

Committee of Adjustment
 Received | Reçu le
Revised | Modifié le : 2023-01-10
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

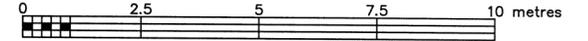
SURVEYOR'S REAL PROPERTY REPORT

PART 1 Plan of

PART OF LOT 9
REGISTERED PLAN 53
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2020

Scale 1: 100



Metric Note

Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

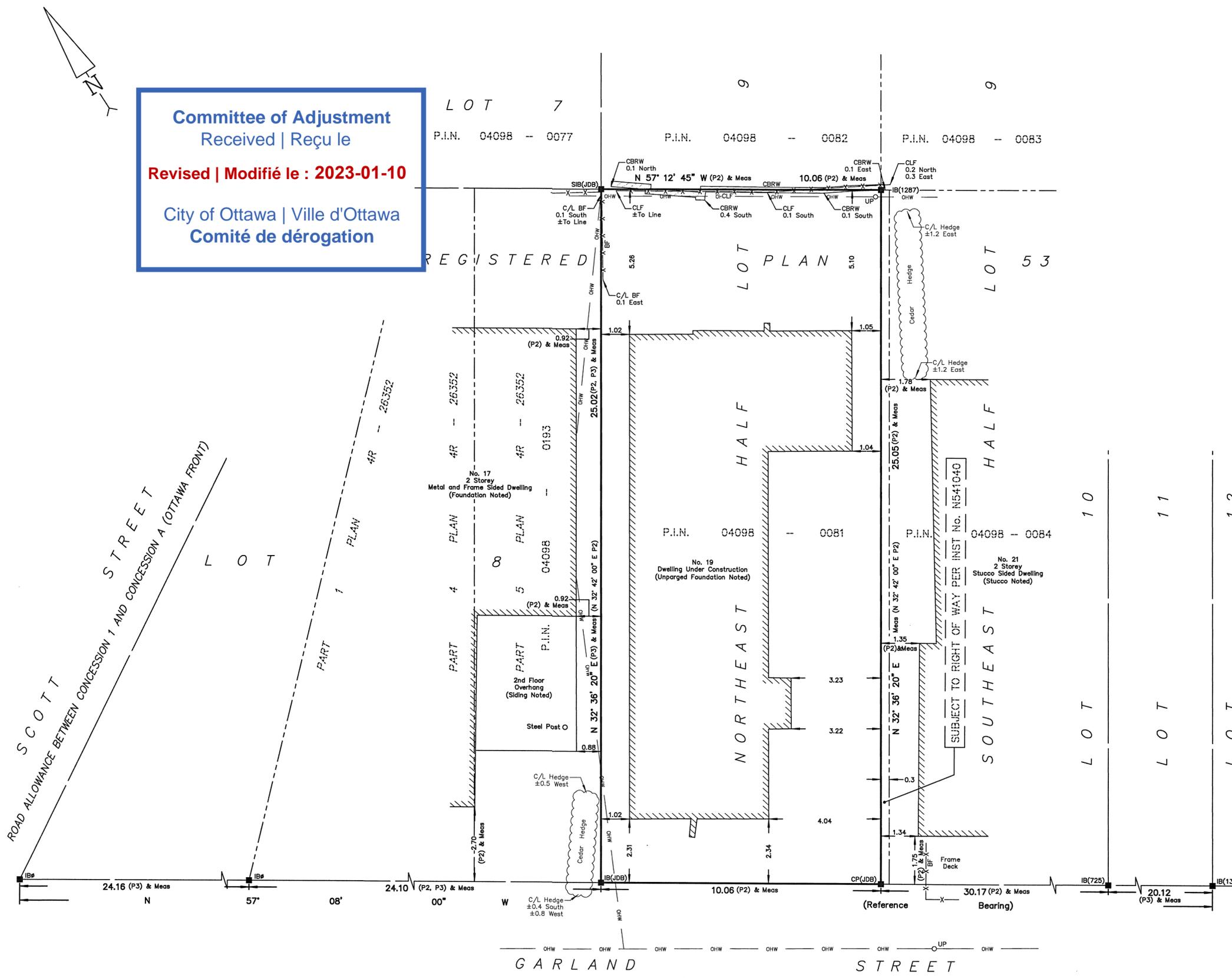
Bearing Note

Bearings are astronomic and are referred to the Northerly limit of Garland Street having a bearing of N 57° 08' 00" W as shown on Plan 4R-26352.

For bearing comparisons, a rotation of 0°21'45" counter-clockwise was applied to bearings on P2.

