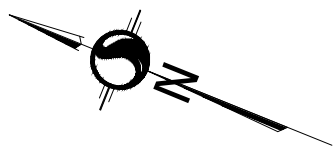


WOODROFFE AVENUE (REGIONAL ROAD No. 15)

PIN 03981-0094

(ROAD ALLOWANCE BETWEEN LOTS 25 & 26, CONCESSION 2 (OTTAWA FRONT))



Committee of Adjustment
Received | Reçu le

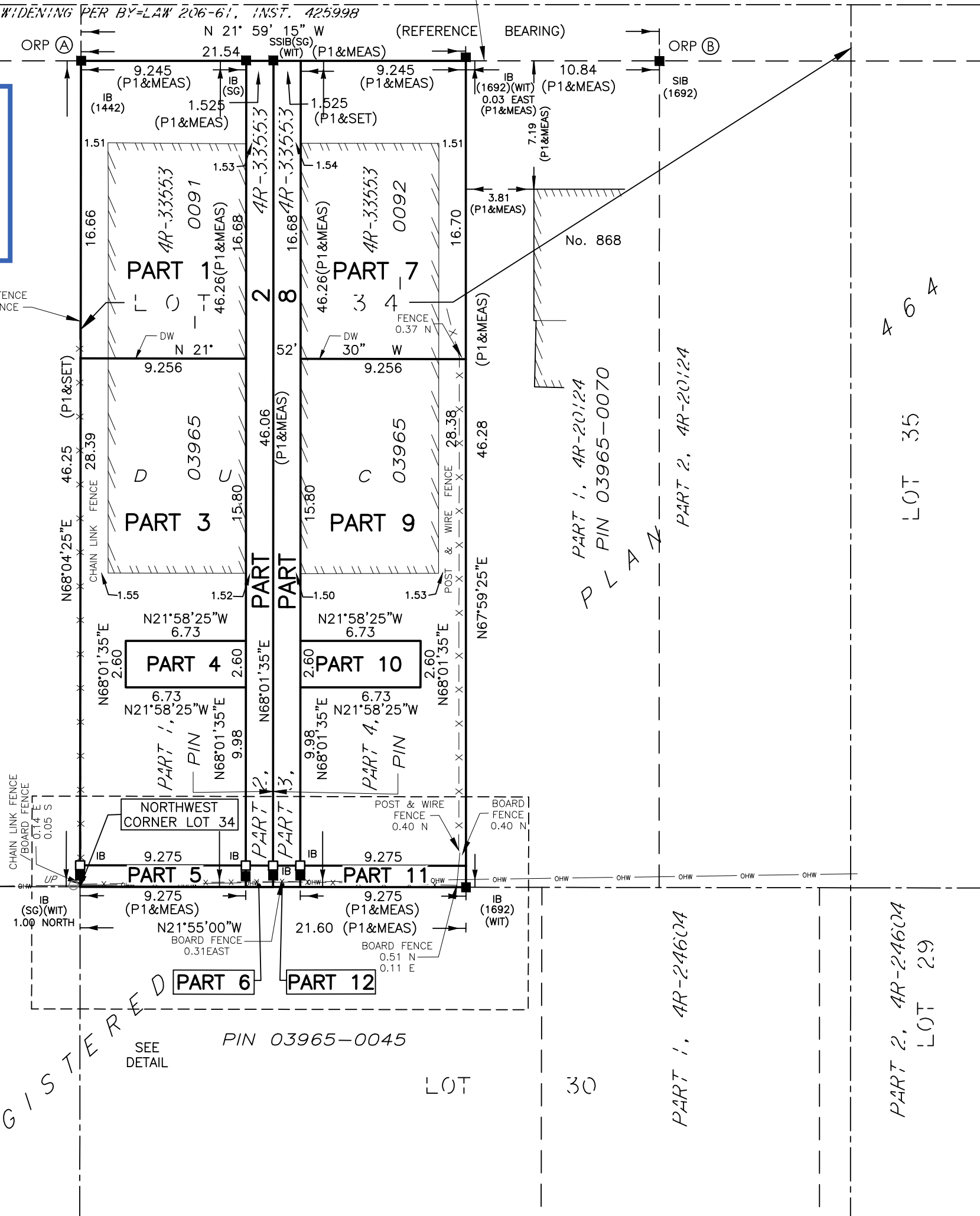
2023-01-23

City of Ottawa | Ville d'Ottawa
Comité de dérogation

CHAIN LINK FENCE
/BOARD FENCE
0.06 N

LOT 33

PIN 03965-0055



LOT 31
PIN 03965-0046
REGISTERED

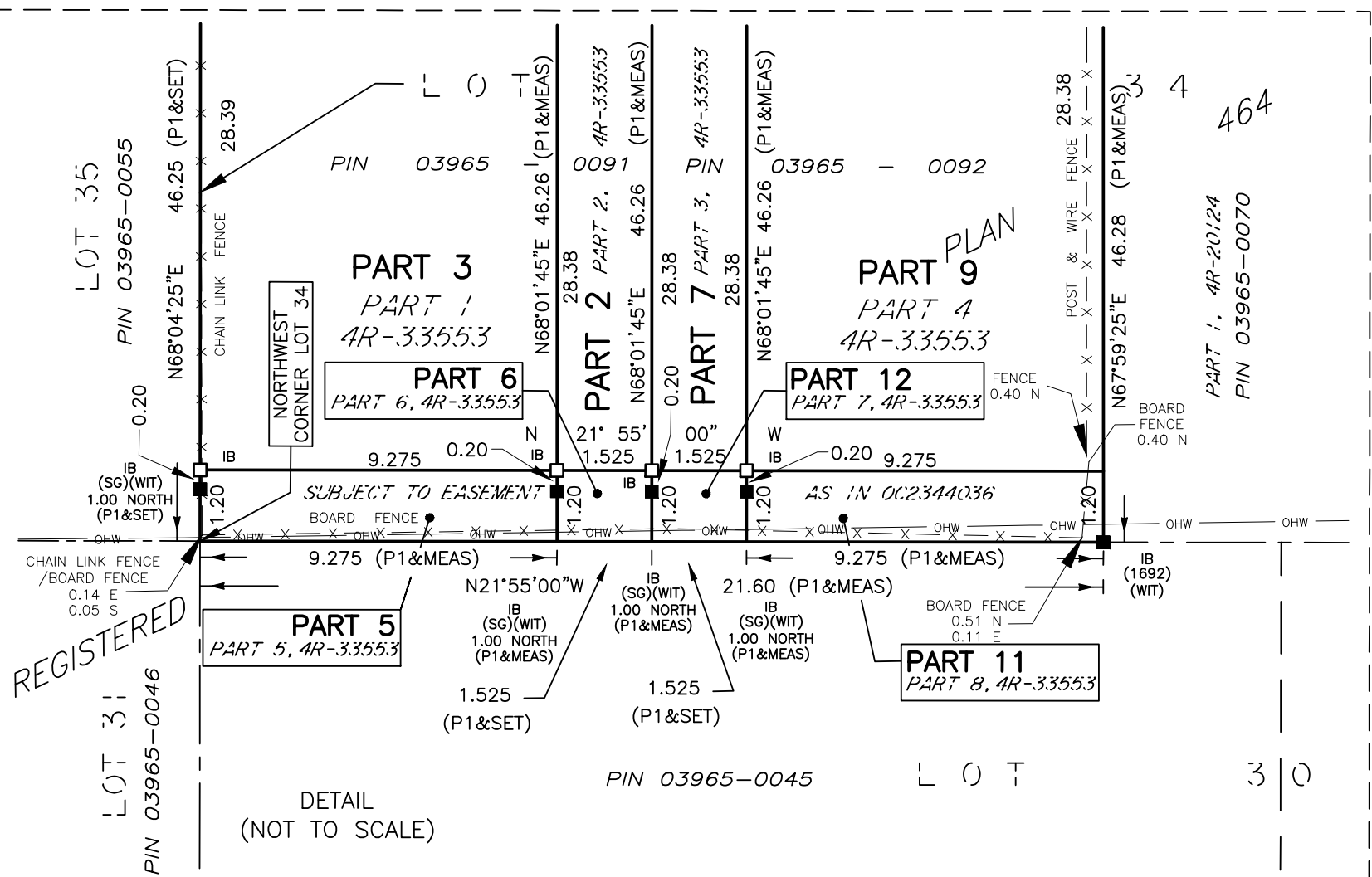
SEE
DETAIL

PIN 03965-0045

LOT 30

PART 1, 4R-20124
PIN 03965-0070

PART 2, 4R-24604
LOT 29



DETAIL
(NOT TO SCALE)

PIN 03965-0045

LOT 30

METRIC CONVERSION

DISTANCES AND COORDINATES SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE CONVERTED TO FEET BY
DIVIDING BY 0.3048

BEARING NOTE

BEARINGS ARE GRID AND ARE REFERRED TO THE
WESTERLY LIMIT OF WOODROFFE AVENUE AS SHOWN
ON PLAN 4R-32479, HAVING A BEARING OF
N21°59'15"W.

