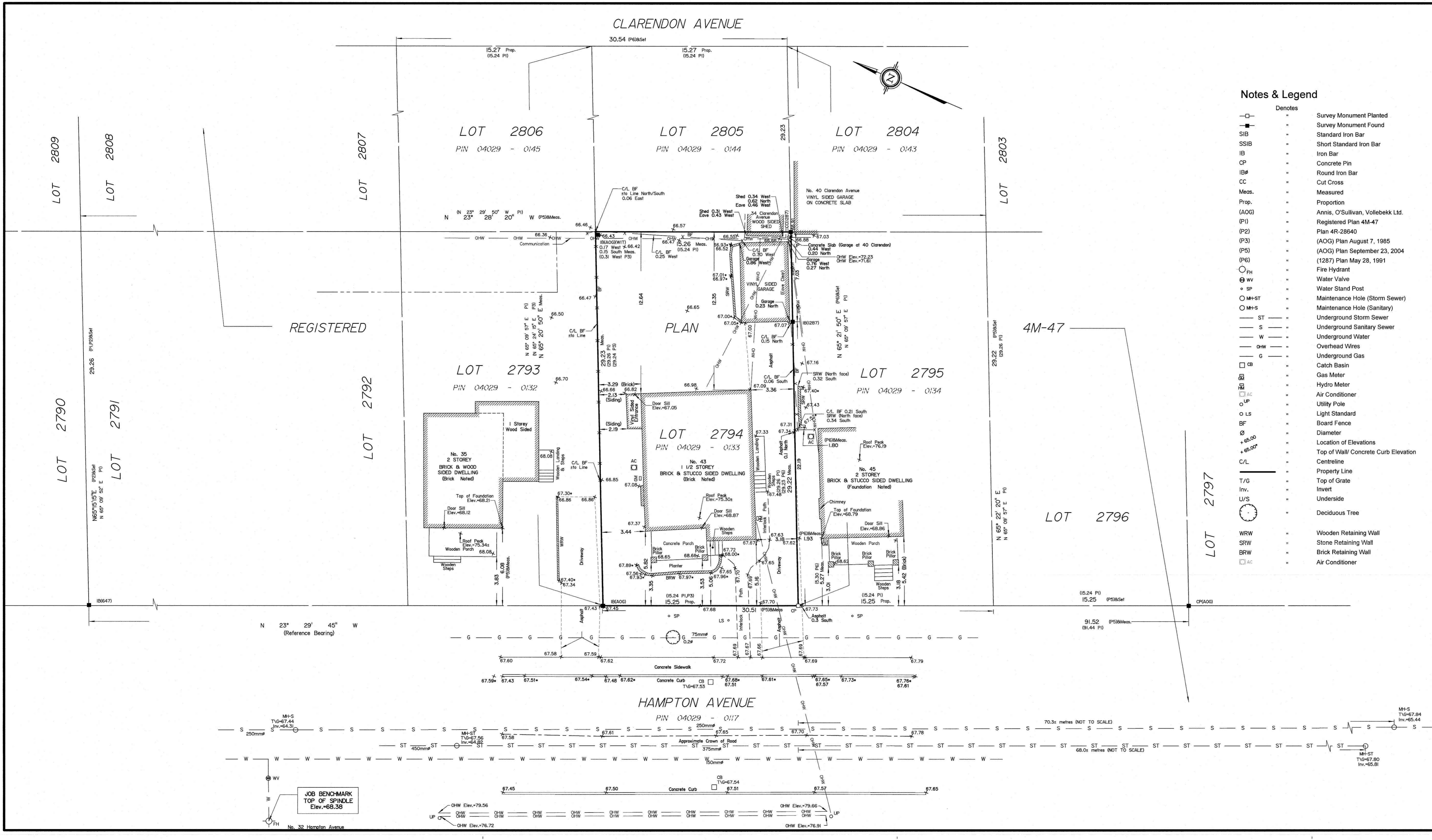
ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
V-16976

THIS PLAN IS NOT VALID UNLESS
 IT IS AN EMBOSSED ORIGINAL
 COPY ISSUED BY THE SURVEYOR
 in accordance with
 Regulation 1026, Section 29 (3).

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ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
 14 Concourse Gate, Suite 500
 Nepean, Ont. K2E 7S6
 Phone: (613) 727-0950 / Fax: (613) 727-1079
 Email: nepean@anniss.com
 Job No. 2986-21 Westside Lt 2795 4M-47 T.F

Notes & Legend

□	Denotes	Survey Monument Planted
■	"	Survey Monument Found
SIB	"	Standard Iron Bar
SSIB	"	Short Standard Iron Bar
IB	"	Iron Bar
CP	"	Concrete Pin
IB#	"	Round Iron Bar
CC	"	Cut Cross
Meas.	"	Measured
Prop.	"	Proportion
(AOG)	"	Annis, O'Sullivan, Vollebakk Ltd.
(P1)	"	Registered Plan 4M-47
(P2)	"	Plan 4R-28640
(P3)	"	(AOG) Plan August 7, 1985
(P5)	"	(AOG) Plan September 23, 2004
(P6)	"	(1287) Plan May 28, 1991
○ FH	"	Fire Hydrant
○ WV	"	Water Valve
○ SP	"	Water Stand Post
○ M+ST	"	Maintenance Hole (Storm Sewer)
○ M+S	"	Maintenance Hole (Sanitary)
— ST	"	Underground Storm Sewer
— S	"	Underground Sanitary Sewer
— W	"	Underground Water
— OHW	"	Overhead Wires
— G	"	Underground Gas
□ CB	"	Catch Basin
□ GM	"	Gas Meter
□ HM	"	Hydro Meter
□ AC	"	Air Conditioner
○ UP	"	Utility Pole
○ LS	"	Light Standard
BF	"	Board Fence
∅	"	Diameter
+ 66.00	"	Location of Elevations
+ 66.00	"	Top of Wall/ Concrete Curb Elevation
C/L	"	Centreline
—	"	Property Line
T/G	"	Top of Grate
Invt.	"	Invert
U/S	"	Underside
○	"	Deciduous Tree
WRW	"	Wooden Retaining Wall
SRW	"	Stone Retaining Wall
BRW	"	Brick Retaining Wall
□ AC	"	Air Conditioner





41 & 43 HAMPTON AVE.

2022-08-31

COMMUNITY CONSULTATION - ATTACHED GARAGE: 22-08-31
STAKEHOLDER CONSULTATION: 22-11-18
COFA APPLICATION: 22-12-09



PROJECT TITLE
**41 & 43
HAMPTON
AVE. OTTAWA,
ONT.**

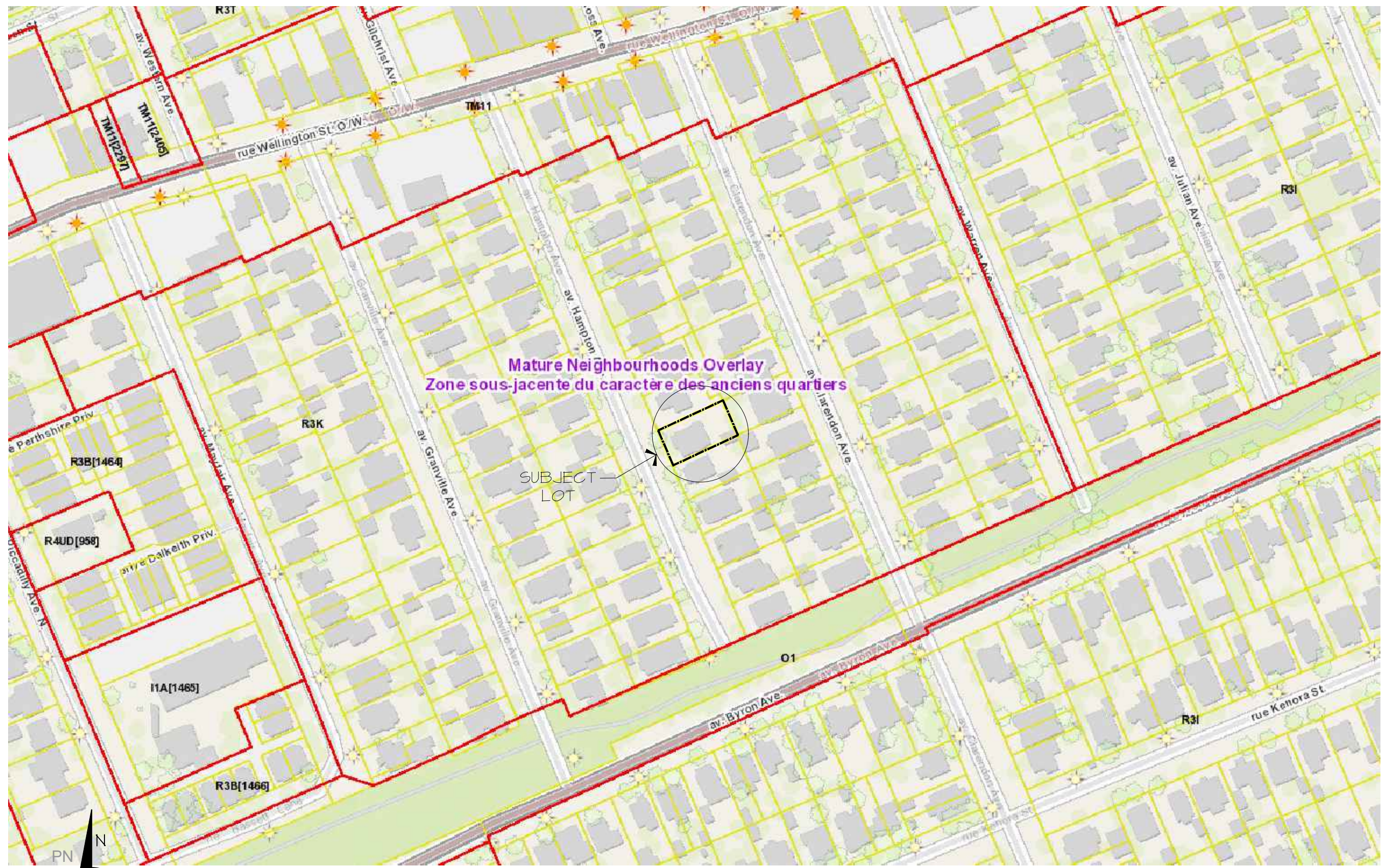
8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**DEVELOPMENT
INFORMATION:
ZONING MAP**