Notes & Legend

Denotes	
□	Survey Monument Planted
■	Survey Monument Found
SIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
IBØ	Round Iron Bar
(Wit)	Witness
Meas	Measured
(P1)	Registered Plan 53
(P2)	Plan by (JDB) dated January 4, 2019 (Ref. No. 18-10-099-00)
(P3)	Plan 4R-26352
UP	Overhead Wires
CLF	Chain Link Fence
BF	Board Fence
CBRW	Concrete Block Retaining Wall
C/L	Centreline
---	Property Line



PART 2

- REGISTERED RIGHTS-OF-WAY/EASEMENTS**
No rights-of-way or easements were found to be registered against the subject property.
- PROPERTY IMPROVEMENTS**
Not applicable. This is a foundation survey only; future structures above foundation level and future site improvements cannot be commented on. Fencing, hedges and retaining walls are displaced from the property lines. See plan for location.
- COMPLIANCE WITH MUNICIPAL ZONING BYLAWS**
Compliance is not certified by this report.
- ADDITIONAL REMARKS**
The building ties are to the unparged concrete foundation walls.

THIS REPORT WAS PREPARED FOR:
 Crossford Construction Ltd. ("The Client"), the Client's solicitors, mortgagees, and other related parties. The undersigned accepts no responsibility for use by other parties. See Part 2 of this Report.

Surveyor's Certificate

I certify that:

- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
- The survey was completed on the 29th day of September, 2020.

Date: Jan. 4/21
 Daniel Robinson
 Ontario Land Surveyor

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
 2139100

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29 (3).

FARLEY, SMITH & DENIS SURVEYING LTD.

WARNING NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENIS SURVEYING LTD. © FARLEY, SMITH & DENIS SURVEYING LTD., 2020

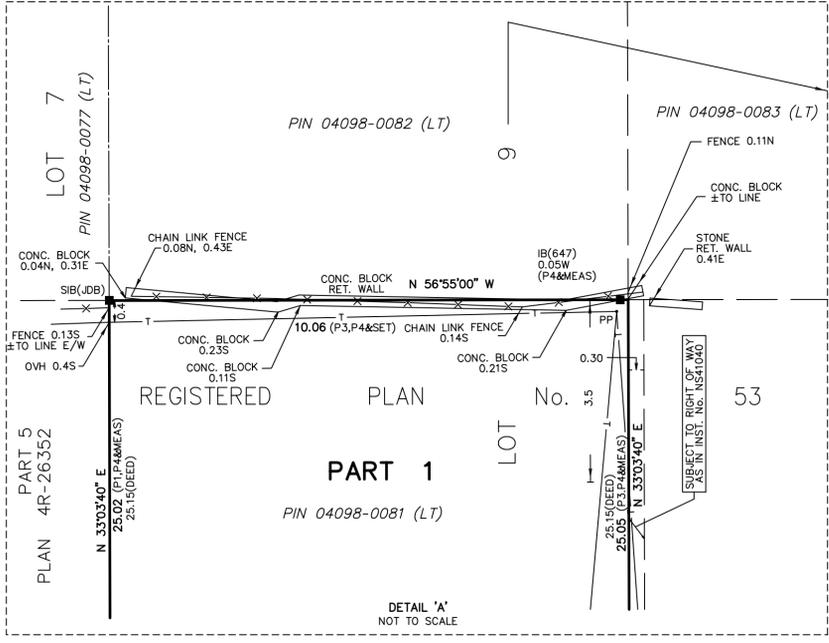
ONTARIO LAND SURVEYORS
 CANADA LAND SURVEYORS
 190 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J5
 TEL. (613) 727-8226 FAX. (613) 727-1826

FILE No.: 190-20

DRAFT PLAN FOR SEVERANCE

SCHEDULE				
PART	LOT	PLAN	PIN	AREA sq. m.
1	PART OF LOT 9	53	04098-0081(LT)	117.09
2				84.53
3				15.61
4				22.68
5				11.92

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PLAN OF SURVEY OF
PART OF LOT 9
REGISTERED PLAN No. 53
 CITY OF OTTAWA
 SCALE 1 : 150
 0 2.5 5 10 metres

THE INTENDED PLOT SIZE OF THIS PLAN IS 680mm IN WIDTH BY 609mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:150.
 J.D. BARNES LIMITED
METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES
 BEARINGS ARE MTM GRID AND ARE DERIVED FROM GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) BY REAL TIME NETWORK (RTN) OBSERVATIONS, MTM ZONE 9, NAD83 (CSRS)(2010).
 FOR BEARING COMPARISONS, A ROTATION OF 00°21'40\"/>

