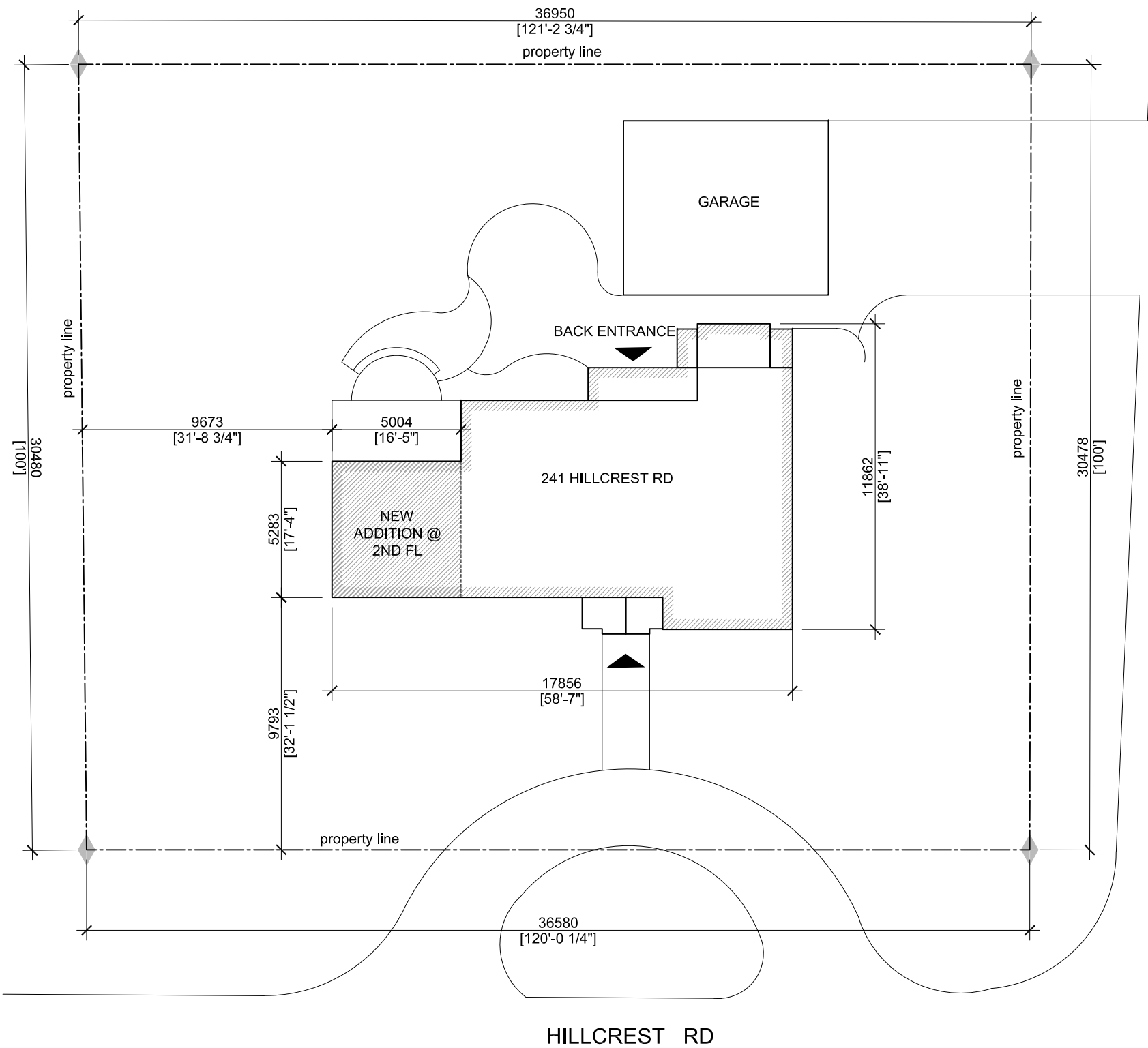


Plotter: Page Setup: Plot Date: Plot Time: Plot By: D-22-GEN-37 PLOT STAMP FOR EJC USE ONLY