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV1



Mature Neighbourhoods Overlay
Zone sous-jacente du caractère des anciens quartiers

SUBJECT LOT

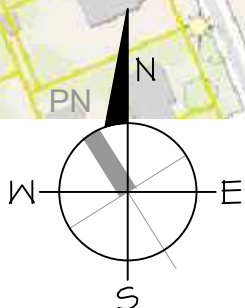


ZONING CONTEXT MAP

SCALE: N.T.S.



SUBJECT LOT



LOCATION MAP

SCALE: N.T.S.

PLOT DATE: 22-12-09

PAUL A. COOPER
ARCHITECT
75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE

41 & 43
HAMPTON
AVE. OTTAWA,
ONT.

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:

DEVELOPMENT
INFORMATION:
LOCATION MAP

PROJECT No. :

DATE: 21-09-10

SCALE: NOTED

DWG BY: P.A.C.

DWG No:

DEV2



Property Report

Select a parcel on the map or search for an address to report for that property. Zoom in on the map if the parcels are not visible.

Property Parcel:
Calculated Parcel Area^{III}: 444.55 m² (4785.09 ft²) (0.04 ha)

Main Address:
43 HAMPTON AVE

Solid Waste Collection:
Waste Contractor: City
Zone: 3
Pickup Day/Calendar: THURSDAY/A

Garbage and Recycling Collection Calendar

Ward Information
Number: 15
Ward Name: Kitchissippi
Councillor Name: Jeff Leiper
[More info about Jeff Leiper](#)

Print Report
Property aerial photo



Additional Address(es):
43 A HAMPTON AVE

PROJECT TITLE

41 & 43
HAMPTON
AVE. OTTAWA,
ONT.

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:

DEVELOPMENT
INFORMATION:
ZONING

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:

DEV3

PROJECT TITLE
**41 & 43
HAMPTON
AVE. OTTAWA,
ONT.**

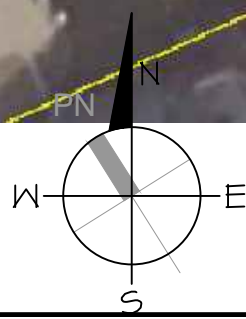
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8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**DEVELOPMENT
INFORMATION:
AERIAL MAP**

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV4



AERIAL MAP

SCALE: N.T.S.

PROJECT TITLE
**41 & 43
HAMPTON
AVE. OTTAWA,
ONT.**

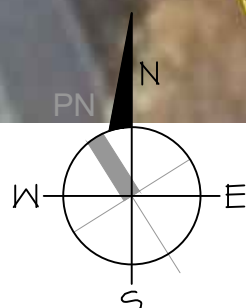
8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**DEVELOPMENT
INFORMATION:
AERIAL MAP**

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV5



AERIAL MAP - BLOW-UP

SCALE: N.T.S.

PROJECT TITLE
41&43
HAMPTON
AVE. OTTAWA,
ONT.

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
DEVELOPMENT
INFORMATION:
SURVEY-KEY MAP

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV6

LEGEND

- SUPPORT VARIANCES - SIGNED PETITION
- NO CONCERN RELATING TO VARIANCES
- OPPOSED TO VARIANCES
- NO COMMENT ON VARIANCES (UNHATCHED)



FRONT FACING GARAGE - NEIGHBOUR SURVEY KEY MAP

SCALE: N.T.S.

PROJECT TITLE
**41 & 43
HAMPTON
AVE. OTTAWA,
ONT.**

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**DEV. INFO.:
NEIGHBORHOOD
ATTACHED
GARAGES**

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV7



**NEIGHBORHOOD FRONT FACING
ATTACHED GARAGE KEY PLAN**
SCALE: N.T.S.

LEGEND
 FRONT FACING
ATTACHED
GARAGE





PROJECT TITLE		
41 & 43	HAMPTON	ONT.
	AVE. OTTAWA,	
8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
ZONING

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV8

Property: 43 Hampton Ave.

Date: 21.10.15

Zoning: R3K

R3 - Residential Third Density Zone (Sections 159 and 160)
Purpose of the Zone

The purpose of the R3 - Residential Third Density Zone is to:

- allow a mix of residential building forms ranging from detached to townhouse dwellings in areas designated as General Urban Area in the Official Plan; (By-law 2012-334)
- allow a number of other residential uses to provide additional housing choices within the third density residential areas;
- allow ancillary uses to the principal residential use to allow residents to work at home;
- regulate development in a manner that is compatible with existing land use patterns so that the mixed dwelling, residential character of a neighbourhood is maintained or enhanced; and
- permit different development standards, identified in the Z subzone, primarily for areas designated as **Developing Communities**, which promote efficient land use and compact form while showcasing newer design approaches.

Zone Provisions

Alternative Setbacks for Urban Areas (OMB Order File No: PL150797, issued July 25, 2016 - By-law 2015-228)

- For regulations affecting yard setbacks applicable to urban residential lots located within Schedule 342, see Part V, Section 144 – Alternative Yard Setbacks affecting R1-R4-zoned Residential Lots within the Greenbelt. (By-law 2020-289)

Section 160 - R3 Subzones

Table 160A – R3 Subzone provisions (OMB Order File No: PL150797, issued July 25, 2016-By-law 2015-228) (By-law 2020-288)

I Sub-Zone	II Prohibited Uses	III Principal Dwelling Type	IV Minimum Lot Width (m)	V Minimum Lot Area (m ²)	VI Maximum Building Height (m)	VII Minimum Front Yard Setback (m)	VIII Minimum Corner Side Yard Setback (m)	IX Minimum Rear Yard Setback (m)	X Minimum Interior Side Yard Setback (m)	XI Endnotes (see Table 160B)
Planned Unit Development, Three Unit, Townhouse	K	Detached, Duplex, Linked-detached	15	385	10 ⁶	3	3	6	0.3	6
		Long Semi	10	260	10 ⁶	3	3	6	0.3	6
		Semi-Detached	7.5	225	10 ⁶	3	3	6	0.3	6

TABLE 160B – ADDITIONAL ZONING PROVISIONS (By-law 2020-288)

I Endnote Number

II Additional Zoning Provisions

- For lands within the Schedule 342, where a building has a peaked roof having a slope of 1 in 3 (4/12 pitch) or steeper, the maximum building height is 11 metres.
- Where the property is located outside of Area A on Schedule 342, or where the building has a peaked roof having a slope of 1 in 3 (4/12 pitch) or steeper, the maximum building height is 12 m in the R3YY subzone, or 11 m in any other subzone. (By-law 2020-288)

Section 139 - Low-Rise Residential Development in All Neighbourhoods within the Greenbelt

(By-law 2020-289)

139.The following provisions apply to the R1, R2, R3 and R4 zones within Area A on Schedule 342 (Inside the Greenbelt.)

Front Yard and Corner Side Yard Landscaping

- Minimum soft landscaped area, required in Table 139(1), must meet all of the following regulations:
 - it is required at-grade in a front yard and, in the case of a corner side lot, in a corner side yard;
 - it must be aggregated;
 - it must abut the front lot line and the side lot line abutting the street, as the case may be; and
 - on a lot with a significant change in grade in the front yard or corner side yard, terracing and retaining walls necessary for the containment of soil for soft landscaping may count towards the required soft landscaped area.
 - Where the minimum required aggregated soft landscaped area of Table 139 (1) is provided and there remains land area in the front yard, or in the corner side yard as the case may be, lands within these yards may be developed with soft or hard landscaping such as a patio, but in no case may any hard landscaping be used for access or parking purposes.

