



**SITE INFORMATION**

EXISTING ZONING	RU			
SITE AREA	5,307m <sup>2</sup>			
HEIGHT Residential:	2 Storeys (7m)			
PARKING RATES	REQUIRED			
Residential:	1.0 p/unit			
SETBACKS	F.Y.	I.S.Y.	E.S.Y.	R.Y.
	10m	5m	10m	10m
<b>DEVELOPMENT STATISTICS</b>				
SUGGESTED NEW ZONING	R3Z			
SETBACKS	F.Y.	S.Y.	R.Y.	
	6m	1.2m	6m	
MAX. HEIGHT Residential:	11m			
MIN. LOT AREA	150m <sup>2</sup>			
MIN. FRONTAGE	6m			
RESIDENTIAL UNITS				
LOT 1 - SINGLE DETACHED	1			
LOT 2 - SINGLE DETACHED	1			
LOT 3 - SINGLE DETACHED	1			
TOTAL	3			

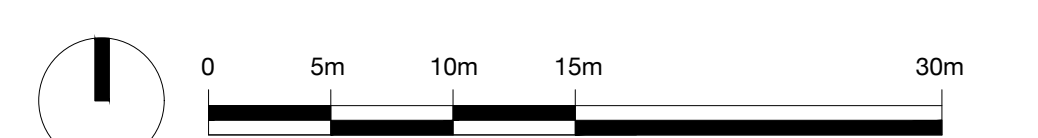
- NOTES**
- Assumes typical Residential floor height of 3m.
  - The base plan (lot lines, existing roads and surrounding areas) is based on the City's Open Data and aerial images. The site area is approximate and all dimensions need to be confirmed by a legal survey.

**1835 STITTSVILLE MAIN ST OTTAWA**  
 Concept Plan - Proposed Development



**LEGEND**

- EXISTING BUILDING
- PROPOSED BUILDING
- AMENITY AREA
- PROPERTY BOUNDARY
- SETBACKS
- DRAINAGE SWALE
- EXISTING PARKING
- EXISTING DECIDUOUS TREES
- EXISTING CONIFER TREES



No.	REVISION	DATE	BY
5	TH CONCEPT	2022.11.02	GV
4	TH CONCEPT	2022.10.19	GV
3	FOR CLIENT REVIEW	2022.02.02	LC
2	CONCEPT PLAN	2022.02.01	LC
1	BASE PLAN	2022.01.27	LC

CLIENT  
**JENNIFER MCGAHAN**

Committee of Adjustment  
 Received | Reçu le  
**2023-01-18**  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation

**FOTENN**  
 Planning + Design  
 396 Cooper Street, Suite 300, Ottawa ON K2P 2H7  
 613.730.5709 www.fotenn.com

DESIGNED	RP
REVIEWED	RP
DATE	2022.10.12

**P1**