

Committee of Adjustment  
Received | Reçu le

Revised | Modifié le : 2023-01-11

City of Ottawa | Ville d'Ottawa  
Comité de dérogation

PROJECT TITLE:

214 PRETORIA

Fourplex Nov. 2022

LEGAL DESCRIPTION

PART 1 OF LOT 2 SOUTH PRETORIA,  
REGISTERED PLAN 44376, CITY OF OTTAWA

Site Plan Based on Survey Completed  
by Startec Geomatics LTD.  
O.L.S. Dated Oct. 24, 2022.

ZONING AREA SUMMARY

TOTAL AREAS  
TOTAL GROSS FLOOR AREA: 410.8 SQ.M (4419 SQ.FT)  
TOTAL GROSS LEASABLE FLOOR AREA 410.8 SQ.M (4419 SQ.FT)  
GROSS FLOOR AREA LESS BASEMENT 322.3 SQ. M (3424 SQ.FT)  
TOTAL COMMON SPACE: 59.8 SQ.M (643 SQ.FT)  
Total Lot Size 339.19M

ONTARIO BUILDING CODE AREAS

BUILDING AREA 137 SQ. M (1479 SQ. FT)

AREA AT EXTERIOR FACE OF EXT. WALL

BASEMENT FACE OF FOUND'N WALL 126.9 SQ. M (1366SQ. FT)  
GROUND FACE OF CLAD'G / MNRY 128.9 SQ. M (1387 SQ. FT)  
SECOND FACE OF CLAD'G / MNRY 137.5 SQ. M (1479 SQ. FT)  
THIRD FACE OF CLAD'G 130.0 SQ. M (1399 SQ. FT)  
STAIR PENTHOUSE F/O OF CLAD'G 9.7 SQ. M (105 SQ. FT)

ZONING AREAS

BASEMENT LEVEL UNIT-01:  
GROSS FLOOR AREA: 92.5 SQ. M (995 SQ. FT)  
GROSS LEASABLE FLOOR AREA: 92.5 SQ. M (995 SQ. FT)  
COMMON SPACE: 15.1 SQ. M (163 SQ. FT)

GROUND LEVEL UNIT-02:  
GROSS FLOOR AREA: 102.3 SQ. M (1100 SQ. FT)  
GROSS LEASABLE FLOOR AREA: 102.3 SQ. M (1100 SQ. FT)  
COMMON SPACE: 15.7 SQ. M (168 SQ. FT)

SECOND LEVEL UNIT-03:  
GROSS FLOOR AREA: 110.6 SQ. M (1190 SQ. FT)  
GROSS LEASABLE FLOOR AREA: 110.6 SQ. M (1190 SQ. FT)  
COMMON SPACE: 14.5 SQ. M (156 SQ. FT)

THIRD LEVEL UNIT-04:  
GROSS FLOOR AREA: 105.4 SQ. M (1134 SQ. FT.)  
GROSS LEASABLE FLOOR AREA: 105.4 SQ. M (1134 SQ. FT.)  
COMMON SPACE: 14.5 SQ. M (156 SQ. FT)

LEGEND

- ▼ DENOTES LOCATION OF NEW OVERHEAD GARAGE DOOR (NOT APPLICABLE)
- ▼ DENOTES LOCATION OF SWING DOOR BUILDING ENTRANCE
- DENOTES EXTENT OF ROOF ABOVE
- DENOTES LOCATION OF PROPERTY LINE
- x - DENOTES LOCATION OF NEW PARKING AREA FENCING