Table 139(1). Minimum Required Aggregated Soft Landscaping

Front / Corner Side Yard Setback	Table 139 - Minimum Required Aggregated Soft Land Landscaping
	Minimum Aggregated Soft Landscaped Area (% of the Front / Corner Side Yard Area)
Less than 1.5 m	No minimum, however, all lands within the front yard and within the corner side yard that are not occupied by permitted driveways, walkways and projections must consist of soft landscaping.
1.5 m – less than 3 m	20%
	In the case of any lot with a lot width of less than 8.25 m, 30%;
3 m+	In the case of any lot with a width between 8.25 m but less than 12 m, 35%; and In the case of any lot with a width of 12 m or more, 40%



2.
 1. A driveway is subject to the following:
 1. within the Mature Neighbourhoods Overlay a driveway is only permitted where in accordance with the confirmed Streetscape Character Analysis and Table 140B; and where permitted, the maximum width is as per Table 139(3);
 2. within Area A on Schedule 343, the maximum width is as per Table 139(3).
 2. A driveway over a mutual easement leading to one or more permitted parking spaces may be shared by two dwellings on abutting lots.
 3. Any driveway, other than a shared driveway, must be separated from any interior side lot line by a landscaped strip not less than 0.15m in width, and consisting of:
 1. soft landscaping, or
 2. pavers or interlock brick in a pattern distinct from that of the driveway.
 3. Where a semi-detached or townhouse dwelling is not severed, Section 139(2)(c) applies to individual driveways serving each unit, such that the driveways must be separated from each other by at least 0.3m2 (By-law 2021-111)
 4. Despite (a), Where a rear lane access is open and travelable, or where a shared driveway exists to rear yard parking for each of the dwellings, individual driveways providing access from the front lot line and front yard parking are prohibited, and no person may park a car in any portion of the front yard or corner side yard.
 5. For the purposes of (d), "open and travelable" means a lane that is owned by the City and used for vehicular access, and that is:
 1. maintained by the City, or
 2. subject to an agreement registered on title with respect to the maintenance of the lane. (By-law 2021-111)

1. the entrance to the garage or carport must be set back at least 0.6m further from the applicable lot line than either
 1. the principal entrance; or
 2. The front edge of a landing or porch, giving access to the principal entrance, or the portion of a projecting landing or porch that does not fall within a required yard.
2. Despite 139(3)(a)(ii), the garage or carport may not be more than 0.6m closer to the front lot line or side lot line abutting a street than is the principal entrance to the dwelling; or
3. Within the Mature Neighbourhoods Overlay, no such garage or carport is permitted except subject to the Streetscape Character Analysis and Table 140A, (By-law 2021-111)

Walkways

4. A walkway located in a front yard or corner side yard is permitted subject to the following:
 1. Where it provides access between a right-of-way or driveway, and an entranceway to a dwelling or any other incidental or accessory use on the lot.
 2. Where a walkway extends from the right-of-way, it must be separated from any driveway by at least 0.6m of soft landscaping.
 3. The width of a walkway may not exceed:
 1. In the case of a rooming house, retirement home, stacked dwelling or low-rise apartment dwelling, 1.8 m;
 2. In the case of any other residential use building, 1.2 m;
 3. Despite (i), a walkway giving access to a storage area for containerized waste may not exceed 2.2m in width.
 4. A walkway may traverse an area required for soft landscaping per Table 139(1), and may be included in the calculated area.
 5. A walkway may not extend to the right-of-way on a lot less than 10m in width where a driveway is provided.
 6. A maximum of one walkway per yard is permitted to extend to the right-of-way in the case of a detached, semi-detached, long semi-detached or townhouse dwelling

Table 139(3) Driveway Regulations

Table 139(3) Driveway Regulations

Minimum lot width or street frontage required	Maximum width of a shared driveway (m)	Maximum width of an individual single driveway (m)	Maximum width of a double-wide driveway (m)
(i) 6m or less	3	No individual driveway is permitted.	No double-wide driveway is permitted.
(ii) Greater than 6m to less than 7.5m	3	2.6	No double-wide driveway is permitted.
(iii) 7.5m to less than 8.25 m	3	2.75	No double-wide driveway is permitted
(iv) 8.25m to less than 15m	3	3	No double-wide driveway is permitted
(v) 15m to less than 18 m	3	3	5.5
(vi) 18m or greater	3	3	6

Front-facing Garages and Carports

3. Any garage or carport facing the front lot line or side lot line abutting a street is subject to the following:

Section 140 - Low-rise Residential Development within the Mature Neighbourhoods Overlay

(By-law 2020-289)

140.

1. This section applies to R1, R2, R3 and R4 zones within the Mature Neighbourhoods Overlay and prevails over any provisions to the contrary, except those specifically named under subsection (10).

A Streetscape Character Analysis (SCA) must be confirmed prior to any application under the Planning Act, building permit application, or approval under the Private Approach By-law, whose approval would permit:

1. a new residential use building;
2. an addition to an existing residential use building, where the addition abuts the front yard or corner side yard;
3. a modification to an existing residential use building that includes:
 1. the removal of a principal entranceway that faces the front lot line or side lot line abutting a street; or
 2. the addition or expansion of an attached garage or carport that faces the front lot line or side lot line abutting a street; or
4. the addition or expansion of a driveway or parking space in the front yard or corner side yard.

PROJECT TITLE		
41 & 43 HAMPTON AVE. OTTAWA, ONT.		
8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
ZONING

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV9

Section 144 - Alternative Yard Setbacks affecting Low-rise Residential Development in the R1 to R4 Zones within the Greenbelt

(By-law 2020-289)

The following yard setbacks apply to any lot zoned R1, R2, R3 and R4 Zone located within Area A of Schedule 342.

Front Yards and Corner Side Yard Setbacks

144.

1. The minimum front yard setbacks and minimum corner side yard setbacks are as follows:
 1. in the case of an interior lot or through lot, the yard setback must align with the average of the abutting lots' corresponding yard setback abutting the street(s).
 2. in the case of a corner lot and corner through lot, the yard setbacks must align with the abutting lots' actual yard setbacks abutting each street, and Section 135 applies;
 3. Where an abutting lot is vacant, the provisions of (1) (a) or (b) apply based on the actual yard setbacks of the closest residential building on the next adjacent lot, which must be no more than 30 m from the subject lot's closest side lot line.
 4. Despite the foregoing, the minimum front and/or corner side yard setback need not exceed the minimum required in the Residential subzone in which the lot is located, and in no case may be less than 1.5 m.

Rear Yards on Interior or through lots

3. Where a lot's rear lot line abuts either an R1, R2, R3 or R4 zone, or abuts a lane that abuts an R1, R2, R3, or R4 zone on either side, except in the case of a Planned Unit Development:
 1. the rear yard must comprise at least 25 percent of the lot area; and the minimum rear yard setback is pursuant to Table 144A or 144B below.
 1. where the minimum front yard is 4.5 m or less, the minimum rear yard depth is determined by Table 144A:

Table 144A – Rear Yard Requirements For Lots with a FrontYard Setback of 4.5 m or Less

Table 140A - Rear Yard Requirements for lots with a front yard setback of 4.5 or less

I Lot Depth	II Minimum Rear Yard
(i) 23.5 metres or less	25 per cent of the lot depth
(ii) Greater than 23.5 but not more than 25 metres	the lot depth minus 17.5metres
(iii) greater than 25 metres	30 per cent of the lot dept

End of Items

ZONING INFORMATION

ZONING : R3K

SEMI-DETACHED DWELLING -

LOT WIDTH : 7.5M
 LOT AREA : 225M²
 HEIGHT (4:12) : 11M
 (SLOPED ROOF)
 FRONT YARD : 3M (MIN.)
 CORNER S.Y : 3M (MIN.)
 REAR YARD : 8.76M (MIN.)
 (25% L.D./L.A)
 INTERIOR SIDE YARD : 0.3M (MIN.)

DEVELOPMENT INFO

LOT AREAS:

EXISTING LOT AREA=
 4798.6 G.S.F. (445.8 S.M.)

43 HAMPTON:LOT AREA=
 2400 G.S.F. (223 S.M.)

41 HAMPTON:LOT AREA=
 2400 G.S.F. (223 S.M.)

BUILDING AREA:

EXISTING DWELLING FOOTPRINT=
 1074.0 G.S.F. (99.8 G.S.M.)

GRAND TOTAL GROSS FLOOR AREAS

41/43 HAMPTON AVE. (EACH):

BSMT FLR.: = ~948 G.S.F. (~88 G.S.M.)
 MAIN FLR.: = ~953 G.S.F. (~89 G.S.M.)
 2nd FLR.: = ~1250 G.S.F. (~1016 G.S.M.)
 3rd FLR.: = ~639 G.S.F. (~59 G.S.M.)
 ROOFTOP TERRACE = ~475 G.S.F. (~44 G.S.M.)
 TOTAL (NIC ROOFTOP TERRACE-G.S.F.) = ~2842 G.S.F. (~264 G.S.M.)

GRAND TOTAL GROSS FLOOR AREA:

~5684 G.S.F. (528.0 G.S.M.)

(N.I.C. BASEMENT, PORCH, DECK, BALCONIES & ROOFTOP TERRACE)

REQUIRED MINOR VARIANCES:

BYLAW 2008-250:

- a. TO PERMIT A FRONT-FACING ATTACHED GARAGE, FOR 41 HAMPTON AVE. (PART 1), WHEREAS THE BY-LAW, BASED UPON THE STREETSCAPE CHARACTER ANALYSIS, DOES NOT PERMIT A FRONT-FACING ATTACHED GARAGE.
- b. TO PERMIT A FRONT-FACING ATTACHED GARAGE, FOR 43 HAMPTON AVE. (PART 2), WHEREAS THE BY-LAW, BASED UPON THE STREETSCAPE CHARACTER ANALYSIS, DOES NOT PERMIT A FRONT-FACING ATTACHED GARAGE.