INTEGRATION DATA			
OBSERVED REFERENCE POINTS (ORPs): MTM ZONE 9, NAD83 (CSRS) (2010.0).			
COORDINATES TO URBAN ACCURACY PER SECTION 14 (2) OF O.REG 216/10.			
POINT ID	EASTING	NORTHING	
ORP (A)	365 432.96	5 029 982.61	
ORP (B)	365 486.74	5 029 947.38	

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
SIB	DENOTES	STANDARD IRON BAR
IB	DENOTES	IRON BAR
RIB	DENOTES	ROUND IRON BAR
CPW	DENOTES	CONCRETE PIN & WASHER
MEAS	DENOTES	MEASURED
P1	DENOTES	REGISTERED PLAN No. 53
P1	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY J.D. BARNES LTD., DATED JULY 31st, 2013
P2	DENOTES	PLAN OF SURVEY BY FARLEY, SMITH AND DENIS SURVEYING LTD., DATED OCTOBER 14, 1987
P3	DENOTES	PLAN OF SURVEY BY E.F. LYN COLE, O.L.S., DATED FEBRUARY 16, 1989
P4	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY J.D. BARNES LTD., DATED JANUARY 4, 2019
JDB	DENOTES	J.D. BARNES LTD.
SU	DENOTES	SOURCE UNKNOWN
725	DENOTES	R.W. ARNETT, O.L.S.
647	DENOTES	FARLEY, SMITH & DENIS SURVEYING LTD.
DEED	DENOTES	INSTRUMENT No. N565073
OVH	DENOTES	OVERHEAD UTILITY WIRES
-T-	DENOTES	OVERHEAD UTILITY WIRES (TELEPHONE)
-E-	DENOTES	OVERHEAD UTILITY WIRES (HYDRO)
-OC-	DENOTES	OVERHEAD UTILITY WIRES (COMBINATION)
HP	DENOTES	HYDRO POLE
CONC	DENOTES	CONCRETE
RET	DENOTES	RETAINING WALL
FDN	DENOTES	FOUNDATION
PP	DENOTES	TELEPHONE POLE
C/L	DENOTES	CENTRELINE
---	DENOTES	PROPERTY LINE

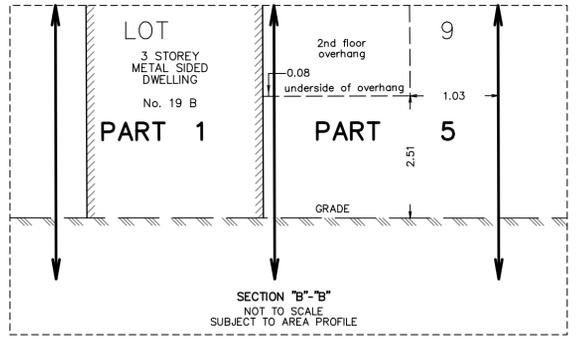
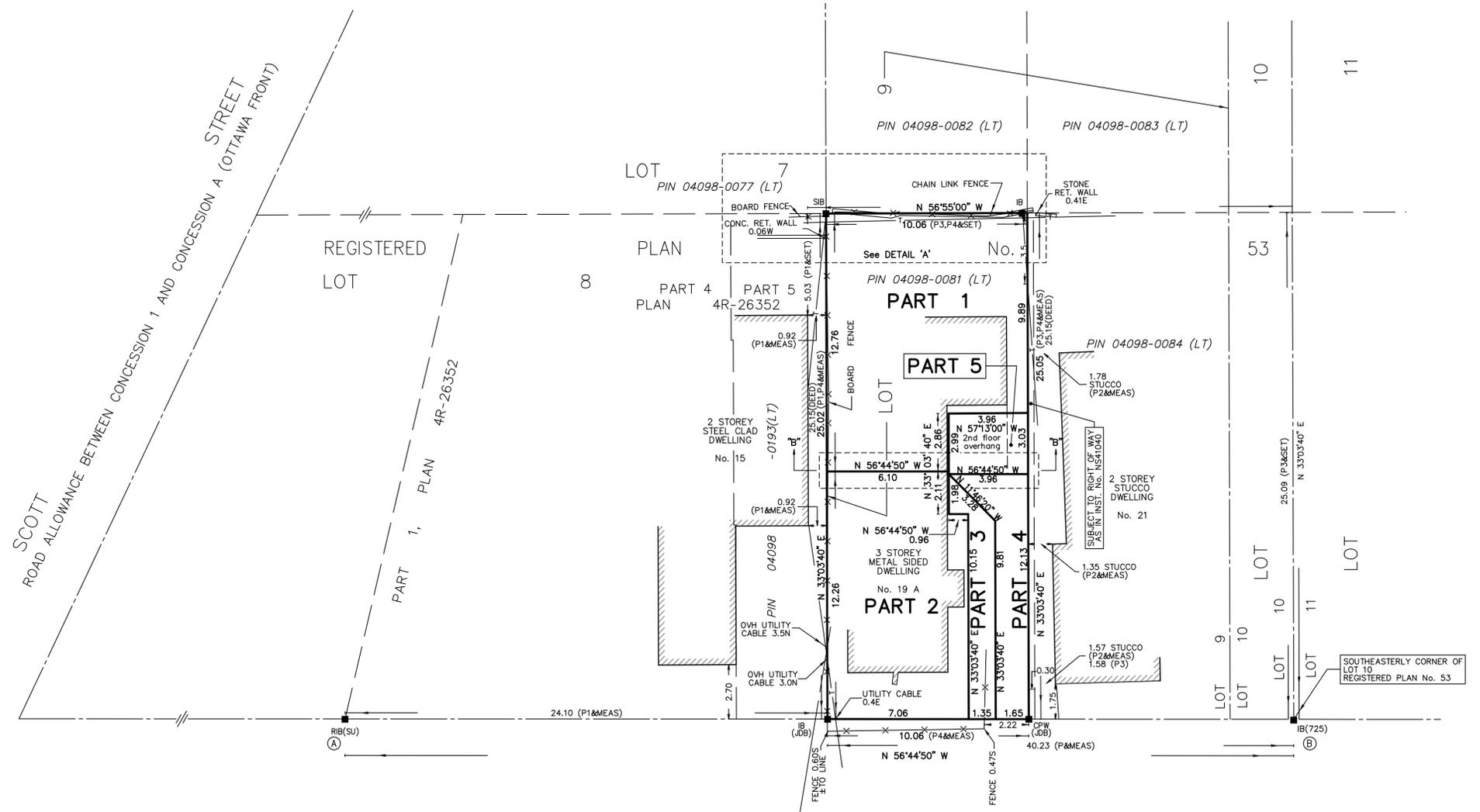
N=NORTH / S=SOUTH / E=EAST / W=WEST