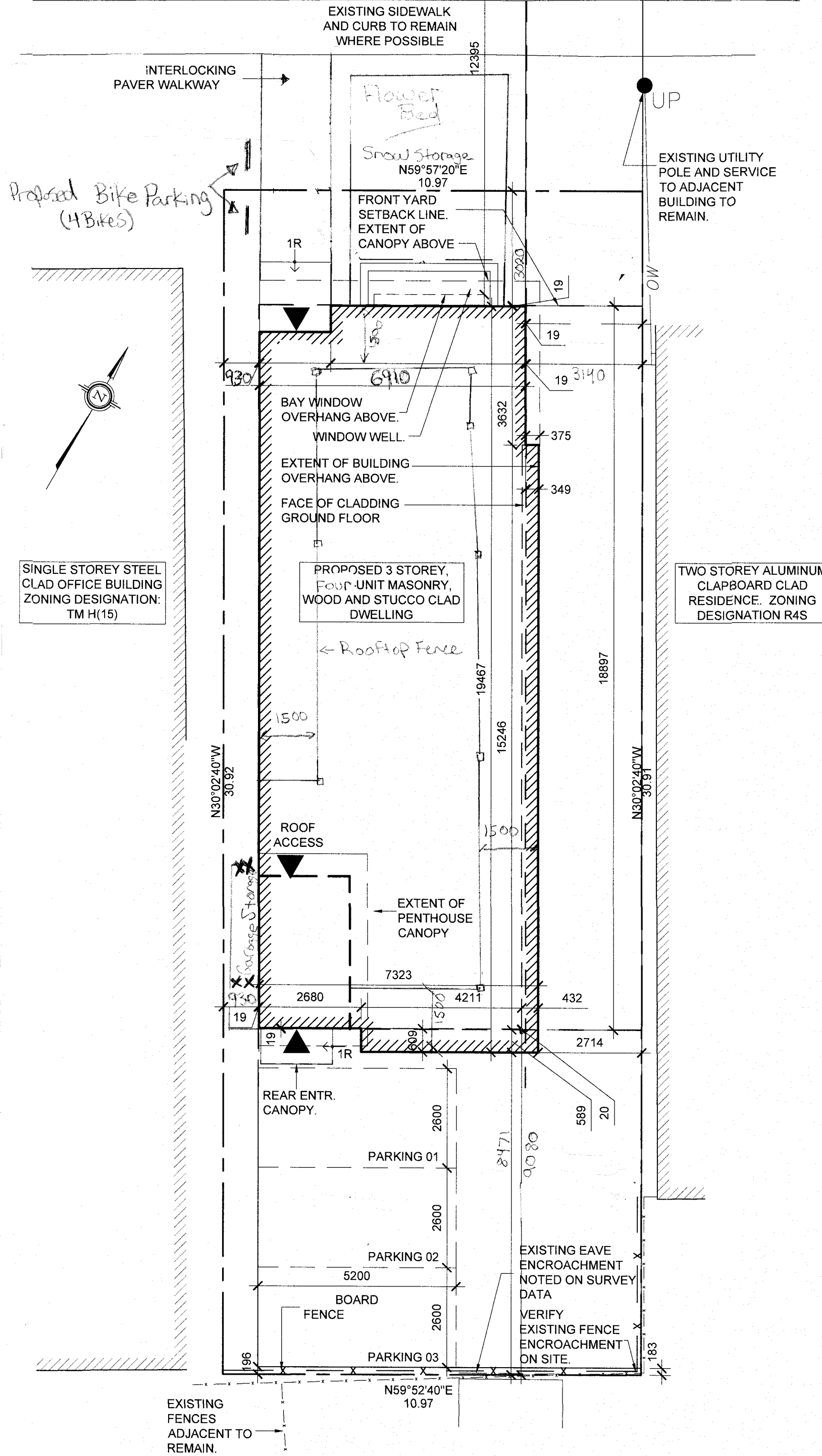
xx Garbage & Recycling  
- Racking with Cedar Panels  
Facing Street.

Scale 1:100

PRETORIA AVE.

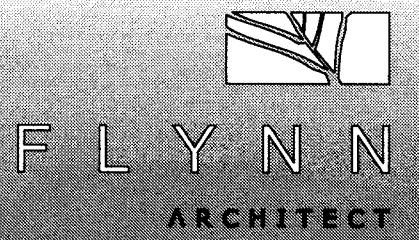
CENTERLINE OF STREET

NOTE:  
DISCONNECT AND REMOVE  
SERVICES TO EXISTING  
HOUSE. TERMINATE AT MAINS  
UNDER STREET.



SITE PLAN

SCALE 1:100



1154 BANK STREET OTTAWA, ONTARIO  
T: 613-299-8505 F: 866-587-2021

GENERAL NOTES

1. DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ONLY TO BE USED.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
3. ALL WORK DESCRIBED UNDER THIS CONTRACT TO COMPLY WITH ONTARIO BUILDING CODE, 2006 AND/OR NATIONAL BUILDING CODE, 1995 AND OTHER CODES AND BY-LAWS IN EFFECT.

ISSUE RECORD

ISSUE	REV	DESCRIPTION	DATE
01	00	FOR CLIENT REVIEW	07-07-11
02	01	FOR MINOR VAR'CE APP.	07-25-11
03	01	FOR CLIENT REVIEW	12-21-11
04	02	PRE PERMIT REVIEW	'12-02-01
05	03	PRELIM TO STRUCT.	'12-02-06
06	04	FINAL STRU'L REVIEW	'12-02-27
07	05	BUILDING PERMIT	'12-02-29
08	06	CONSTRUCTION	'12-04-27

No	DATE	REVISION
06	'12-04-27	GENERAL
05	'12-02-29	GENERAL
04	'12-02-27	STRUCUTRAL NOTES
03	'12-02-06	BUILDING FOOTPRINT
02	'12-02-01	GENERAL REVISIONS
01	07-25-11	GENERAL REVISIONS
00	07-07-11	ORIGINAL DOCUMENT

PROJECT NORTH

TRUE NORTH

ONARIO ASSOCIATION OF ARCHITECTS  
ARCHITECT  
MARK D. FLYNN  
OFFICE  
0131

CLIENT:  
CHRIS HAYMAN - OWNER  
Ken Hayman - OWNER

CONSULTANTS:

STRUCTURAL  
YANNICK DENIS  
GENIVAR INC.  
356 KIRKWOOD AV.  
OTTAWA, ON  
K1Z 8P1

SERVICES AND GRADING  
KALEB LAKEW  
KOLLARD AND ASSOCIATES ENGINEERS  
P.O. BOX 189, 210 PRESCOTT ST.  
KEMPTVILLE, ON  
K0G 1J0

Survey  
R.B. Bennett  
Startec Geomatics LTD.