PROJECT TITLE
**41&43
 HAMPTON
 AVE. OTTAWA,
 ONT.**

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
ZONING

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV10

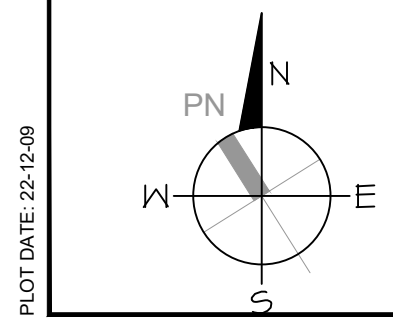
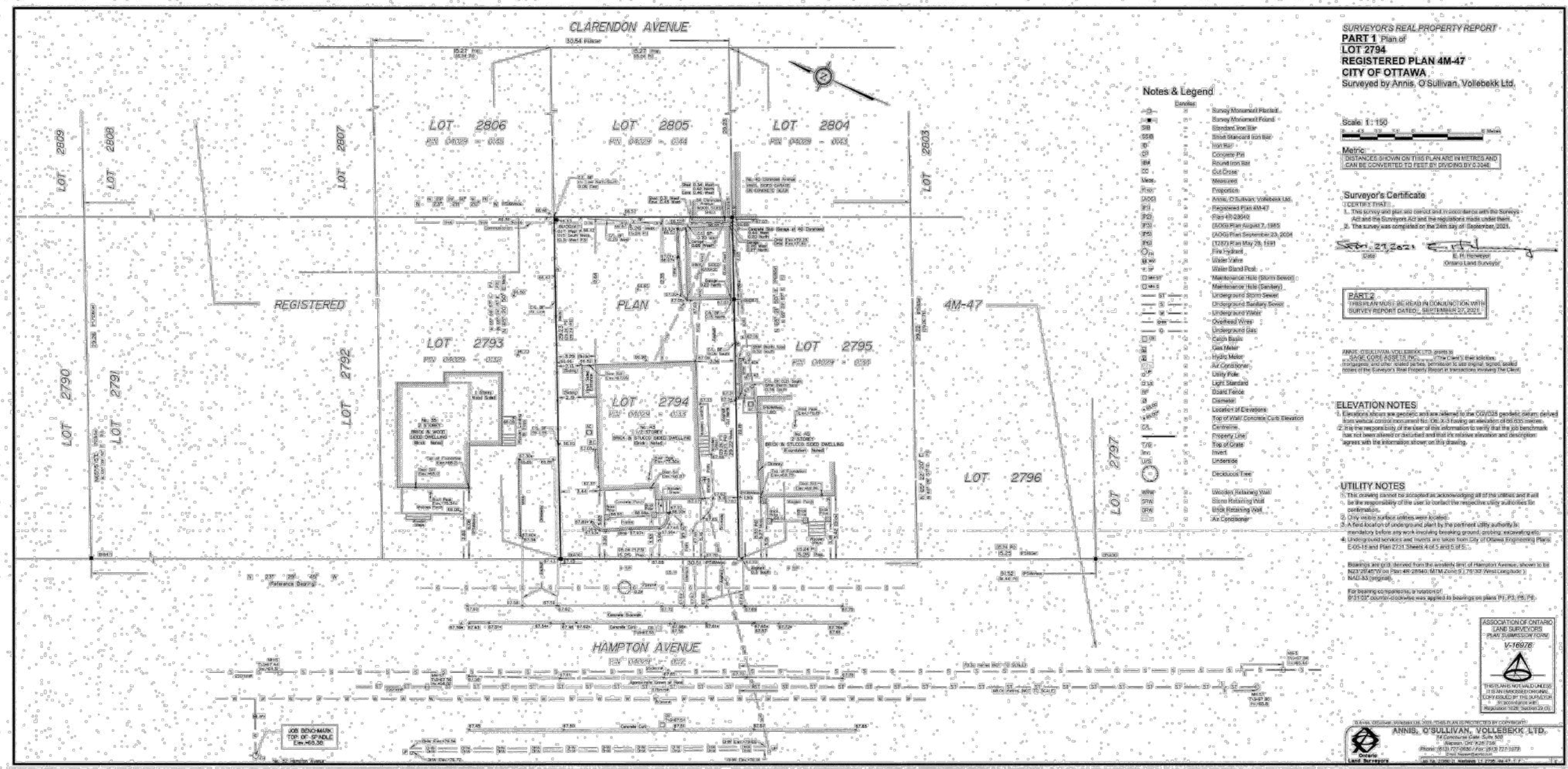
PROJECT TITLE		
41&43 HAMPTON AVE. OTTAWA, ONT.		
8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**DEVELOPMENT
INFORMATION:
AERIAL MAP**

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV11



PLAN OF SURVEY

SCALE: N.T.S.

PROJECT TITLE
**41 & 43
HAMPTON
AVE. OTTAWA,
ONT.**

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**PROPOSED
ELEVATION**

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A1



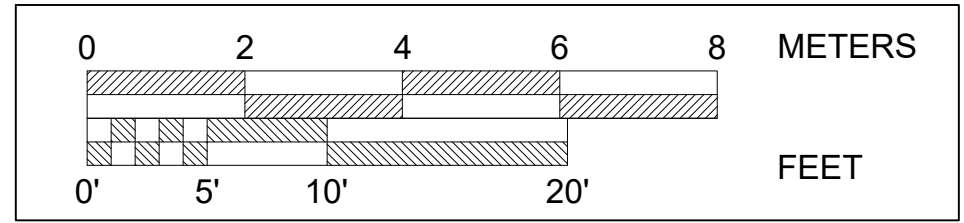
FRONT (WEST) ELEV.

SCALE: 1/8"=1'-0"



REAR (EAST) ELEV.

SCALE: 1/8"=1'-0"



PROJECT TITLE
**41 & 43
HAMPTON
AVE. OTTAWA,
ONT.**

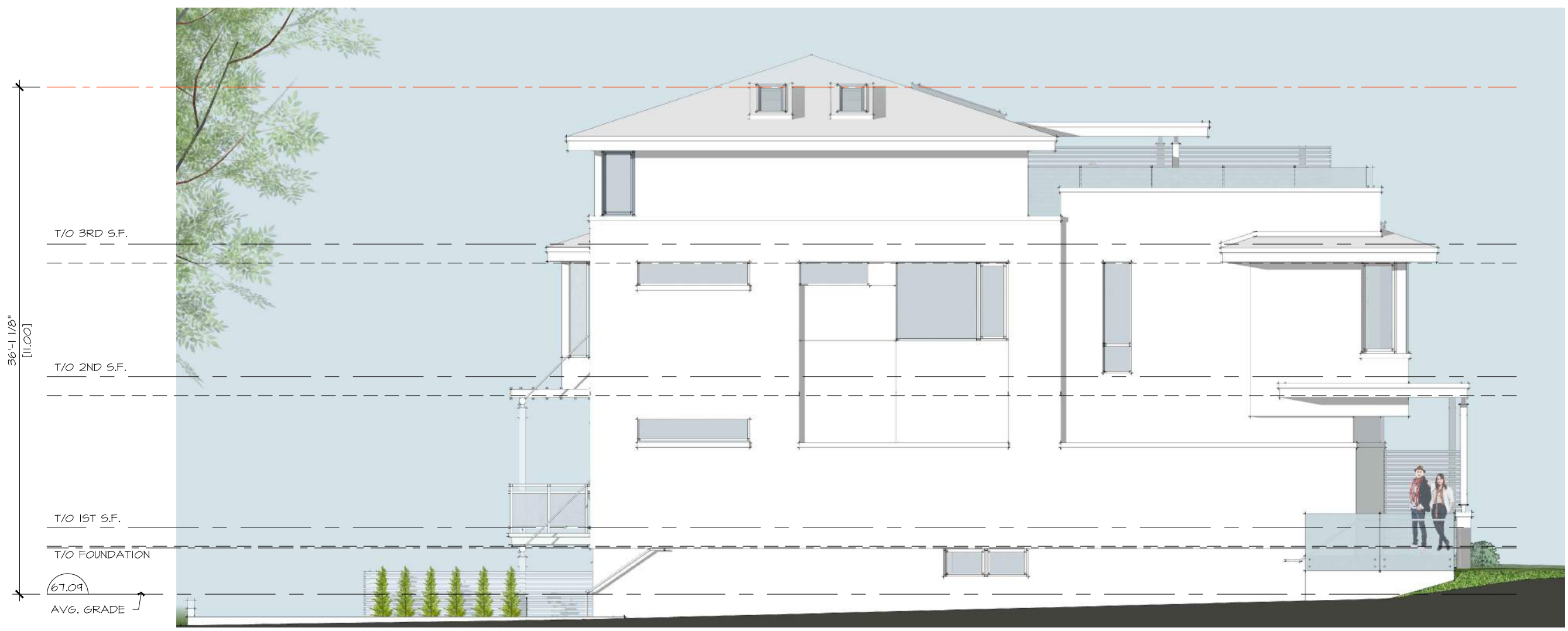
8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**PROPOSED
ELEVATION**

PROJECT No. :

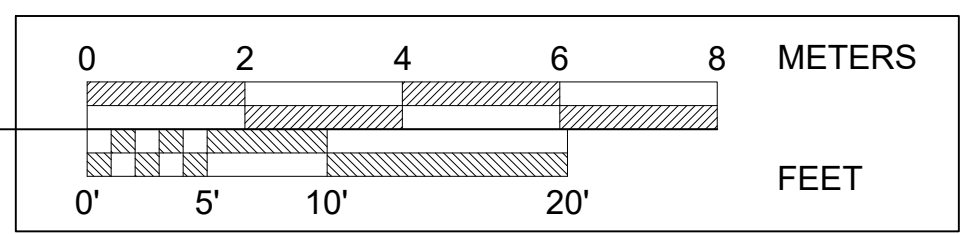
DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A2



SIDE (NORTH) ELEVATION

SCALE: 1/8"=1'-0"



PROJECT TITLE
41 & 43
HAMPTON
AVE. OTTAWA,
ONT.