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON JULY , 2019.

DRAFT _____
 DATE _____
 GEORGE ZERVOS
 ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER XXXXXX

DRAWN BY: LH/RP	CHECKED BY: GZ	REFERENCE NO.: 18-10-099-01
PLOTTED: 1/9/2023	DATED: 01/09/23	



Di-Diomete-Holmes Long Semi-Detached



Exterior Perspective - Street View

Scale: N.T.S.



Exterior Perspective - Front View

Scale: N.T.S.



Exterior Perspective - Rear View

Scale: N.T.S.

Client: Di-Diomete Holmes
 Architect: Kariouk & Associates
 Contractor: Crossford Construction
 Structural Engineer: Contact Engineering
 HVAC Consultant: Design HVAC Experts Inc.
 Grading & Site Servicing Engineer: Kollaard Associates Inc.

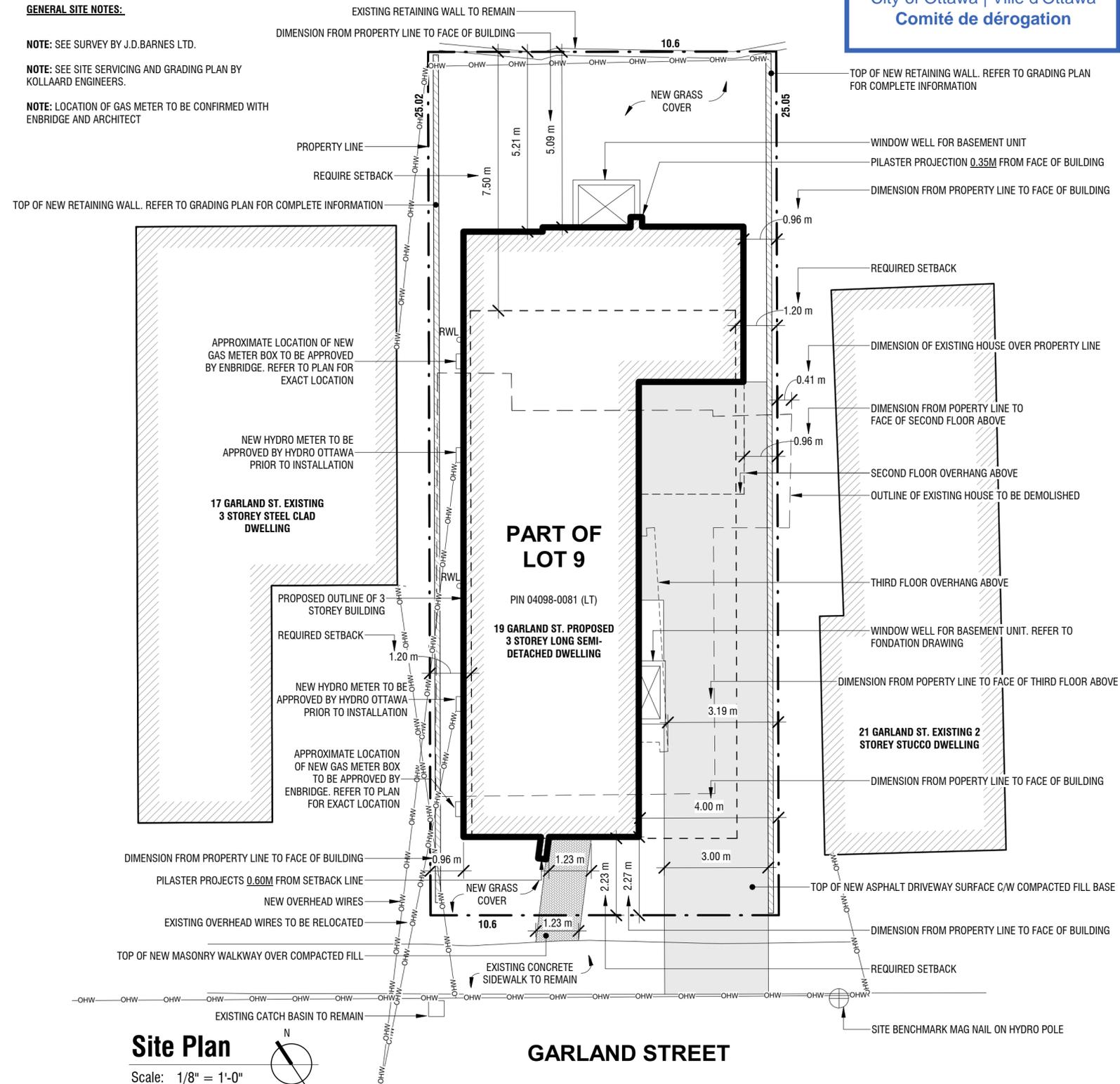
Contact: Adam Paquette
 Contact: Lindsay Nicol
 Contact: Tim Joyce
 Contact: Matthew Pedersen
 Contact: Kaleb Lakew

O: 613.562.2211
 C: 613.406.0068
 C: 613.729.5004
 O: 647-708-3960
 O: 613-828-4440 X 201
 O: 613-860-0923 X 236

**Committee of Adjustment
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Revised | Modifié le : 2022-12-22
**City of Ottawa | Ville d'Ottawa
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GENERAL SITE NOTES:

NOTE: SEE SURVEY BY J.D.BARNES LTD.
NOTE: SEE SITE SERVICING AND GRADING PLAN BY KOLLAARD ENGINEERS.
NOTE: LOCATION OF GAS METER TO BE CONFIRMED WITH ENBRIDGE AND ARCHITECT