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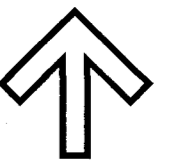
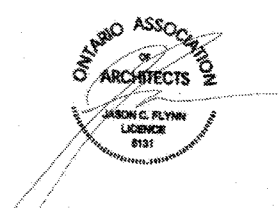
**ISSUE RECORD**

ISSUE	REV	DESCRIPTION	DATE
01	00	SCALE CORRECTION	MAR 27 2012
02	01	CONSTRUCTION	'12-04-27

No	DATE	REVISION
01	'12-04-27	GENERAL
00	MAR 27 2012	ORIGINAL DOCUMENT

No	DATE	REVISION

**PROJECT NORTH**

**CLIENT:**  
CHRIS HAYMAN

**CONSULTANTS:**  
**STRUCTURAL**  
YANNICK DENIS  
GENIVAR INC.  
356 KIRKWOOD AV.  
OTTAWA, ON  
K1Z 8P1

**SERVICES AND GRADING**  
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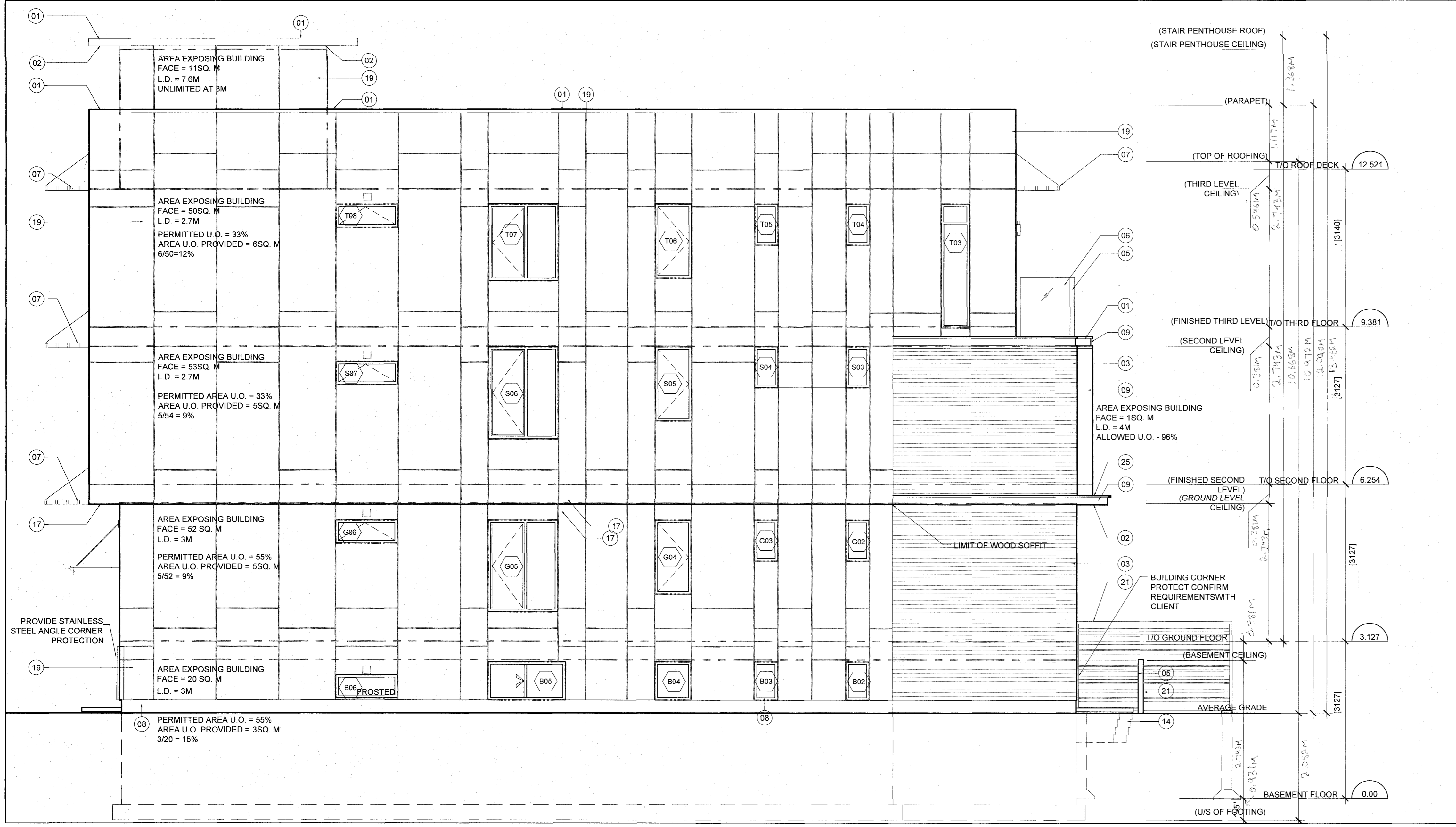
**PROJECT TITLE:**  
214 PRETORIA  
Fourplex