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**PROPOSED
ELEVATION**

PROJECT No. :

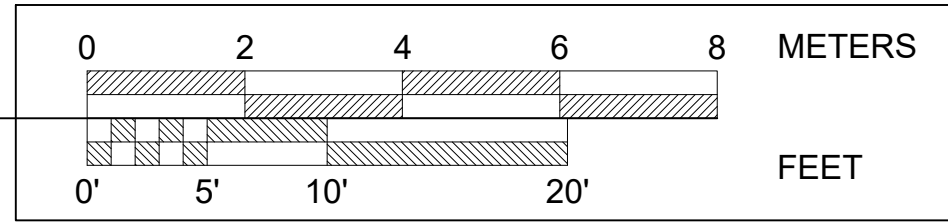
DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A3



SIDE (SOUTH) ELEVATION

SCALE: 1/8"=1'-0"



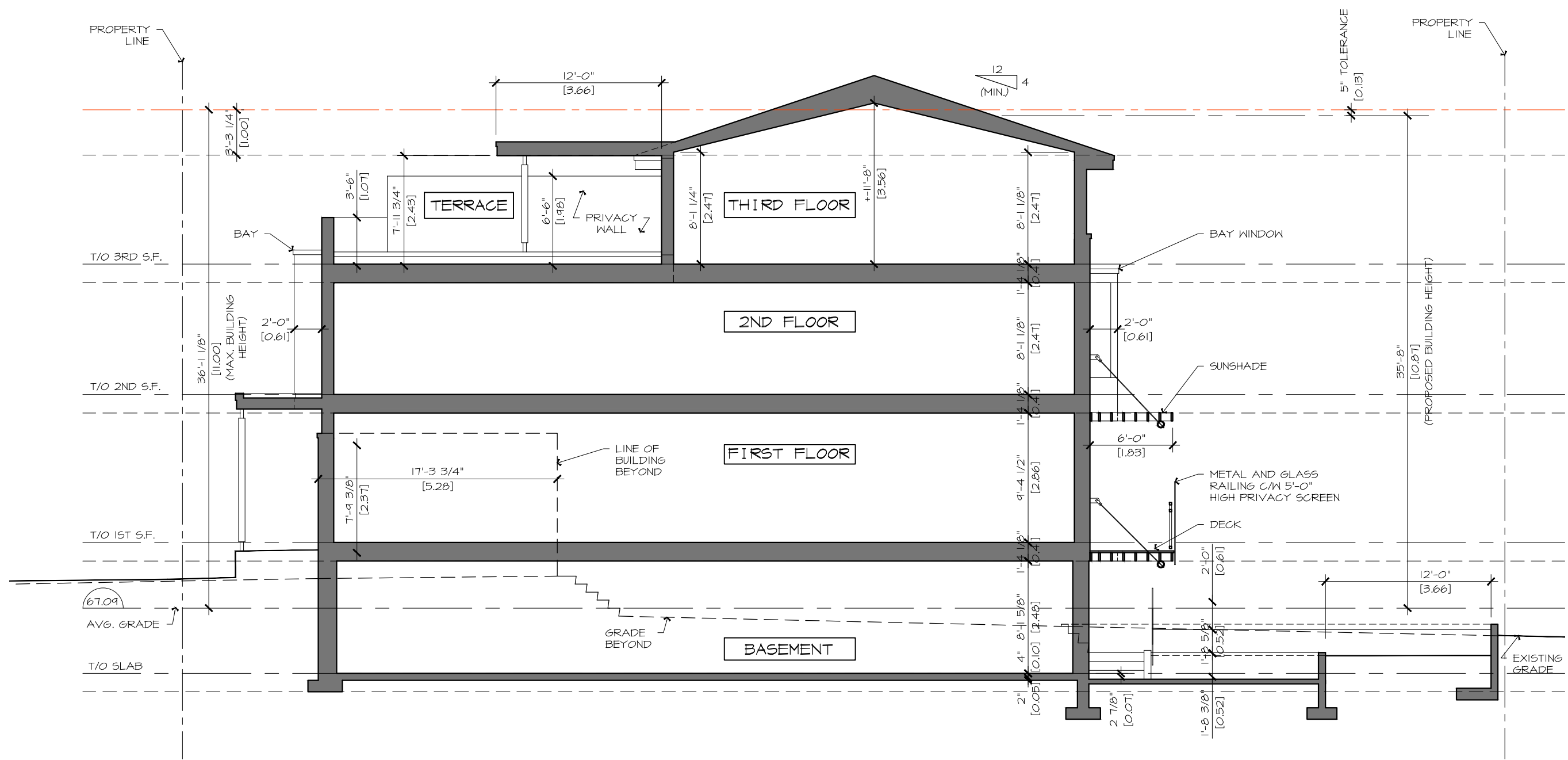
8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**PROPOSED
SECTION**

PROJECT No. :

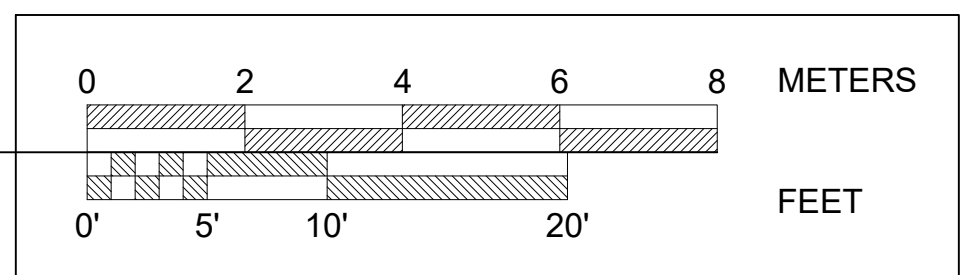
DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A4



BUILDING SECTION

SCALE: 1/8"=1'-0"





PAUL A. COOPER
ARCHITECT
75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE
41 & 43
HAMPTON
AVE. OTTAWA,
ONT.

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**PROPOSED
PERSPECTIVE**

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A5

PERSPECTIVE 1

SCALE: N.T.S.

PLOT DATE: 22-12-09



PAUL A. COOPER
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(819) 685 9512 Tel.

PROJECT TITLE
41&43
HAMPTON
AVE. OTTAWA,
ONT.

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**PROPOSED
PERSPECTIVE**

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A6

PERSPECTIVE 2

SCALE: N.T.S.



PAUL A. COOPER
ARCHITECT
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OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE
41 & 43
HAMPTON
AVE. OTTAWA,
ONT.

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**PROPOSED
PERSPECTIVE**

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A7

PLOT DATE: 22-12-09

PERSPECTIVE 3

SCALE: N.T.S.



PROJECT TITLE
41 & 43
HAMPTON
AVE. OTTAWA,
ONT.

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**PROPOSED
PERSPECTIVE**

PROJECT No. :

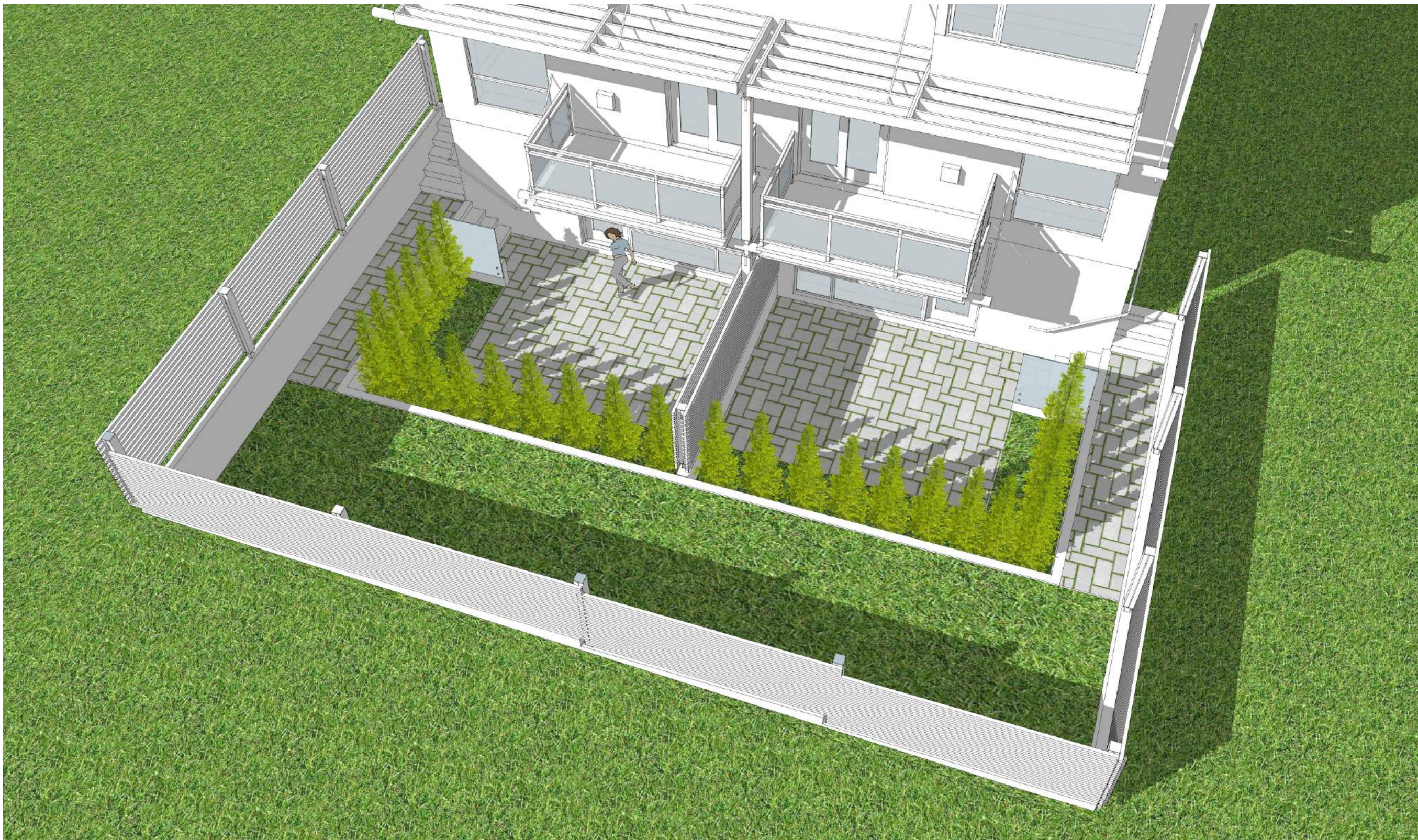
DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A8

PLOT DATE: 22-12-09

PERSPECTIVE 4

SCALE: N.T.S.