General Notes:

1. All construction to be completed in accordance with the Ontario building code, current municipal bylaws, and good construction practices.
2. Contractor shall verify all dimensions onsite and report any discrepancies to Kariouk Associates for clarification before proceeding. Do not scale drawings.
3. Contractor shall not proceed in uncertainty; contact Kariouk associates for clarification.
4. Architectural drawings to be read in conjunction with structural, mechanical, and electrical drawings along with all other documents comprising the construction documents.

No.	Description	Date
-----	-------------	------

PdK:A
KARIOUK ARCHITECTS
 179 George St, Suite 1204
 Ottawa, Ontario K1N 1J8
 Office: 613.562.2211
 Cell: 613.868.2985
 Fax: 613.562.2231
 www.kariouk.com

DI-DIOMETE HOLMES SEMI-DETACHED
 19 GARLAND ST. OTTAWA, ON.

Site Plan & Cover Sheet

Issued For: Construction
 Date: Sept. 02, 2022
 Scale: 1/8" = 1'-0"
 Drawn By: APP
 Checked By: PDK
 Project Number: 1804

A-000

General Notes:

NOTE: CONFIRM WITH ARCHITECT BLOCKING REQUIREMENTS THROUGHOUT HOUSE PRIOR TO ENCLOSING.

NOTE: ALL DIMENSIONS TO FACE OF STUD OR CONCRETE, UNLESS NOTED OTHERWISE

NOTE: DOUBLE STUDS AT ALL DOOR JAMBS AND WINDOWS

NOTE: 6M MIL. POLYETHYLENE TAB UNDER WOOD FRAMING TO ENSURE NO CONTACT IS MADE WITH CONCRETE FLOOR (TYP.)

