

Committee of Adjustment
 SEP 04 2022
 City of Ottawa

SURVEYOR'S REAL PROPERTY REPORT
PART I Plan of
PART OF LOT 6
REGISTERED PLAN 51
CITY OF OTTAWA
FARLEY, SMITH & DENNIS SURVEYING LTD. 2022

Scale 1: 100
 0 1 2 3 4 5 7.5 10 metres

Metric Note
 Distances on this plan are in metres and can be converted to feet by dividing by 0.3048.

Bearing Note
 Bearings hereon are grid bearings derived from the northern limit of Anderson Street and are referred to the Central Meridian of MTM Zone 9 (76° 50' West Longitude) NAD-83 (Original).

For bearing comparisons, a rotation of 0° 59' 30" counter-clockwise was applied to bearings on P2, P3, P4, P8.

For bearing comparisons, a rotation of 0° 01' 10" counter-clockwise was applied to bearings on P6.

Notes & Legend

- Denotes
- Survey Monument Planted
 - Survey Monument
 - Short Standard Iron Bar
 - Iron Bar
 - CP
 - CP (6)
 - CP (6)
 - Marked
 - Registered Plan 51
 - Plan 48-16452
 - Plan 56-11227
 - Plan by (1692) dated March 11, 2010 (File No. 31-10)
 - Plan by (1692) dated March 11, 2010 (File No. 31-10)
 - Plan by (1319) dated September 20, 1986 (Ref No. 2-51)
 - Plan 48-28268
 - Plan by (1692) dated September 5, 2012 (File No. 328-12)
 - Inst. N239306
 - Utility Pole
 - Water Valve
 - Water Meter
 - Air Conditioner
 - Property Line

WARNING NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENNIS SURVEYING LTD.

PART 2
REGISTERED RIGHTS-OF-WAY/EASEMENTS
 The westerly 13.22m of the property is subject to an easement as described by Inst. N239306 EASEMENTS
 The location of the Building No. 89, enclosed deck, and edge of asphalt in relation to the property lines are noted on the plan.
COMPLIANCE WITH MUNICIPAL ZONING BYLAWS
 Compliance is not certified by this report.
ADDITIONAL REMARKS
 The area of the property is 107.7 square meters.

THIS REPORT WAS PREPARED FOR:
 James Sutherland
 (The Client), the Client's solicitors,
 who have advised that the Client has designated accepts no responsibility for use by other parties. See Part 2 of this report.

Surveyor's Certificate
 I certify that:
 1. This survey and plan are correct and in accordance with the Survey Act, the Regulations and the Regulations made under the Act.
 2. The survey was completed on the 12th day of April, 2022.

April 22/22
 Date
 Enad Alrezaal
 Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-2.5.7.6.
FARLEY, SMITH & DENNIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
 CANADA LAND SURVEYORS
 Unit 275, 30 COLCUNNANE ROAD, OTTAWA, ONTARIO K2E 7J6
 TEL: (613) 747-8626 Email: fsd@fsd.ca
 1/3/2023/03-32, 91 Anderson St., 91 Anderson St., Pt. 1.6 RP 51, 58PA, F.4/w

PROJECT DESCRIPTION:
 Building permit application for a change of use from a single family dwelling to a duplex.

Reference: City of Ottawa Inspection Report dated 22 July 2021 re: Inspection Permit No. 1910000

Notes:
 1. All work shall be done in accordance with the City of Ottawa Building Code and the Ontario Building Code.
 2. All work shall be done in accordance with the City of Ottawa Building Code and the Ontario Building Code.
 3. All work shall be done in accordance with the City of Ottawa Building Code and the Ontario Building Code.

LEGEND

SYMBOL	DESCRIPTION
[Pattern]	EXISTING WALL TO REMAIN
[Pattern]	NEW WALL TO BE CONSTRUCTED
[Pattern]	NEW WALL TO BE CONSTRUCTED WITH REINFORCED CONCRETE

DATE: 2022.08.20
DATE: 2022.02.04
DATE: 2022.02.04
DATE: 2022.02.04

NO. 1 SITE PLAN - EXISTING CONDITIONS
NO. 2 BASEMENT PLAN - EXISTING CONDITIONS
NO. 3 GROUND FLOOR PLAN - EXISTING CONDITIONS
NO. 4 SECOND FLOOR PLAN - EXISTING CONDITIONS

Scale: 1/4" = 1'-0"

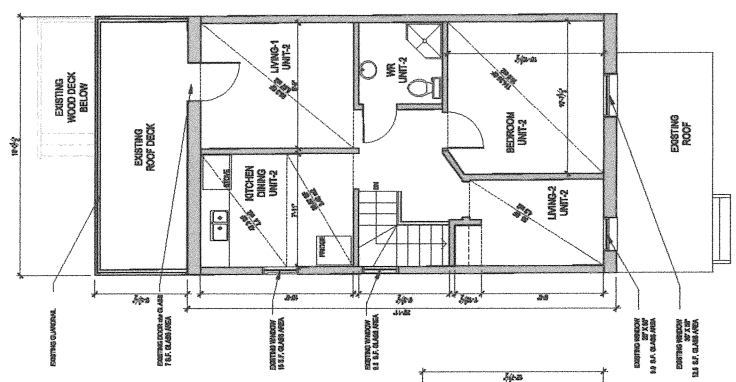
Lara Mc Kendrick Architecture Inc.
 101 BRIDGEWAY, K1Z 5G2
 613.728.4662
 www.laramckendrick.com