**DRAWING TITLE:**  
BUILDING ELEVATIONS

DATE	DRAWN BY	JOB No.	DRAWING No.
JAN 12	E.A.S. INC.	09-003	A-302

SCALE	CHECKED BY
AS NOTED	JCF

**ARCHITECTURAL**

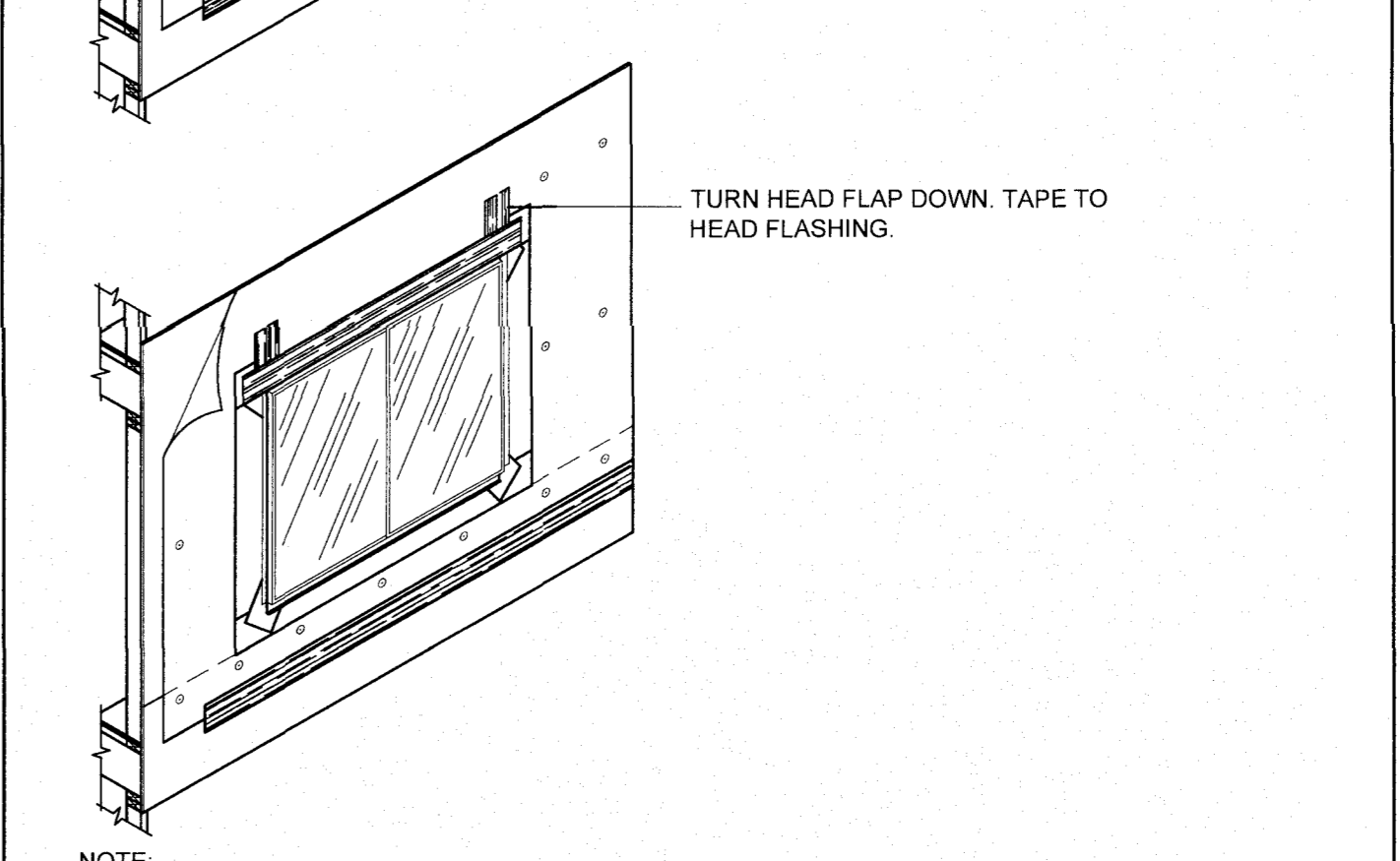
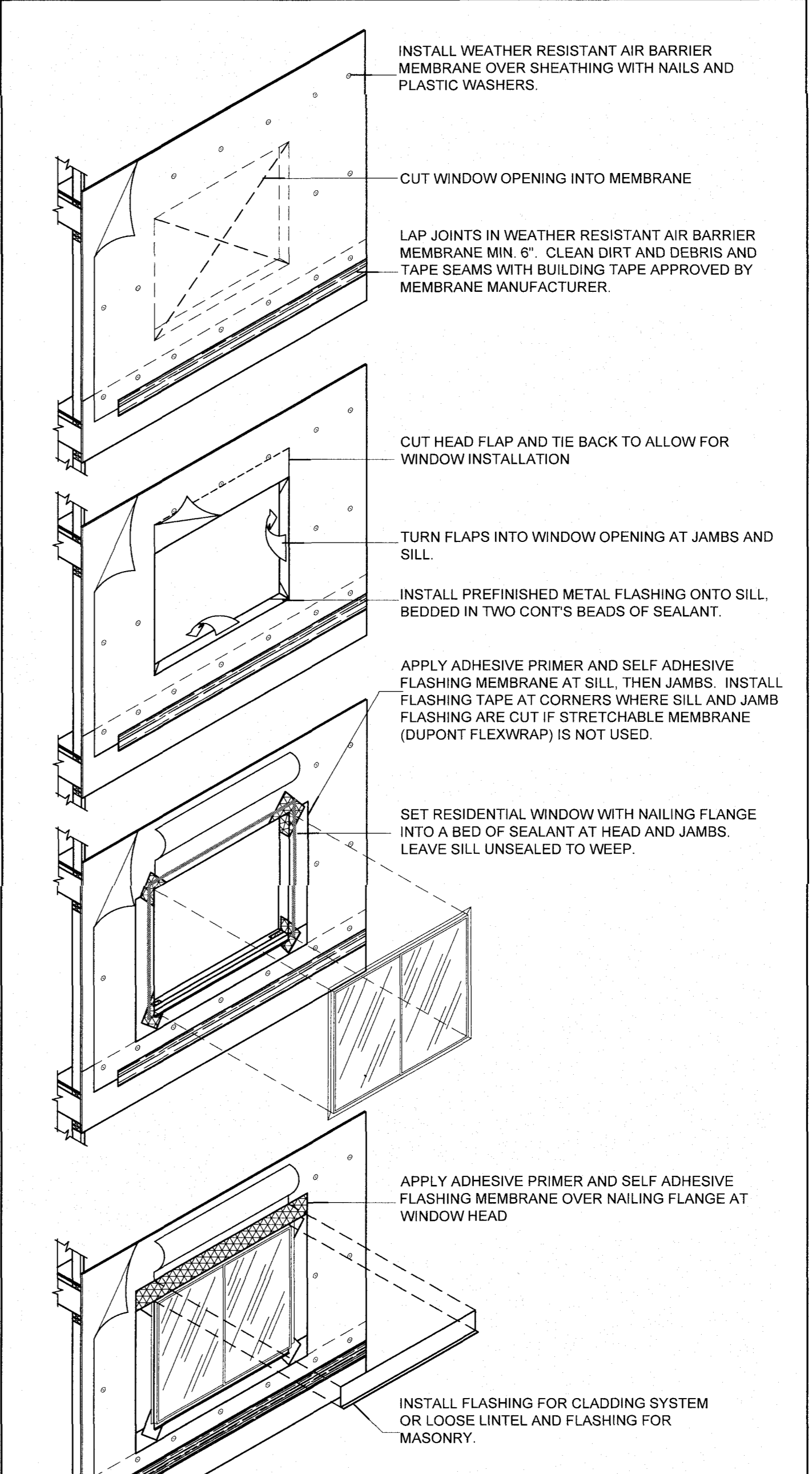