PAUL A. COOPER
ARCHITECT
75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE
41 & 43
HAMPTON
AVE. OTTAWA,
ONT.

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**PROPOSED
PERSPECTIVE**

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A9

PLOT DATE: 22-12-09

PERSPECTIVE 5

SCALE: N.T.S.



PAUL A. COOPER
ARCHITECT
76 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE
41 & 43
HAMPTON
AVE. OTTAWA,
ONT.

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**PROPOSED
PERSPECTIVE**

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A10

PERSPECTIVE 6

SCALE: N.T.S.

PLOT DATE: 22-12-09



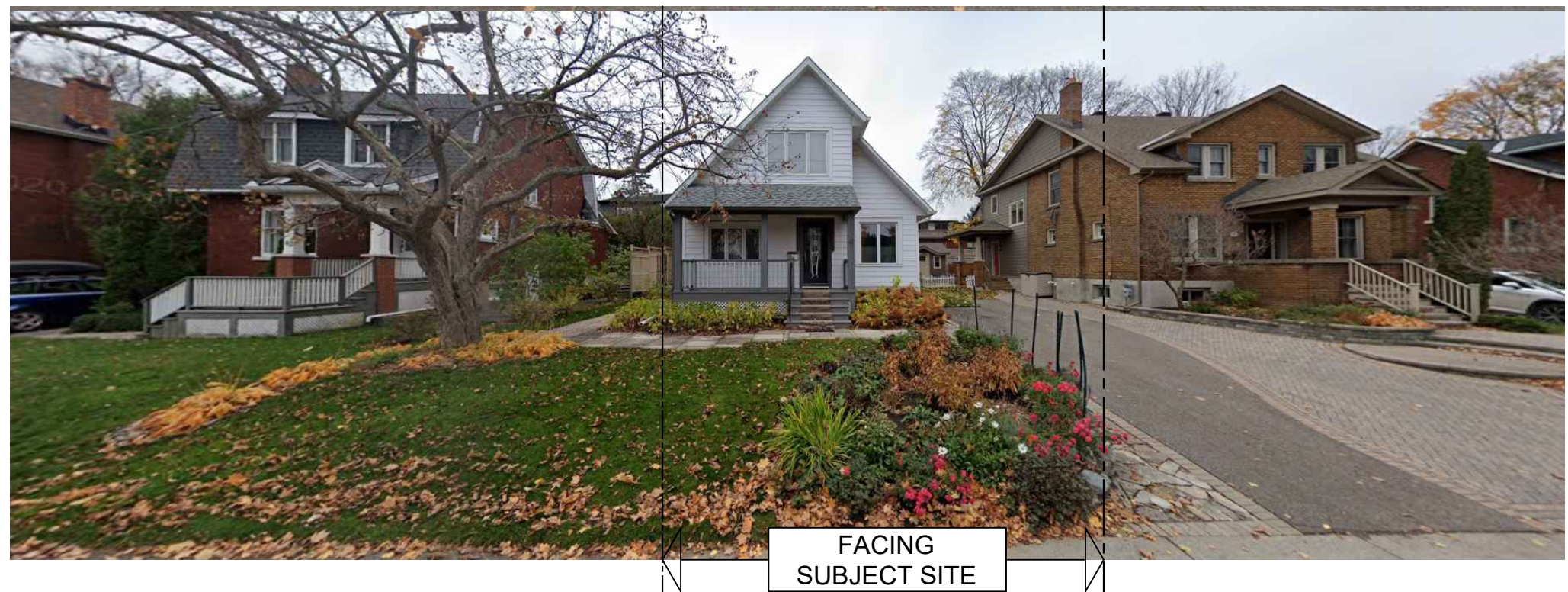
PROJECT TITLE

41 & 43
HAMPTON
AVE. OTTAWA,
ONT.

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

STREETSCAPE PHOTO

SCALE: N.T.S.



DRAWING TITLE:

PROPOSED
PERSPECTIVE

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:

A11

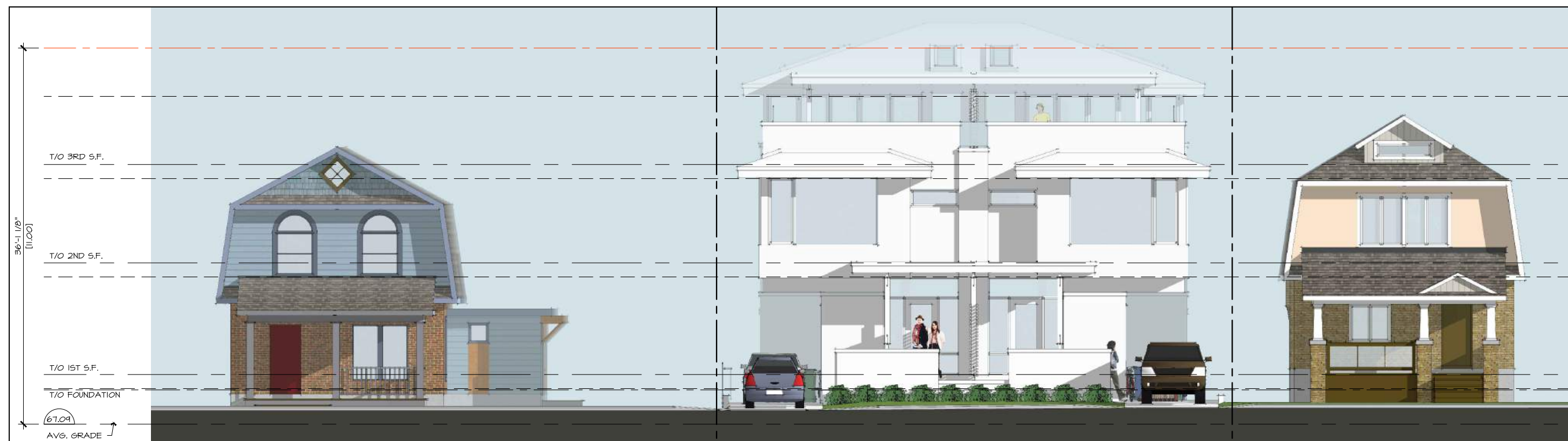
STREETSCAPE (FACING) PHOTO

SCALE: N.T.S.

PROJECT TITLE

41 & 43
HAMPTON
AVE. OTTAWA,
ONT.

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX



APPROVED STREETScape

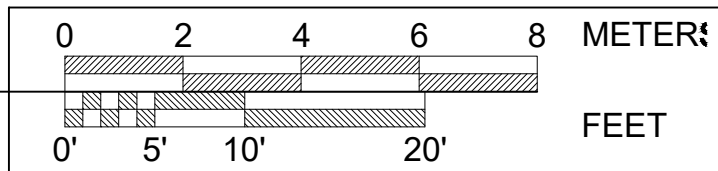
SCALE: 3/32" = 1'-0"

SUBJECT SITE



PROPOSED STREETScape

SCALE: 3/32" = 1'-0"



DRAWING TITLE:

**COMPARATIVE
STREETScapeS**

PROJECT No. :

DATE: 21-09-10
SCALE: NOTED
DWG BY: P.A.C.

DWG No:

A12

PROJECT TITLE
**41 & 43
HAMPTON
AVE. OTTAWA,
ONT.**

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**COMPARATIVE
FRONT
ELEVATIONS**

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A13



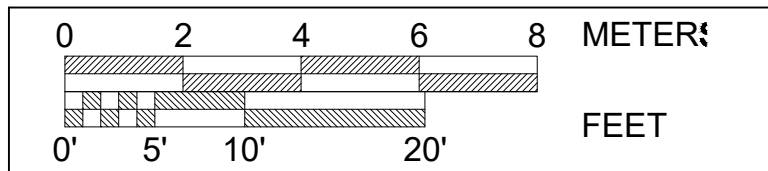
APPROVED FRONT (WEST) ELEV.

SCALE: 1/8"=1'-0"



PROPOSED FRONT (WEST) ELEV.