### ZONING REVIEW:

ADDRESS: 241 HILLCREST ROAD, KANATA, ON  
 ZONING: R1BB(1258)  
 EXISTING USE: 3-STOREY SINGLE HOUSE  
 PROPOSED USE: 3-STOREY SINGLE HOUSE W/ ADDITION  
 ON TOP OF EXISTING

	REQUIRED	PROVIDED
MINIMUM LOT AREA:	11,948 ft <sup>2</sup> (1,110m <sup>2</sup> )	12,060 ft <sup>2</sup> (1,120m <sup>2</sup> )
MINIMUM LOT WIDTH:	98.4 ft (30m)	120 ft (36.58m)
MAXIMUM BUILDING HEIGHT:	36 ft (11m)	±23.7 ft (7.23m)
	MINIMUM:	N/A
MINIMUM FRONT YARD SETBACK:	9.8 ft (3m)	24.83 ft (7.5m)
	MAXIMUM:	N/A
MINIMUM REAR YARD SETBACK:	24.6 ft (7.5m)	31.5 ft (9.6m)
MINIMUM CORNER SIDE YARD SETBACK:	N/A	
	MAXIMUM:	N/A
MINIMUM INTERIOR SIDE YARD SETBACK:	1.8m in total w/ existing	one yard no less than 0.6m
MAXIMUM LOT COVERAGE:	N/A	
eaves:	1m, but not < 0.3m to lot line	
SECONDARY DWELLING UNIT:	N/A	
maximum floor area:		

### FLOOR AREAS:

BUILDING AREA:	1,593 ft <sup>2</sup> (148m <sup>2</sup> )
EXISTING GROUND FLOOR:	1,593 ft <sup>2</sup> (148m <sup>2</sup> )
EXISTING 2ND FLOOR:	1,285 ft <sup>2</sup> (120m <sup>2</sup> )
EXISTING 3RD FLOOR:	400 ft <sup>2</sup> (37m <sup>2</sup> )
ADDITION 2ND FLOOR:	290 ft <sup>2</sup> (27m <sup>2</sup> )



**1 SITE PLAN**  
**A1.0 SCALE: 1:200**

PROJECT NORTH TRUE NORTH

<b>BING PROFESSIONAL ENGINEERING INC.</b> 150 Katimavik Rd, Unit 204, Ottawa, ON K2L 2N2 Phone: (613) 435 - 6665 E-mail: welcome@bingpro.ca	JOB EXISTING 3-STOREY DETACHED SINGLE HOUSE ALTERATION 241 Hillcrest Road, Kanata, ON K1M 0J4	DATE: 2022-08-15	DRAWN: CHS	DRAWING No. <b>ASK A1.0</b> FILE.DWG
	DRAWING SITE PLAN	REV DATE: AS NOTED	REV. No: PART OF:	
		REFER:	PROJ. No: O-22-GEN-37	

