

NOTES

BEARINGS HEREON ARE ASTRONOMIC, DERIVED FROM THE BEARING OF N58°05'10"E AS SHOWN FOR THE SOUTHERLY LIMIT OF PHILLIP STREET ON REGISTERED PLAN 4M-657.

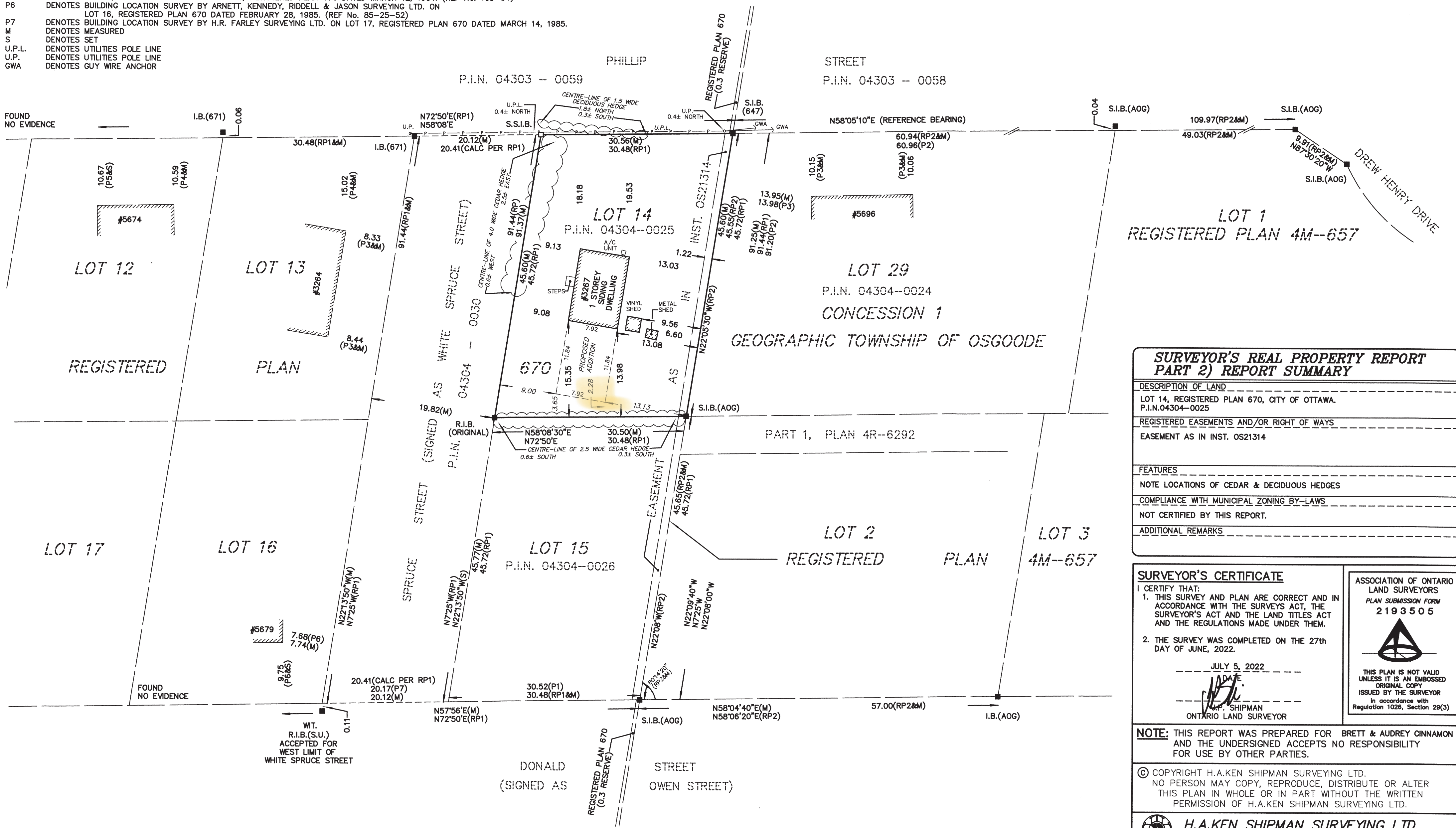
- S.I.B. DENOTES 0.025 SQ., 1.2 LONG, STANDARD IRON BAR
- S.S.I.B. DENOTES 0.025 SQ., 0.6 LONG, SHORT STANDARD IRON BAR
- I.B. DENOTES 0.016 SQ., 0.6 LONG, IRON BAR
- R.I.B. DENOTES ROUND IRON BAR
- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- WIT. DENOTES WITNESS
- S.U. DENOTES SOURCE UNKNOWN
- 671 DENOTES F.H. GOOCH, O.L.S.
- 647 DENOTES H.R. FARLEY, O.L.S.
- AOG DENOTES ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
- RP1 DENOTES REGISTERED PLAN 670
- RP2 DENOTES REGISTERED PLAN 4M-657
- P1 DENOTES PLAN 4R-6197
- P2 DENOTES PLAN 5R-9349
- P3 DENOTES BUILDING LOCATION SURVEY BY ARNETT, KENNEDY, RIDDELL & JASON SURVEYING LTD. ON PART OF THE EAST HALF LOT 29, CONCESSION 1 DATED JULY 7, 1987. (REF No. 87-25-271)
- P4 DENOTES BUILDING LOCATION SURVEY BY F.H. GOOCH, O.L.S. ON LOT 13, SOUTH SIDE PHILLIP STREET, REGISTERED PLAN 670 DATED OCTOBER, 1983
- P5 DENOTES BUILDING LOCATION SURVEY BY ARNETT, KENNEDY, RIDDELL & JASON SURVEYING LTD. ON LOT 12, SOUTH SIDE OF PHILLIP STREET, REGISTERED PLAN 670 DATED MARCH 12, 1984. (REF No. 103-84)
- P6 DENOTES BUILDING LOCATION SURVEY BY ARNETT, KENNEDY, RIDDELL & JASON SURVEYING LTD. ON LOT 16, REGISTERED PLAN 670 DATED FEBRUARY 28, 1985. (REF No. 85-25-52)
- P7 DENOTES BUILDING LOCATION SURVEY BY H.R. FARLEY SURVEYING LTD. ON LOT 17, REGISTERED PLAN 670 DATED MARCH 14, 1985.
- M DENOTES MEASURED
- S DENOTES SET
- U.P.L. DENOTES UTILITIES POLE LINE
- U.P. DENOTES UTILITIES POLE LINE
- GWA DENOTES GUY WIRE ANCHOR

