

**Committee of Adjustment**  
 Received | Reçu le  
**Revised | Modifié le : 2023-01-10**  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation

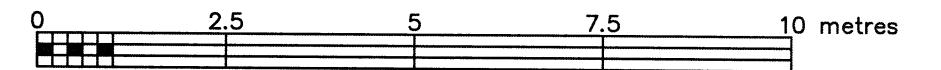
SURVEYOR'S REAL PROPERTY REPORT

PART 1 Plan of

PART OF LOT 9  
REGISTERED PLAN 53  
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2020

Scale 1: 100



Metric Note

Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

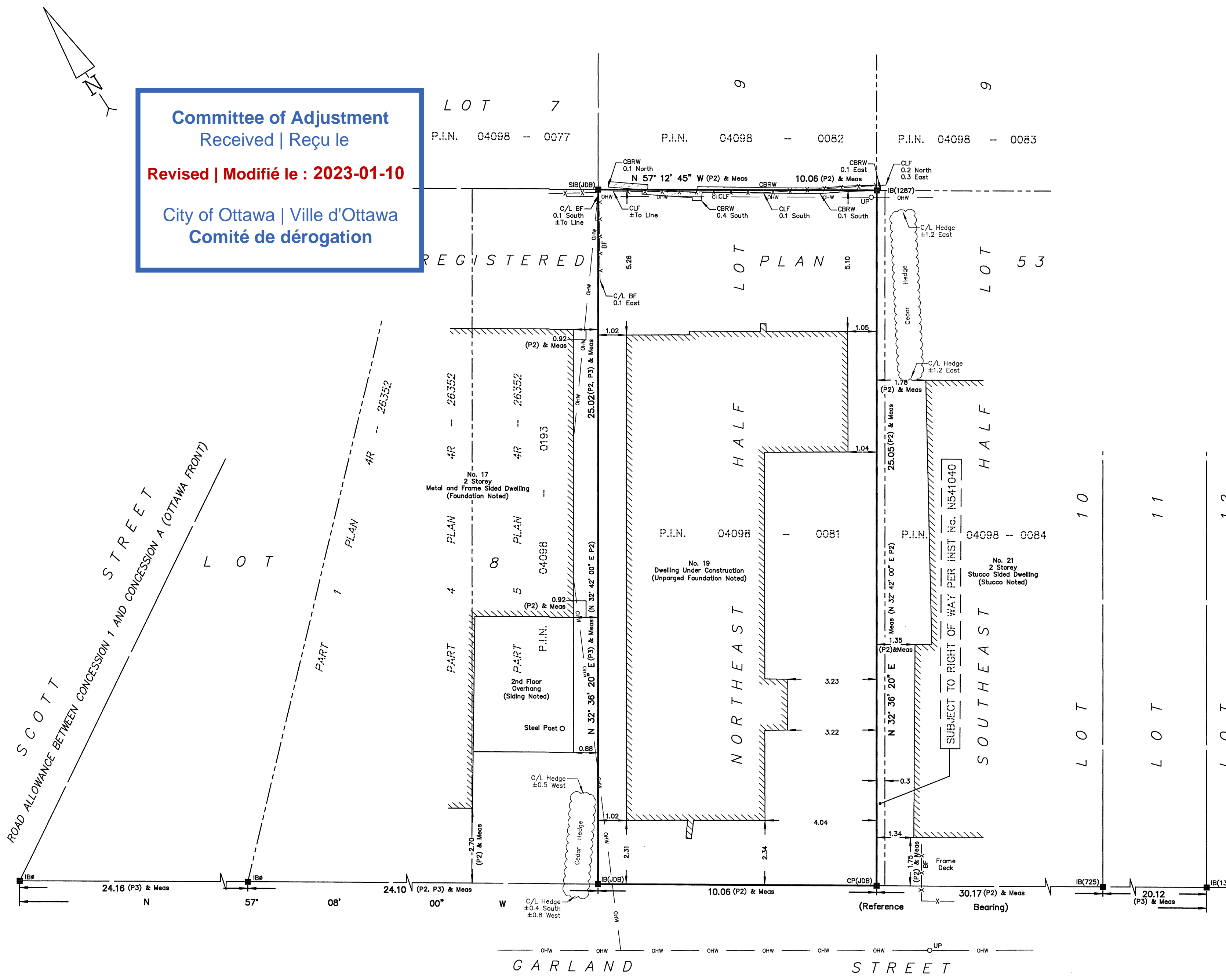
Bearing Note

Bearings are astronomic and are referred to the Northerly limit of Garland Street having a bearing of N 57° 08' 00" W as shown on Plan 4R-26352.

For bearing comparisons, a rotation of 0°21'45" counter-clockwise was applied to bearings on P2.

Notes & Legend

| Denotes |   |
|---------|---|
| □       | Survey Monument Planted                                     |
| ■       | Survey Monument Found                                       |
| SIB     | Standard Iron Bar   |
| SSIB    | Short Standard Iron Bar                                     |
| IB      | Iron Bar  |
| IBØ     | Round Iron Bar  |
| (Wit)   | Witness   |
| Meas    | Measured  |
| (P1)    | Registered Plan 53  |
| (P2)    | Plan by (JDB) dated January 4, 2019 (Ref. No. 18-10-099-00) |
| (P3)    | Plan 4R-26352   |
| UP      | Overhead Wires  |
| OHW     | Utility Pole  |
| CLF     | Chain Link Fence  |
| BF      | Board Fence   |
| CBRW    | Concrete Block Retaining Wall                               |
| C/L     | Centreline  |
| ---     | Property Line   |



**PART 2**

- REGISTERED RIGHTS-OF-WAY/EASEMENTS**  
No rights-of-way or easements were found to be registered against the subject property.
- PROPERTY IMPROVEMENTS**  
Not applicable. This is a foundation survey only; future structures above foundation level and future site improvements cannot be commented on. Fencing, hedges and retaining walls are displaced from the property lines. See plan for location.
- COMPLIANCE WITH MUNICIPAL ZONING BYLAWS**  
Compliance is not certified by this report.
- ADDITIONAL REMARKS**  
The building ties are to the unparged concrete foundation walls.

THIS REPORT WAS PREPARED FOR:  
 Crossford Construction Ltd. ("The Client"), the Client's solicitors, mortgagees, and other related parties. The undersigned accepts no responsibility for use by other parties. See Part 2 of this Report.

**Surveyor's Certificate**

I certify that:

- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
- The survey was completed on the 29th day of September, 2020.

Date: Jan. 4/21  
 Daniel Robinson  
 Ontario Land Surveyor

ASSOCIATION OF ONTARIO LAND SURVEYORS  
 PLAN SUBMISSION FORM  
 2139100

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR  
 In accordance with Regulation 1026, Section 29 (3).

FARLEY, SMITH & DENIS SURVEYING LTD.

**WARNING** NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENIS SURVEYING LTD.  
 © FARLEY, SMITH & DENIS SURVEYING LTD., 2020

ONTARIO LAND SURVEYORS  
 CANADA LAND SURVEYORS  
 190 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J5  
 TEL. (613) 727-8226 FAX. (613) 727-1826

FILE No.: 190-20