SCALE: 1/8"=1'-0"





APPROVED - VIEW 1



PROPOSED - VIEW 1



APPROVED - VIEW 2



PROPOSED - VIEW 2

PAUL A. COOPER
ARCHITECT
76 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE
**41 & 43
HAMPTON
AVE. OTTAWA,
ONT.**

8	CofA APP.	2022 12-09
8	CofA APP. DRAFT	2022 11-18
7	GARAGE OPTION	2022 08-31
#	REV.	2021 XX-XX

DRAWING TITLE:
**COMPARATIVE
PERSPECTIVE**

PROJECT No. :

DATE:	21-09-10
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A14

PLOT DATE: 22-12-09

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
 DATE: _____

PLAN 4R-
 RECEIVED AND DEPOSITED
 DATE: _____

E. HERWEYER
 ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR
 LAND REGISTRAR FOR THE
 LAND TITLES DIVISION OF
 OTTAWA-CARLETON NO. 4.

SCHEDULE				
AREA (Sq.m.)	PART	LOT	CONCESSION/PLAN	PIN
223	1	ALL OF LOT 2794	4M-47	ALL OF 04029-133
223	2			

PLAN OF SURVEY OF
LOT 2794
REGISTERED PLAN 4M-47
CITY OF OTTAWA
 Surveyed by Annis, O'Sullivan, Vollebakk Ltd.
 Scale 1 : 150

Metric
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Surveyor's Certificate
 I CERTIFY THAT:

- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
- The survey was completed on the ___ day of _____, 2021.

Date: _____
 E. H. Herweyer
 Ontario Land Surveyor

- Notes & Legend**
- | | | |
|-------|---------|-----------------------------------|
| □ | Denotes | Survey Monument Planted |
| ■ | " | Survey Monument Found |
| SIB | " | Standard Iron Bar |
| SSIB | " | Short Standard Iron Bar |
| IB | " | Iron Bar |
| CP | " | Concrete Pin |
| IBØ | " | Round Iron Bar |
| CC | " | Cut Cross |
| Meas. | " | Measured |
| Prop. | " | Proportion |
| (AOG) | " | Annis, O'Sullivan, Vollebakk Ltd. |
| (P1) | " | Registered Plan 4M-47 |
| (P2) | " | Plan 4R-28640 |
| (P3) | " | (AOG) Plan August 7, 1985 |
| (P5) | " | (AOG) Plan September 23, 2004 |
| (P6) | " | (1287) Plan May 28, 1991 |
| (P7) | " | (AOG) Plan September 27, 2021 |
| BF | " | Board Fence |
| C/L | " | Centreline |

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999933.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on reference points A and B, shown hereon, having a bearing of N19°43'40"W and are referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°31'03" counter-clockwise was applied to bearings on plans P1, P3, P5, P6.

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

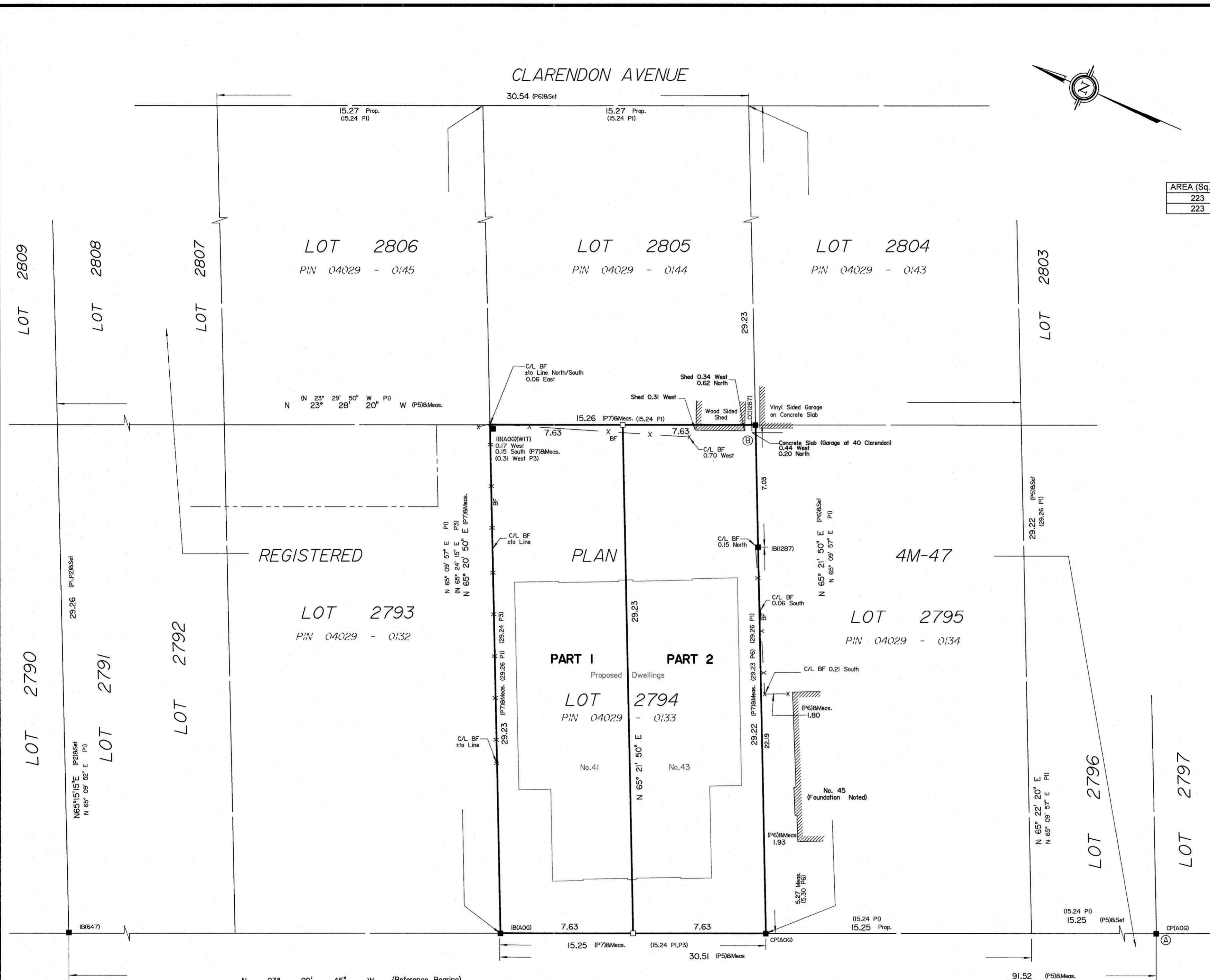
Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

. 01919680005	Northing	5027191.26	Easting	361496.76
. 01919680105	Northing	5024915.16	Easting	373971.65
. Point A	Northing	5028860.55	Easting	364560.64
. Point B	Northing	5028820.39	Easting	364546.24

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.

ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
 14 Concourse Gate, Suite 500
 Nepean, Ont. K2E 7S6
 Phone: (613) 727-0850 / Fax: (613) 727-1079
 Email: Nepean@osvlld.com

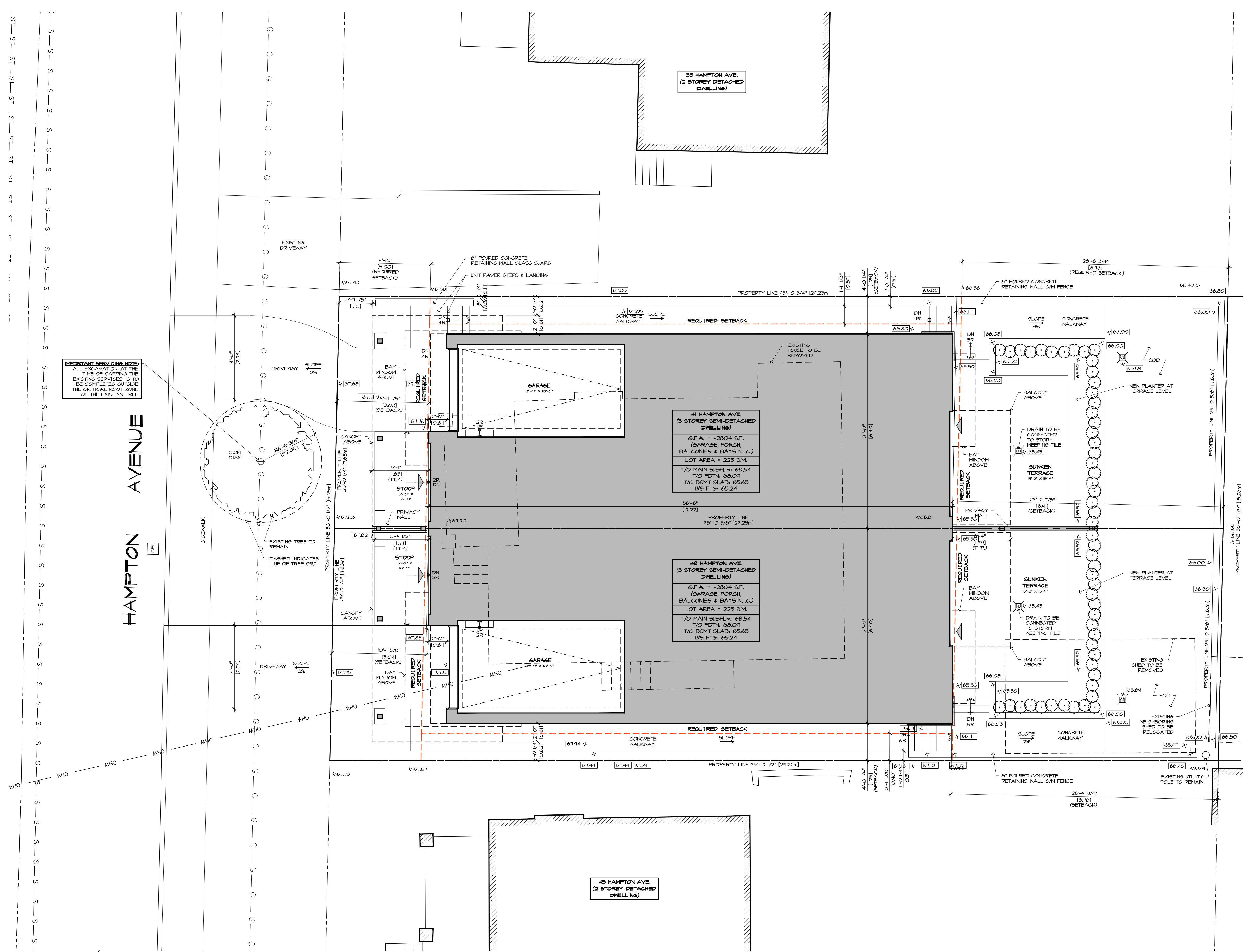
Ontario Land Surveyors Job No. 21986-21 Westside LI 2795 4M-47 R DI JA