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2023-01-16
City of Ottawa | Ville d'Ottawa
Comité de dérogation

SURVEYOR'S REAL PROPERTY REPORT
PART 1) PLAN OF
LOT 14
REGISTERED PLAN 670
CITY OF OTTAWA
SCALE 1:400



METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



SURVEYOR'S REAL PROPERTY REPORT
PART 2) REPORT SUMMARY

DESCRIPTION OF LAND
LOT 14, REGISTERED PLAN 670, CITY OF OTTAWA. P.I.N. 04304-0025
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS
EASEMENT AS IN INST. OS21314
FEATURES
NOTE LOCATIONS OF CEDAR & DECIDUOUS HEDGES
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS
NOT CERTIFIED BY THIS REPORT.
ADDITIONAL REMARKS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYOR'S ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 27th DAY OF JUNE, 2022.

JULY 5, 2022
DATE
[Signature]
H.A. SHIPMAN
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2193505

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29(3)

NOTE: THIS REPORT WAS PREPARED FOR BRETT & AUDREY CINNAMON AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

© COPYRIGHT H.A.KEN SHIPMAN SURVEYING LTD.
NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF H.A.KEN SHIPMAN SURVEYING LTD.



Virginia Popowicz Design & Draft
613 818 2668

BY STARTING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS THE OWNER AND / OR CONTRACTORS AND TRADES HAS READ AND UNDERSTOOD THE GENERAL NOTES AS FOLLOWS:

THE MUNICIPAL PLANS EXAMINER SHALL REVIEW ALL INFORMATION FOR CONFORMANCE WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE AND MUNICIPAL ZONING AND BYLAWS AND REPORT ANY ERRORS AND OMISSIONS DIRECTLY TO THE DESIGNER.

ALL WORKS SHALL BE EQUAL IN RESPECTS TO GOOD BUILDING PRACTICE AND SHALL CONFORM TO THE CURRENT ONTARIO BUILDING CODES ADOPTED BY THE AUTHORITIES HAVING JURISDICTION.

THE BUILDING SITE SHALL BE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECT SETTING OF THE STRUCTURE ON THE LOT, ELEVATION, GRADING AND DRAINAGE OF LOT SHALL BE APPROVED BY A CURRENT GRADING PLAN, SITE PLAN AND OR SURVEY AS REQUIRED.

THE DESIGNER IS NOT RESPONSIBLE FOR ANY WARRANTIES FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS OR ADJUSTMENTS REQUIRED RESULTING FROM THE CONDITIONS ENCOUNTERED AT / ON THE SITE.

ALL DRAWINGS TO BE VIEWED ON SITE.