NOTE: ALL PLUMBING FIXTURES TO BE CSA APPROVED

NOTE: PROVIDE HEAT TRACE CABLE WITH THERMOSTAT ACTIVATION IN ALL ROOF, TRENCH DRAINS AND DOWNSPOUTS

NOTE: REFER TO FLOOR JOIST AND ROOF JOIST MANUFACTURER'S DRAWINGS FOR COMPLETE INFORMATION

NOTE: ELEVATOR PIT CONSTRUCTED AS PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

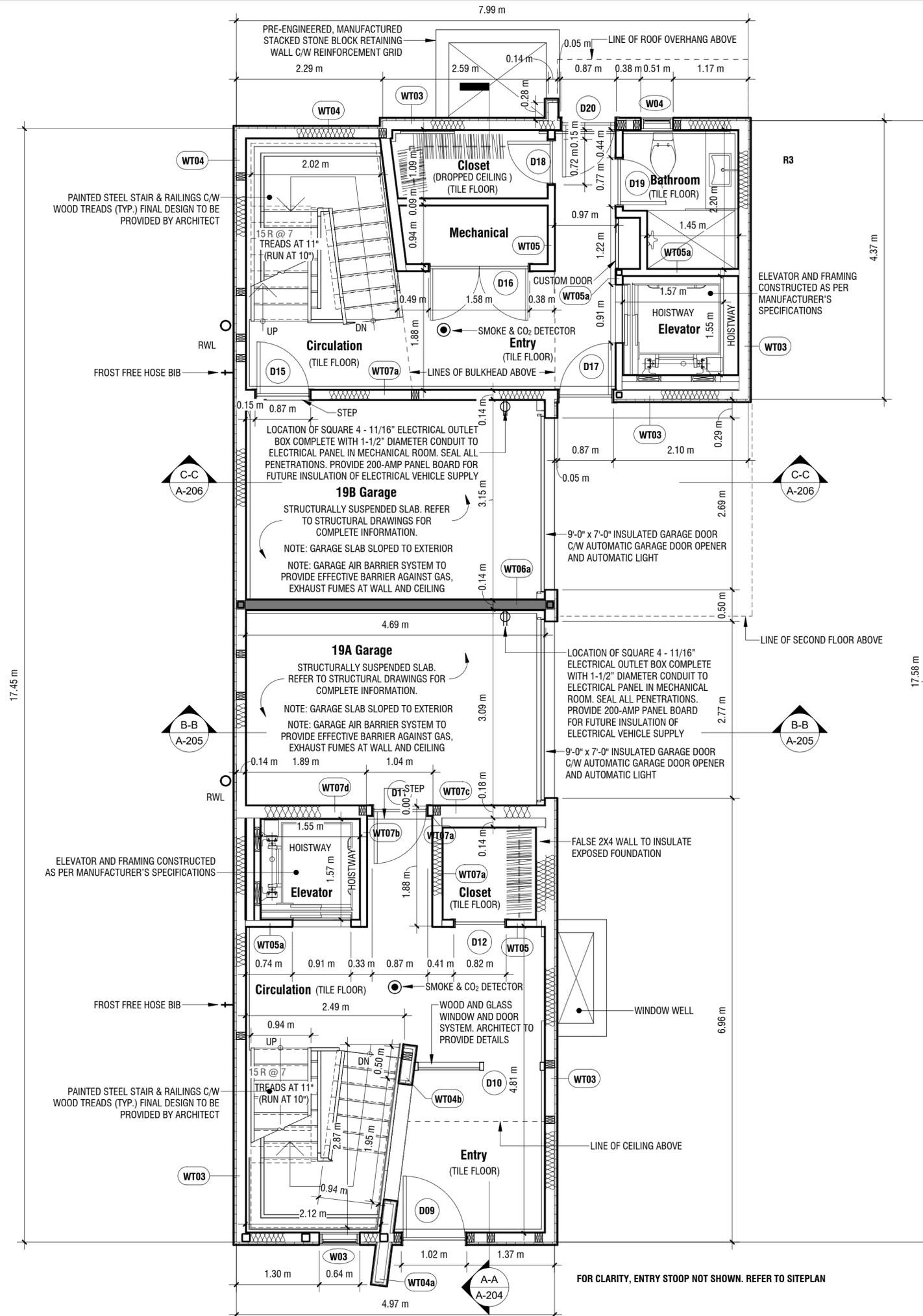
NOTE: PROVIDE RADIANT HEATING SYSTEM THROUGHOUT C/W GAS BOILER AND ERV SYSTEM FOR EACH UNIT.