91 Anderson
Change of Use
 91 Anderson St., Ottawa ON

O.B.C. REVIEW
 Existing - Floor Plans

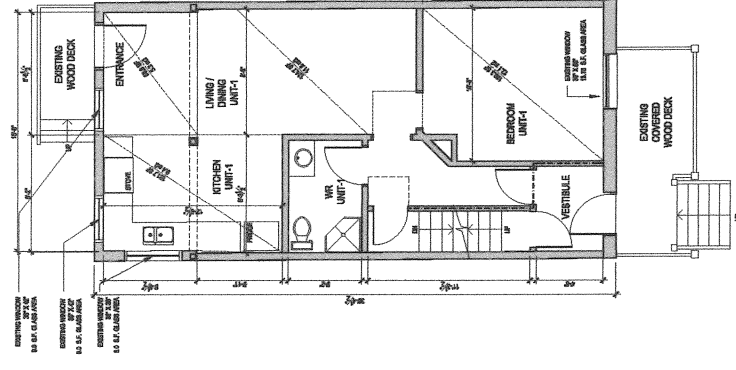
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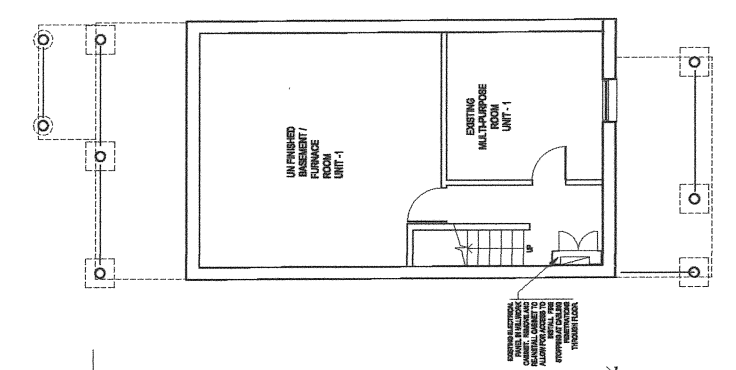
UNIT NO. 2 - Second Floor
 O.B.C. DESIGN AREA CALCULATIONS & MINIMUM WINDOW AREAS

DESIGNATION	NO. OF AREAS REQUIRED	NO. AREAS CALCULATED	AREA CALCULATED	AREA PROVIDED	AREA PROVIDED (if not provided by O.C.)
MINIMUM WINDOW AREA	12.3	12.3	12.3 sq. ft.	12.3 sq. ft.	12.3 sq. ft.
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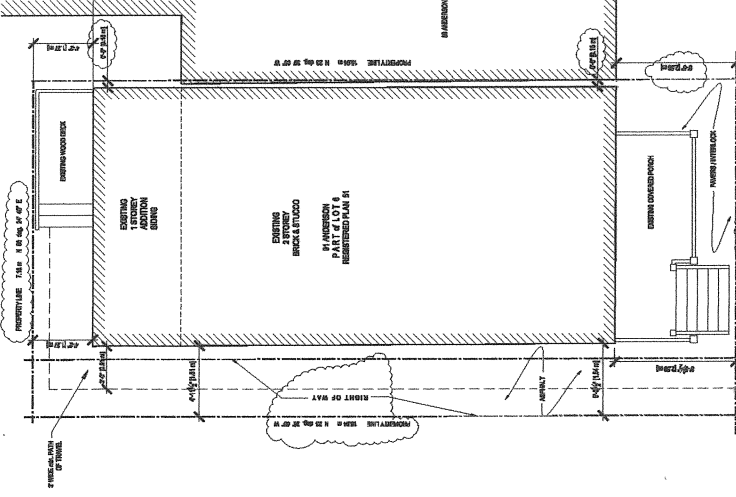
UNIT NO. 1 - Ground Floor
 O.B.C. DESIGN AREA CALCULATIONS & MINIMUM WINDOW AREAS

DESIGNATION	NO. OF AREAS REQUIRED	NO. AREAS CALCULATED	AREA CALCULATED	AREA PROVIDED	AREA PROVIDED (if not provided by O.C.)
MINIMUM WINDOW AREA	12.3	12.3	12.3 sq. ft.	12.3 sq. ft.	12.3 sq. ft.
MINIMUM WINDOW AREA	12.3	12.3	12.3 sq. ft.	12.3 sq. ft.	12.3 sq. ft.



UNIT NO. 1 - Basement
 O.B.C. DESIGN AREA CALCULATIONS & MINIMUM WINDOW AREAS

DESIGNATION	NO. OF AREAS REQUIRED	NO. AREAS CALCULATED	AREA CALCULATED	AREA PROVIDED	AREA PROVIDED (if not provided by O.C.)
MINIMUM WINDOW AREA	12.3	12.3	12.3 sq. ft.	12.3 sq. ft.	12.3 sq. ft.
MINIMUM WINDOW AREA	12.3	12.3	12.3 sq. ft.	12.3 sq. ft.	12.3 sq. ft.



UNIT NO. 1 - Site Plan
 O.B.C. DESIGN AREA CALCULATIONS & MINIMUM WINDOW AREAS

DESIGNATION	NO. OF AREAS REQUIRED	NO. AREAS CALCULATED	AREA CALCULATED	AREA PROVIDED	AREA PROVIDED (if not provided by O.C.)
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