**01 WEST ELEVATION**  
SCALE 1/4" = 1'-0"

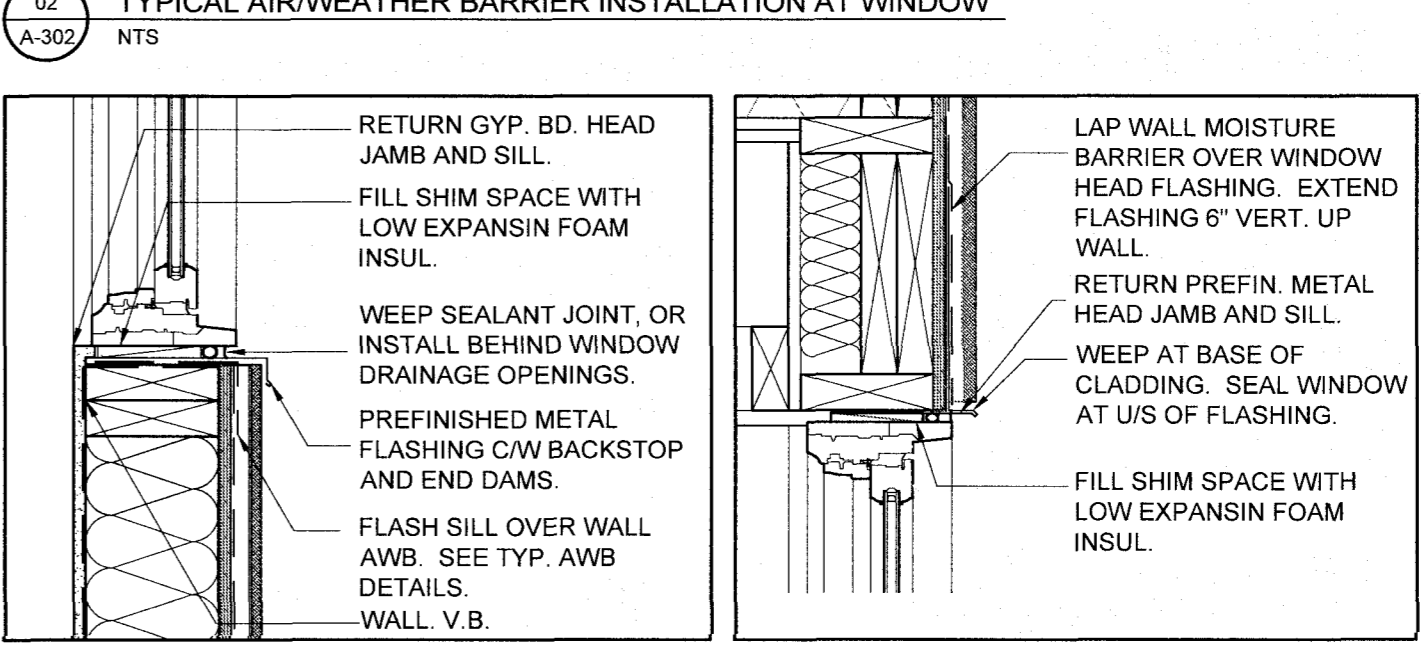
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- 01 PREFINISHED METAL FLASHING. COLOUR TO MATCH ADJACENT CLADDING MATERIAL.
  - 02 WOOD SOFFIT FINISHED WITH CETOL 123 CLEAR FINISH. ALL CEDAR FINISHES NOTED, PROVIDE CLEAR CEDAR.
  - 03 ARRISCRRAFT DRESSED STONE. FULL BED MASONRY, VARIED COURSING OF 4" (90MM) AND 10" (190MM) HIGH PRECAST CONCRETE STAIR/LANDING. SMOOTH FINISH (ARCHITECTURAL).
  - 04 POWDER COAT FINISHED STEEL GUARD SUPPORT. REFER TO DETAIL FOR FASTENING.
  - 05 3/4" LAMINATED CLEAR GLASS GUARD. REFER TO DETAIL FOR ATTACHMENT
  - 06 2 X 3 CEDAR WOOD HORIZONTAL SUN SCREEN SPACED 6" o.c. SUPPORTED FROM WALL WITH CABLES SEE DETAIL.
  - 07 CAST IN PLACE FOUNDATION WALL WITH CEMENT PARGING TO 6" BELOW GRADE.
  - 08 PREFINISHED METAL TO MATCH WINDOW FRAMES. LAMINATE METAL OVER PRESSURE TREATED PLYWOOD & BLOCKING.
  - 09 DARK GREY FIBERGLASS WINDOW FRAMES
  - 10 RECESSED MAILBOX MULTIPLE UNIT MAILBOX.
  - 11 PRE-CAST CONCRETE STAIR & LANDING ANCHOR TO FOUNDATION WALL
  - 12 POWDER COATED METAL BAR HANDRAIL
  - 13 GRAVITY RETAINING WALL WINDOW WELL
  - 14 TURN ROOF MEMBRANE MIN. 8" UP WALL. PROVIDE PREFINISHED METAL FLASHING TO MATCH WINDOW FRAMES. MIN. 2" STANDOFF FROM ROOF SURFACE TO CLADDING SYSTEM WHERE "8" IS REQUIRED.
  - 15 PROVIDE 3/8" - 3/4" WIDE SEALANT JOINT AT JUNCTIONS IN MATERIAL. VENTED DRAINED SEALANT JOINTS WEPT AT BOTTOM FOR PRESSURE EQUALIZED DRAINED AND VENTED CLADDING SYSTEMS. PROVIDE BOND BREAKING BACKUP.