NOTE: ALL DOORS TO BE SOLID-CORE DOORS UNLESS NOTED OTHERWISE

NOTE: PROVIDE AIR CONDITIONING FOR ALL UNITS

Ground Floor Plan

Scale: 1/4" = 1'-0"



General Notes:

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3. Contractor shall not proceed in uncertainty; contact Kariouk associates for clarification.

4. Architectural drawings to be read in conjunction with structural, mechanical, and electrical drawings along with all other documents comprising the construction documents.



No.	Description	Date
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**DI-DIOMETE
HOLMES
SEMI-DETACHED**

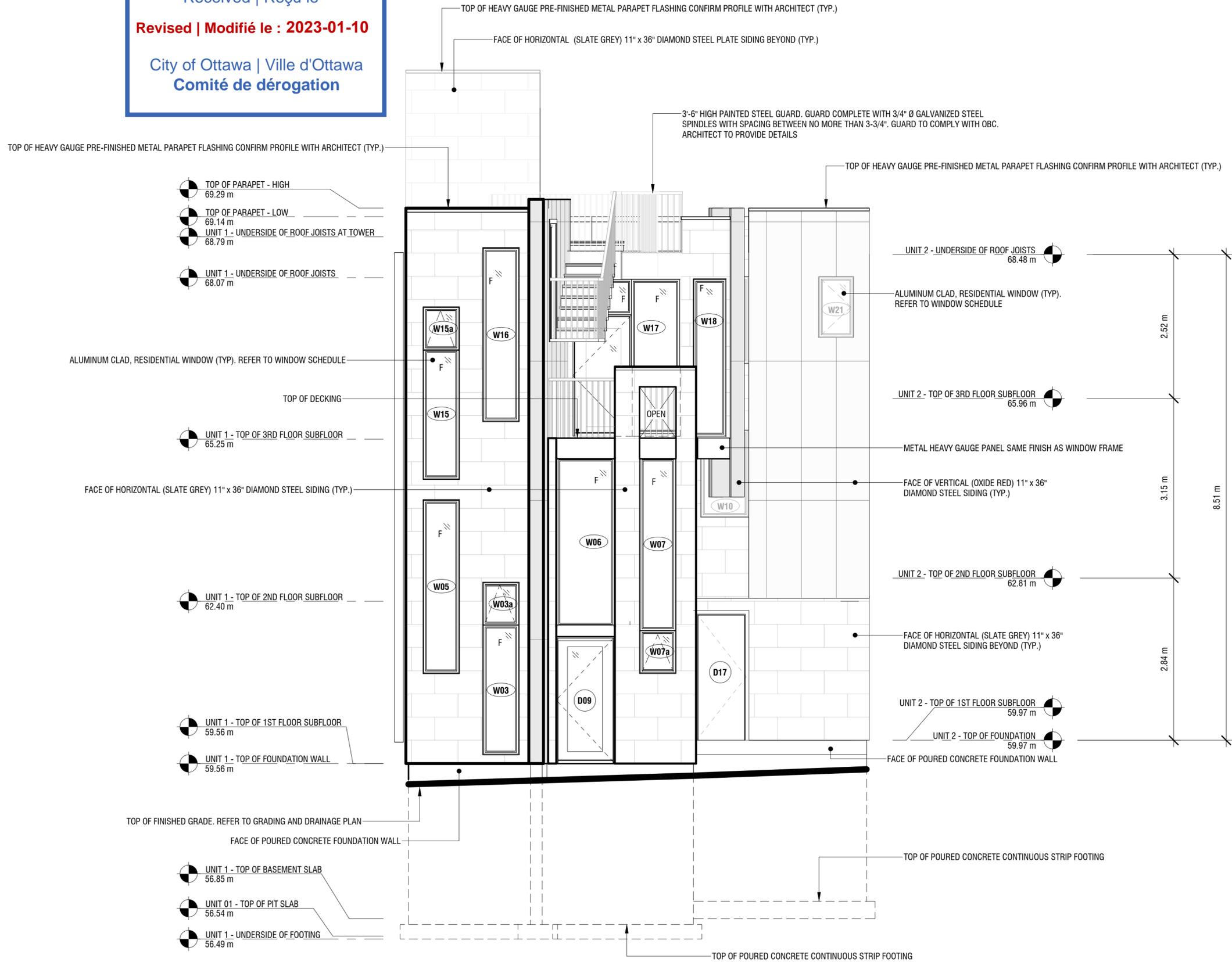
19 GARLAND ST. OTTAWA, ON.

**Ground Floor
Plan**

Issued For: Construction
Date: Sept. 02, 2022
Scale: 1/4" = 1'-0"
Drawn By: APP
Checked By: PDK
Project Number: 1804

A-101

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**DI-DIOMETE
HOLMES
SEMI-DETACHED**
19 GARLAND ST. OTTAWA, ON.