N 23° 29' 45" W (Reference Bearing)

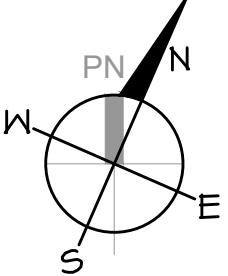
HAMPTON AVENUE
 PIN 04029 - 0117

PLOT DATE : 2022-12-08



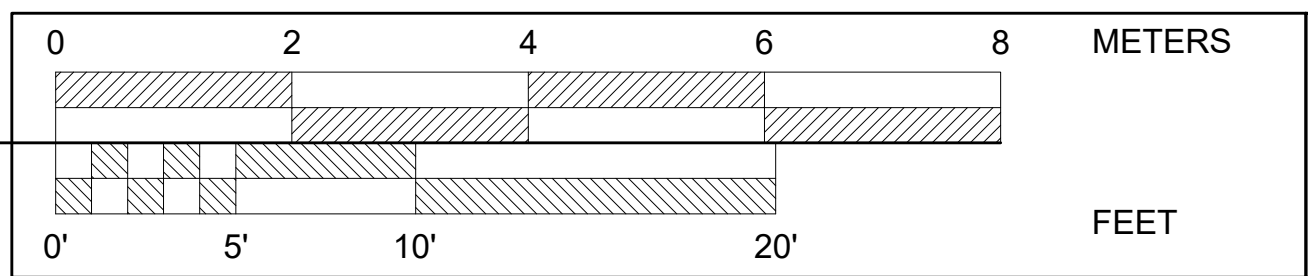
IMPORTANT SERVICES NOTE:
ALL EXCAVATION AT THE TIME OF CAPPING THE EXISTING SERVICES IS TO BE COMPLETED OUTSIDE THE CRITICAL ROOT ZONE OF THE EXISTING TREE

HAMPTON AVENUE

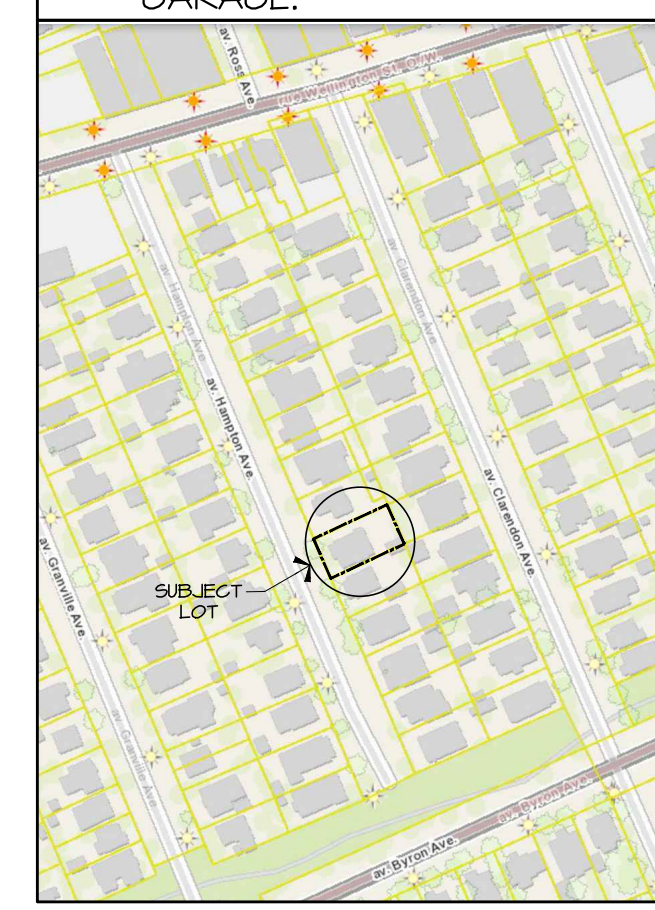
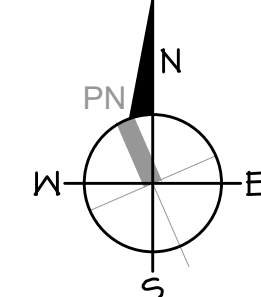


SITE PLAN

SCALE: 3/16" = 1'-0"



SURVEY INFO:
SURVEY INFORMATION TAKEN FROM A SURVEYOR'S REAL PROPERTY REPORT - PART 1 PLAN OF LOT 2794, REGISTERED PLAN 4M-47, CITY OF OTTAWA, DATED: SEPT 27TH, 2021. SURVEYED BY: ANNIS, O'SULLIVAN, VOLLEBEKK LTD.



LOCATION MAP

SCALE: 1:2000

ZONING INFORMATION

ZONING : R3K
SEMI-DETACHED DWELLING -
LOT WIDTH : 7.5M
LOT AREA : 225M²
HEIGHT (4:12) : 11M
(SLOPED ROOF)
FRONT YARD : 3M (MIN.)
CORNER S.Y : 3M (MIN.)
REAR YARD : 8.76M (MIN.)
(25% L.D./L.A.)
INTERIOR SIDE YARD : 0.3M (MIN.)

DEVELOPMENT INFO

LOT AREAS:
EXISTING LOT AREA = 4798.6 G.S.F. (445.8 S.M.)
43 HAMPTON LOT AREA = 2400 G.S.F. (223 S.M.)
41 HAMPTON LOT AREA = 2400 G.S.F. (223 S.M.)
BUILDING AREA:
EXISTING DWELLING FOOTPRINT = 1074.0 G.S.F. (99.8 G.S.M.)

GRAND TOTAL GROSS FLOOR AREAS

41/43 HAMPTON AVE. (EACH):
BSMT FLR.: UNIT #1 = ~448 G.S.F. (~88 G.S.M.)
MAIN FLR.: UNIT #2 = ~453 G.S.F. (~89 G.S.M.)
2nd FLR.: UNIT #3 = ~1250 G.S.F. (~1016 G.S.M.)
3rd FLR.: UNIT #4 = ~639 G.S.F. (~59 G.S.M.)
Rooftop Terrace = ~475 G.S.F. (~44 G.S.M.)
TOTAL = ~3317 G.S.F. (~308 G.S.M.)

GRAND TOTAL GROSS FLOOR AREA:

~6634 G.S.F. (116 G.S.M.)
(N.I.C. BASEMENT, PORCH, DECK, BALCONIES & ROOFTOP TERRACE)

REQUIRED MINOR VARIANCES:

- BYLAW 2008-250:**
- a) TO PERMIT A FRONT-FACING ATTACHED GARAGE, FOR 41 HAMPTON AVE. (PART I), WHEREAS THE BY-LAW, BASED UPON THE STREETSCAPE CHARACTER ANALYSIS, DOES NOT PERMIT A FRONT-FACING ATTACHED GARAGE.
 - b) TO PERMIT A FRONT-FACING ATTACHED GARAGE, FOR 41 HAMPTON AVE. (PART II), WHEREAS THE BY-LAW, BASED UPON THE STREETSCAPE CHARACTER ANALYSIS, DOES NOT PERMIT A FRONT-FACING ATTACHED GARAGE.

PAUL A. COOPER ARCHITECT
76 CHAMBERLAIN AVE. OTTAWA, ONTARIO K1S 1V8 (819) 885 9512 Tel.

ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE (O.B.C.)
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE DESIGNER.
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS
CONFIRM LOCATION OF ALL UNDERGROUND SERVICES PRIOR TO EXCAVATION.
DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED.

No.	REVISION	DATE
07	COFA APPLICATION	2022-12-07
06	ISSUED FOR PERMIT	2022-06-20
05	STRUCT. COORDTN	2022-05-11
04	MECH. COORDINATION	2022-03-05
03	50% DRAWINGS	2022-02-01
02	ASSEMBLY DRAFT	2021-11-23
01	PLAN REVS.	2021-11-18

ARCHITECT SEAL: _____
ORIENTATION: _____

PROJECT TITLE:
41 & 43 HAMPTON AVENUE
Ottawa, ON

DRAWING TITLE:
SITE PLAN, DEVELOPMENT INFO. & LOCATION PLAN

PROJECT No. : 2021-05

DATE: 2022-05-02
SCALE: NOTED
DWG BY: P.A.C.
DWG No: **A0**