SCHEDULE

PART	LOT	PLAN	PIN
1	PART OF 34	464	ALL OF 03965-0091
2			
3			
4			
5			
6			
7			ALL OF 03965-0092
8			
9			
10			
11			
12			

PARTS 5, 6, 11 & 12 ARE SUBJECT TO EASEMENT AS IN OC2344036.
PARTS 1 TO 6 (INCLUSIVE) COMPRISE ALL OF PIN 03965-0091.
PARTS 7 TO 12 (INCLUSIVE) COMPRISE ALL OF PIN 03965-0092.

PLAN OF SURVEY OF

PART OF LOT 34 REGISTERED PLAN 464

CITY OF OTTAWA

Scale 1:250



Stantec Geomatics Ltd.

THE INTENDED PLOT SIZE OF THIS PLAN IS 459mm IN WIDTH BY 503mm IN HEIGHT WHEN
PLOTTED AT A SCALE OF 1:250.

LEGEND

DENOTES	FOUND MONUMENTS
■	SET MONUMENTS
IB	IRON BAR
IBØ	ROUND IRON BAR
SIB	STANDARD IRON BAR
SSIB	SHORT STANDARD IRON BAR
PIN	PROPERTY IDENTIFICATION NUMBER
MEAS	MEASURED
PROP	PROPORTIONED
OU	ORIGIN UNKNOWN
SG	STANTEC GEOMATICS LTD.
P	REGISTERED PLAN 464
P1	PLAN 4R-33553
E	EAST
N	NORTH
S	SOUTH
W	WEST
DW	APPROXIMATE CENTRE LINE OF DIVISION WALL
DUC	DWELLING UNDER CONSTRUCTION
UP	UTILITY POLE
OHW	OVERHEAD UTILITY WIRES

OBSERVED REFERENCE POINTS DERIVED FROM THE CAN-NET VRS NETWORK GPS
OBSERVATIONS ON NCC HORIZONTAL CONTROL MONUMENTS 19773035 AND 19680191.
CENTRAL MERIDIAN, 76°30' WEST LONGITUDE MTM ZONE 9, NAD83(CSRS)(2010.0).
COORDINATES TO URBAN ACCURACY PER SEC 14(2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
①	5025494.79	361845.58
②	5025464.77	361857.71
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.		

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS
ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE
UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 16th DAY OF NOVEMBER, 2021.

DATE

R. G. BENNETT
ONTARIO LAND SURVEYOR

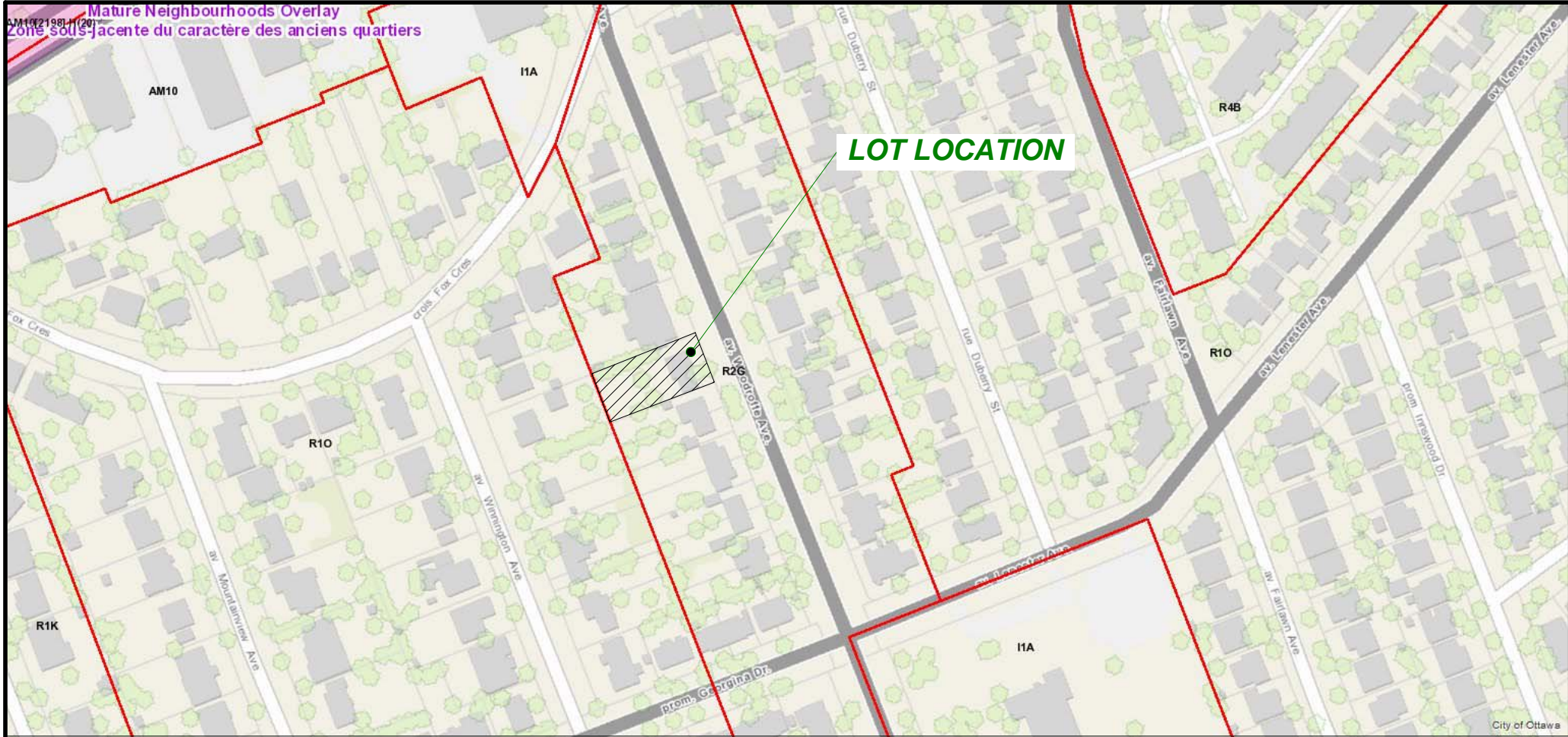
THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-39135.