- 17 5/16" SMOOTH JAMES HARDIE HARDIBOARD PANEL SOFFIT, NOT PERFORATED
- 18 P.T. WOOD DECK C/W 1 1/2" CEDAR WOOD DECKING AND 5/4" CEDAR WOOD FACING / SKIRT.
- 19 PREFINISHED CLADDING PANEL BY JAMES HARDIE C/W MANUFACTURER SUPPLIED METAL EDGE TRIM ACCESSORY.
- 20 OPEN CEDAR WOOD TRELLIS FRAMING.
- 21 2X4" HORIZONTAL WOOD SCREEN/GUARD. MAXIMUM 3/16" SPACE BETWEEN MEMBERS TO PREVENT CLIMBING PER 9.8.8.6. O.B.C. 2006
- 22 PREFINISHED EAVES TROUGH TO MATCH FASCIA C/W GUTTER HELMET
- 23 LETTERING - SURFACE MOUNTED RESTORATION HARDWARE MOUNTED TO MASONRY.
- 24 SURFACE MOUNTED LIGHT FIXTURE.
- 25 FLAT ROOF. CANTILEVER FRAMING WITH BLUESKIN AND PREFIN METAL CLADDING. SLOPE AWAY.
- 26 NOTE: UNLESS NOTED OTHERWISE HATCHING PATTERNS SHOWN FOR MATERIALS WITH REGULAR COURSING OR REPEATING PATTERNS ARE SCHEMATIC REPRESENTATIONS ONLY AND DO NOT REFLECT COURSING, LAYOUT, NOR ORGANIZATION. WHERE CLARIFICATION IS REQUIRED CONSULT ARCHITECT.
- 27 STEEL CHANNEL AND CEDAR FENCE BOARD PRIVACY SCREEN. METAL PAINTED TO MATCH PREFINISHED METAL FLASHING.