**GENERAL NOTES:**

- ALL DRAWINGS ARE THE PROPERTY OF ARCHITECT. NO REPRODUCTION MAY BE MADE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ALL REPRODUCTIONS MUST BEAR THE NAMES OF THE ARCHITECT.
- ALL WORK SHALL BE COMPLETE IN ACCORDANCE WITH THE LATEST EDITION OF 2012 ONTARIO BUILDING CODE, PART 9 AND ALL APPLICABLE SUPPLEMENTS AND ANY MUNICIPAL BYLAWS.
- THESE DRAWINGS SHALL NOT BE SCALED. FOLLOW GIVEN DIMENSIONS ONLY.
- ALL DIMENSIONS ARE IMPERIAL UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TO FACE OF WOOD STUDS, FACE OF CONCRETE FOUNDATION WALLS AND SLABS, TOP OF FLOOR JOISTS AND UNDERSIDE OF ROOF TRUSSES.
- PRIOR TO COMMENCEMENT OF WORK REPORT ANY DISCREPANCIES TO THE ARCHITECT AND ENGINEER.
- VARIATIONS AND MODIFICATIONS TO WORK SHOWN SHALL NOT BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF ARCHITECT.
- DISPOSE OF CONSTRUCTION WASTE AND ANY UNWANTED MATERIALS IN ACCORDANCE WITH LOCAL AND PROVINCIAL BYLAWS, CODES AND REGULATIONS.
- CONTRACTOR SHALL ENSURE THAT ALL AREAS ADJACENT TO WORK AREA ARE PROTECTED FROM DAMAGE THAT MAY RESULT FROM NEW CONSTRUCTION.
- APPLICATIONS AND COSTS OF ALL NOTICES, PERMITS, FEES, TESTS AND REPORTS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SITE VERIFY ALL ROUGH OPENING DIMENSIONS OF DOORS AND WINDOWS, PRIOR TO ORDER AND FABRICATION.
- ALL BATHROOM, LAUNDRY ROOM AND KITCHEN EXHAUSTS SHALL BE VENTED TO OUTDOOR.
- ALL HANDRAILS SHALL BE 915mm HIGH AND ALL GUARDRAILS SHALL BE 1100mm HIGH, CONFORMING TO OBC SB-3.
- 6 mil (0.15mm) POLYETHYLENE SHEET VAPOR BARRIER SHALL BE CONTINUOUS ON UNDERSIDE OF CONCRETE SLABS, INTERIOR OF FOUNDATION WALLS, INTERIOR OF EXTERIOR WALL WOOD STUDS, UNDERSIDE OF SUBFLOORS AND TOP OF DRYWALL CEILING BELOW ATTIC SPACE. TAPE AND SEAL ALL PENETRATIONS THROUGH VAPOR BARRIER.
- PROVIDE POLY SHEET SEPARATOR BETWEEN WOOD STUDS AND CONCRETE.
- ROOF VENT AREA SHALL BE A MINIMUM 1/300 OF THE INSULATED CEILING AREA WITH MINIMUM OF 25% AT TOP OF ATTIC SPACE AND MINIMUM 25% AT SOFFIT. PROVIDE CROSS - VENTILATION BETWEEN DIFFERENT ATTIC SPACE COMPARTMENTS
- INSTALL 13mm DENSSHIELD TILE BACKER SHEATHING OR CEMENT BOARD AT SHOWER AND BATHTUB LOCATIONS.

**EXTERIOR WALL TYPES:**

- ES0** WOOD STUD WALL, LOAD BEARING, EXISTING
  - NEW EXTERIOR STUCCO FINISH W/ REINFORCING MECH & CORNER PROTECTION. STUCCO COLOUR & TEXTURE TO MATCH EXISTING
  - EXISTING 1" (25mm) RIGID INSULATION (R5)
  - EXISTING AIR BARRIER
  - EXISTING 7/16" (11mm) OSB SHEATHING
  - EXISTING 2X6 (38X140mm) WOOD STUDS AT 16" (400mm) O.C.
  - EXISTING 5-1/2" (140mm) BATT INSULATION (R22)
  - NEW 6mil (0.15mm) POLYETHYLENE VAPOR BARRIER (V.B.)
  - NEW 13mm (1/2") GYPSUM BOARD