**Exterior
Elevations**

Issued For: Construction
Date: June 22, 2020
Scale: 1/4" = 1'-0"
Drawn By: APP
Checked By: PDK
Project Number: 1804

A-202

West Elevation

Scale: 1/4" = 1'-0"

General Notes:

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No.	Description	Date
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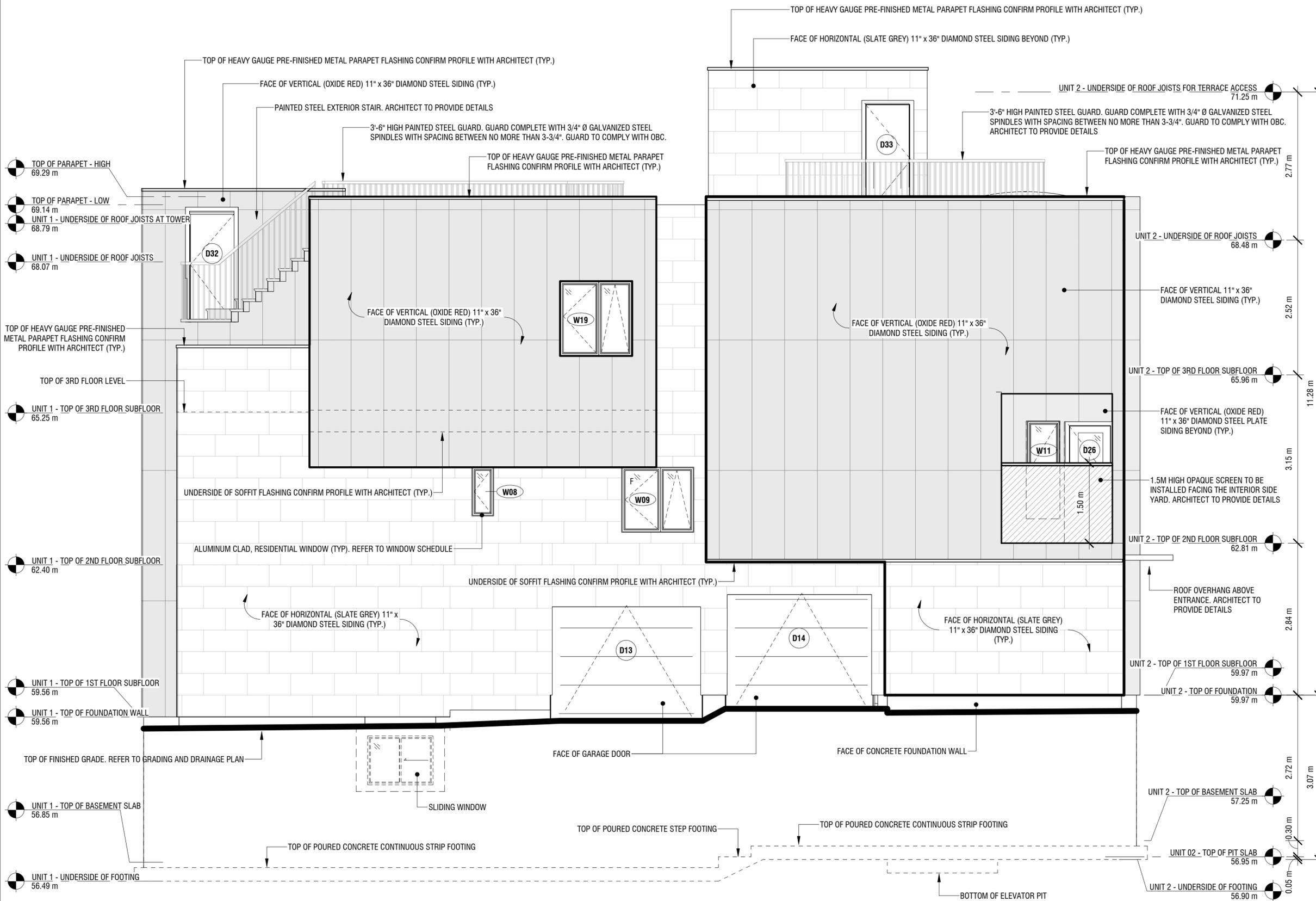
**DI-DIOMETE
HOLMES
SEMI-DETACHED**

19 GARLAND ST. OTTAWA, ON.

**Exterior
Elevations**

Issued For:	Construction
Date:	June 22, 2020
Scale:	1/4" = 1'-0"
Drawn By:	APP
Checked By:	PDK
Project Number:	1804

A-200



South Elevation

Scale: 1/4" = 1'-0"