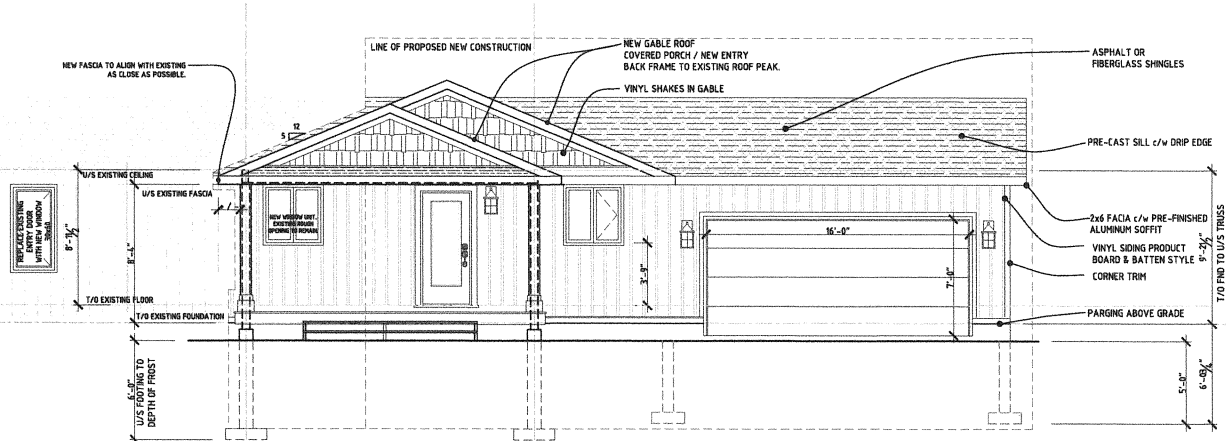
ALL MANUFACTURED PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH WRITTEN MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS. DO NOT SCALE DRAWINGS.

#	D/M/Y	DESCRIPTION
4	11 / 02 / 2022	ISSUED FOR SEPTIC PERMIT, FLOOR & TRUSS LAY
3	08 / 12 / 2021	REVISED AS PER CLIENT COMMENT / REVISED FC FINAL CLIENT REVIEW
2	08 / 09 / 2021	PRELIMINARY DRAFT / CLIENT COMMENT
1	30 / 09 / 2021	PROJECT COMMENCEMENT & MEASURE
#	D/M/Y	DESCRIPTION

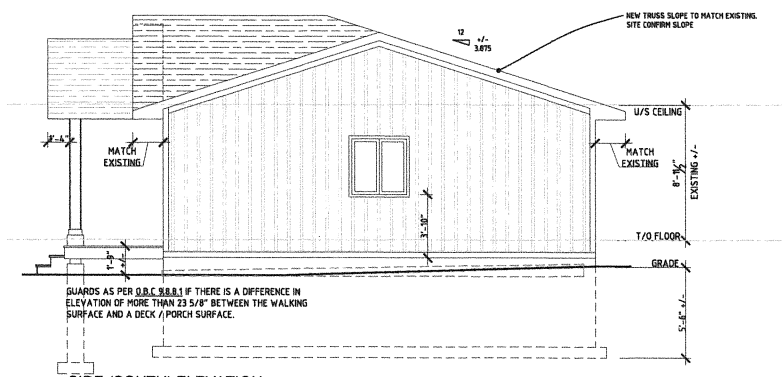
PROJECT TIMELINE / REVISIONS

**CINNAMON RESIDENCE
PROPOSED NEW ADDITION &
ATTACHED GARAGE**

3267 WHITE SPRUCE STREET, KARS, ONTARIO

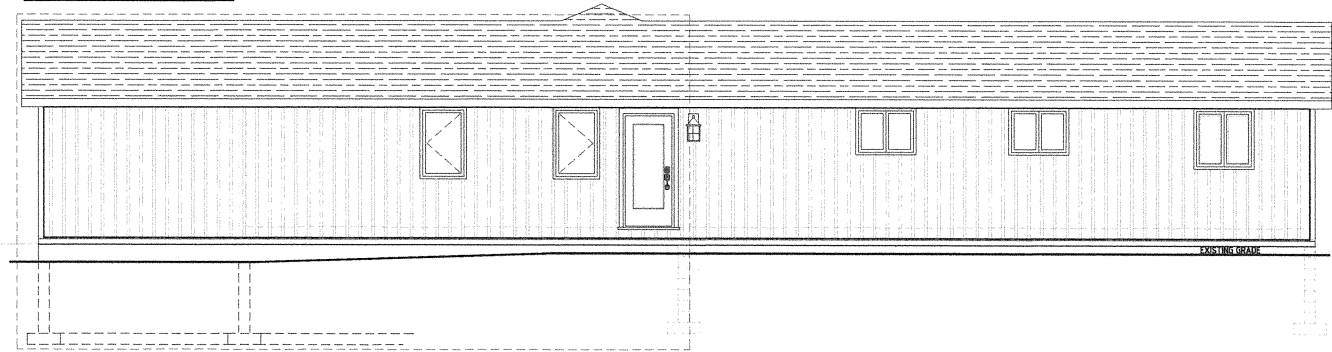


WESTERN (FRONT ENTRY) ELEVATION
SCALE 1/4" = 1'-0"



SIDE (SOUTH) ELEVATION
SCALE 1/4" = 1'-0"

ROOF VENTS (TYPICAL)
UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/80th OF THE INSULATED CEILING AREA



REAR ELEVATION
SCALE 1/4" = 1'-0"

Committee of Adjustment
AUG 04 2022
City of Ottawa

DRAWING TITLE:

ELEVATIONS

DRAWN BY:
VKP
MINISTRY BCIN 34388
DESIGN REVIEW:
AS PER SCHEDULE 1
(COMMANY QUALITY ONLY WITH
RED INKED SIGNATURE ABOVE)
SCALE:
AS NOTED

SHEET NO.
A03 OF 07