**02 TYPICAL AIR/WEATHER BARRIER INSTALLATION AT WINDOW**  
NTS



**03 SECTION DETAIL. TYPL WINDOW SILL**  
NTS

**04 SECTION DETAIL. TYPL WINDOW HEAD**  
NTS

**GENERAL NOTES**

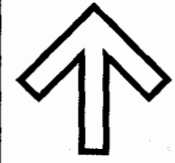

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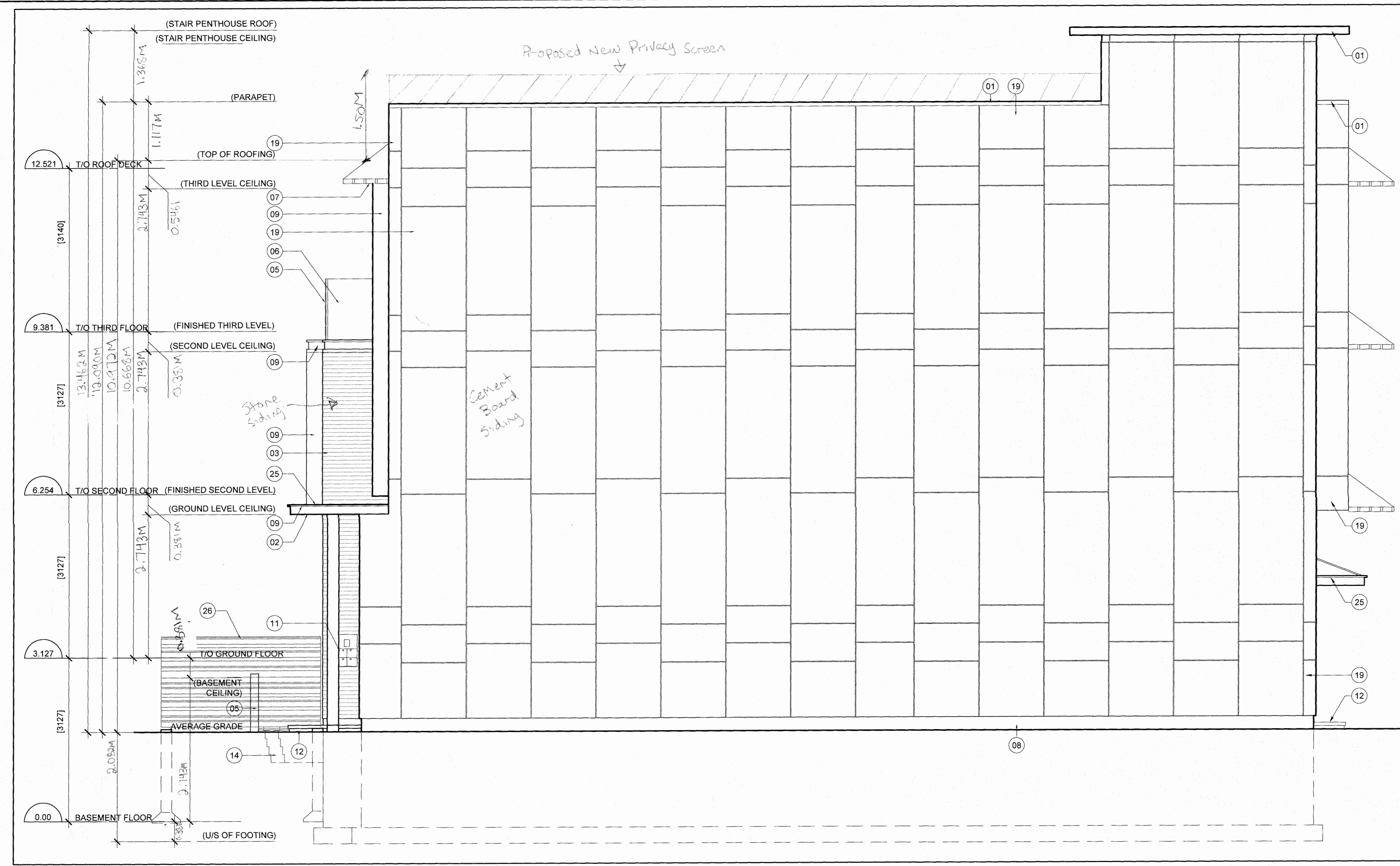
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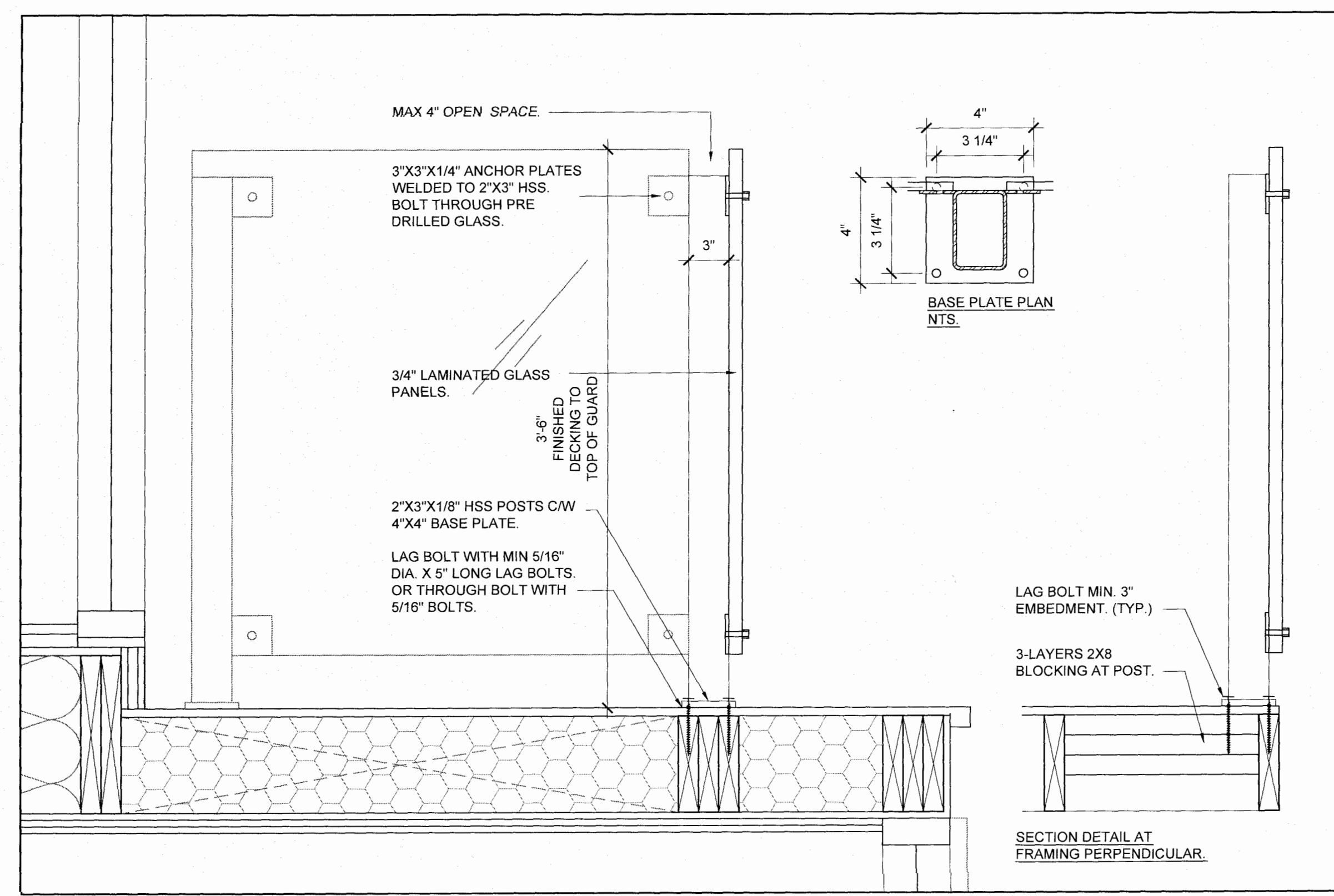
DATE	DRAWN BY	JOB No.	DRAWING No.
JAN '12	E.A.S. INC.		
SCALE AS NOTED	CHECKED BY JCF	09-003	A-300

**ARCHITECTURAL**



01 WEST ELEVATION  
SCALE 1/4" = 1'-0"

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03 STRUCTURAL DETAIL, GUARD ATTACHMENT (STRUCTURAL ONLY)  
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