Stantec Geomatics Ltd.

CANADA LANDS SURVEYORS
ONTARIO LAND SURVEYORS
1331 CLYDE AVENUE, SUITE 400
OTTAWA, ONTARIO, K2C 3G4
TEL. 613.722.4420
stantec.com

DRAWN: NJ/TMT | CHECKED: AB | PM: AB | FIELD: ES/AS | PROJECT No.: 161614204-214



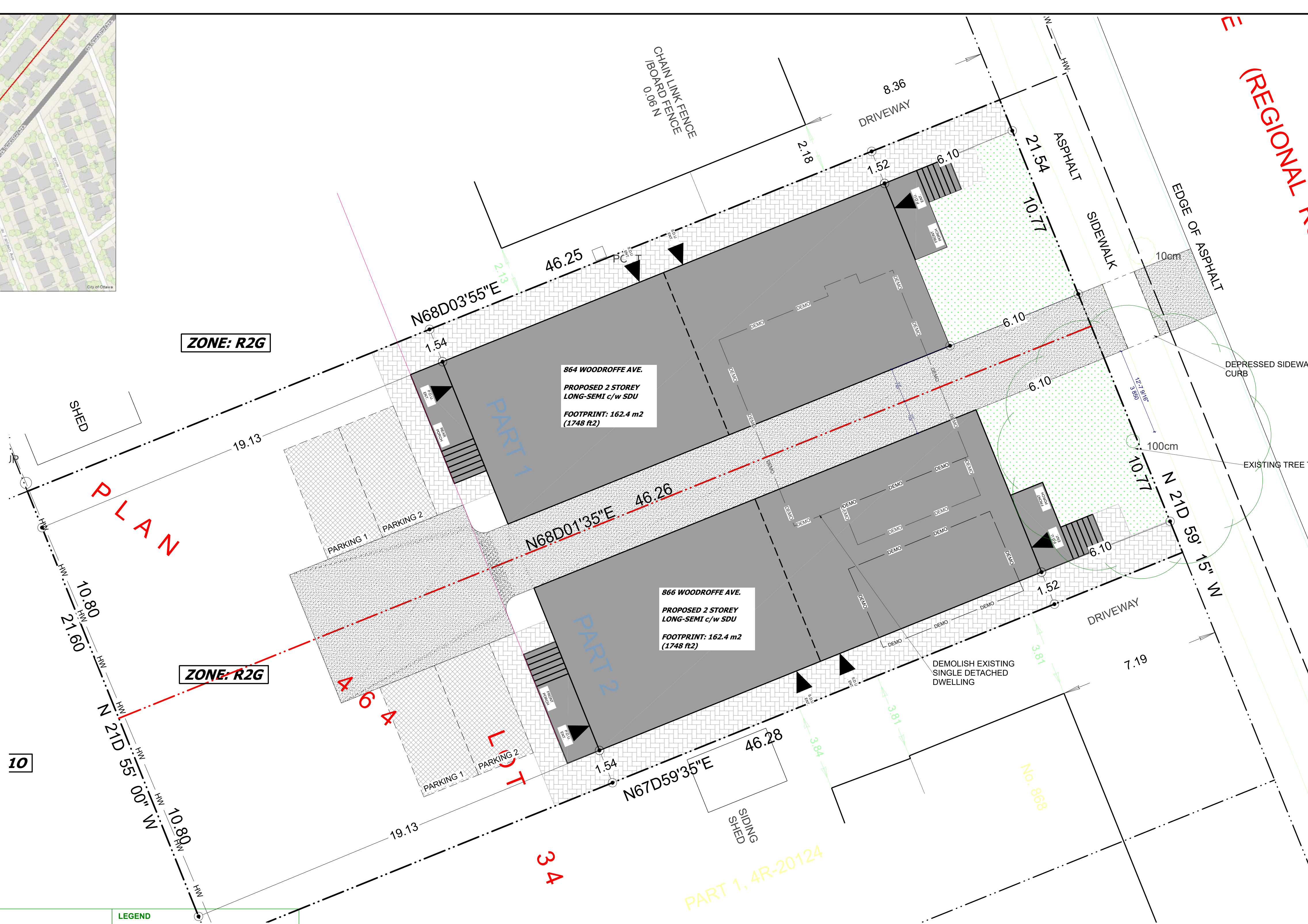
3 KEY PLAN & CONTEXT
A1 SCALE N.T.S.

2 SCHEMATIC SECTION
A1 SCALE 3/16" = 1'-0"

POLICY SUMMARY 2 STOREY LONG-SEMI c/w SDU 864/866 WOODROFFE AVENUE				
ZONING	R2G			
ZONING MECHANISMS	EXISTING	REQUIREMENT	PROPOSED	NOTES
PERMITTED USE	SINGLE	LONG SEMI	LONG SEMI	
MINIMUM LOT AREA	1002.6 m²	450 m2	501.3 m²	
MINIMUM LOT WIDTH	21.64 m	15 m	10.821 m	M.V.R.
MINIMUM FRONT YARD SET BACK	~8.1 m	6.0 m	6.096 m	
MINIMUM REAR YARD SET BACK	~28.9 m	30% of the lot depth 13.889 m	19.447 m	
MINIMUM REAR YARD AREA	? m²	Min. 25% of the lot area 112.5 m²	217.0 m²	
MINIMUM INTERIOR SIDE YARD SETBACK	~0.792 m	3 m total (1.2 m min.)	3.048 m total (1.524 m min.)	
MAXIMUM BUILDING HEIGHT	~6 m	8.0 m	8.0 m	
BUILDING FOOTPRINT	? m²		161.5 m²	
VEHICULE PARKING	1	0	2	
BICYCLE PARKING	0	0	0	
FLAG POLE WIDTH	n/a	3 m2	1,524 m²	
AMENITY AREA	? m²	n/a	n/a	

LEGEND	
	EX. TREE TO REMAIN
	DENOTES SOFT LANDSCAPING
	DENOTES HARD LANDSCAPING
	DENOTES RIVER STONE SURFACE
	PROPOSED BUILDING FOOTPRINT
	EXISTING BUILDING TO BE DEMOLISHED
	PROPOSED/EXISTING ENTRY/EXIT
	PROPERTY LINE

1 BUILDING LOCATION PLAN
A1 SCALE 3/32"8" = 1'-0"



AZUL DESIGNS - BCIN# 33578
2277 PROSPECT AVE.
OTTAWA, ON K1H 1Y2
FERNANDO MATOS - BCIN# 22431
613-864-4425
QUALIFICATION INFO
SMALL BUILDINGS
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
RESPONSIBILITIES:
DO NOT SCALE DRAWINGS
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2006
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER
COPYRIGHT RESERVED
GENERAL NOTES:

864/866 WOODROFFE AVENUE
SCOPE OF WORK: NEW 2-STOREY LONG-SEMI c/w SDU ON EACH NEWLY SEVERED LOT

CONSULTANTS: STRUCTURAL - MECHANICAL - ELECTRICAL -		MDV
4		
3	M.V. CHANGES	000000
2	PRELIMINARY	030000
1	REVISIONS/ISSUE	DATE
NO.		
PROJECT: 864/866 WOODROFFE AVENUE 864/866 WOODROFFE AVE. OTTAWA, ON --- 613-000-0000		
DRAWING NAME: SITE & LANDSCAPE PLAN		
DRAWN BY: F.M.	SHEET:	A1
DATE: MAR. 30, 2020		
SCALE: AS NOTED		

FILE NUMBER: D00-00-0000