\* REPLACE EXISTING V.B. W/ NEW, LAP & SEAL TO EXISTING
- ES1** WOOD STUD WALL, LOAD BEARING
  - EXTERIOR STUCCO FINISH W/ REINFORCING MECH & CORNER PROTECTION. STUCCO COLOUR & TEXTURE TO MATCH EXISTING
  - RIGID INSULATION, THICKNESS TO MATCH EXISTING, MIN. 1" (R5)
  - AIR BARRIER, LAP & SEAL ONTO EXISTING
  - 7/16" (11mm) OSB SHEATHING
  - 2X6 (38X140mm) WOOD STUDS AT 16" (400mm) O.C.
  - 3-1/2" THICK SPRAYED FOAM INSULATION, CLOSED CELL, MEDIUM DENSITY (R21), LAP & SEAL ONTO EXISTING POLY SHEEL V.B.
  - NEW 13mm (1/2") GYPSUM BOARD
- ES2** WOOD STUD WALL, GABLE, NON-LOAD BEARING
  - EXTERIOR STUCCO FINISH TO BE FLUSH W/ STUCCO FINISH BELOW
  - RIGID INSULATION
  - 7/16" (11mm) OSB SHEATHING
  - 2X6 (38X140mm) WOOD STUDS AT 16" (400mm) O.C. TO ALIGN UP STUD WALL BELOW

**INTERIOR WALL TYPES:**

- IS1** INTERIOR WOOD STUD WALL, NON-LOAD BEARING
  - 1/2" (12mm) GYPSUM BOARD
  - 2X4 (38X89mm) WOOD STUDS @ 24" (600mm) O.C.
  - 1/2" (12mm) GYPSUM BOARD (CEMENT BOARD AT WET AREA)

IS1\* - NO GYPSUM BOARD SHEATHING AT CONCEALED SIDE
- IS2** INTERIOR WOOD STUD NON-LOAD BEARING WALL
  - 1/2" (13mm) GYPSUM BOARD
  - 2X6 (38X140mm) WOOD STUDS @ 24" (600mm O.C.)
  - 1/2" (13mm) GYPSUM BOARD
- IS3** INTERIOR FURRING WALL + SPRAYED FOAM INSUL.
  - EXISTING CONC. BLOCK EXTERIOR STRUCTURAL WALL
  - 1/2" (13mm) AIR GAP
  - 2X4 (38X89mm) WOOD STUDS @ 24" (600mm O.C.)
  - 4" (102mm) SPRAYED FOAM INSUL.. CLOSED CELL AS V.B.
  - 1/2" (13mm) GYPSUM BOARD

**FLOOR CONSTRUCTION:**

- WF1** WOOD FLOOR JOISTS, EXISTING
  - FLOOR FINISH AND UNDERLAY, FINISHED FLOOR TO BE FLUSH W/ ADJACENT EXISTING FINISHED FLOOR
  - 5/8" (16mm) T&G PLYWOOD SUBFLOOR, GLUED & NAILED
  - 2X4 (2X6) WOOD SLEEPER @ 16"(400mm) O.C., CUT TO SUIT
  - EXISTING HARDWOOD FLOOR
  - EXISTING 5/8" (16mm) T&G OSB SUBFLOOR
  - EXISTING 6mil POLY SHEET VAPOUR BARRIER
  - EXISTING 2X12 WOOD JOISTS @ 12" O.C.
  - EXISTING R32 BATT INSULATION
  - EXISTING 2" RIGID INSULATION
- WF2** WOOD FLOOR JOISTS
  - FLOOR FINISH AND UNDERLAY, FINISHED FLOOR TO BE FLUSH W/ ADJACENT EXISTING FINISHED FLOOR
  - PLYWOOD SUBFLOOR TO SUIT
  - 5/8" (16mm) T&G PLYWOOD FLOOR SHEATHING, GLUED & NAILED
  - REINSTALL & LEVEL EXISTING 2X12 WOOD JOISTS @ 12" O.C., PROVIDE WD BLOCK @ MID SPAN
  - 1/2"X2" (13X50mm) WOOD STRAPPING
  - 1/2" (13mm) GYPSUM BOARD CEILING

**ROOF CONSTRUCTION:**

- R1** ROOF WOOD RAFTERS, SEE ELEVATIONS FOR SLOPE, MIN. R31
  - ASPHALT SHINGLE
  - SHINGLE UNDERLAY
  - APPLY ICE & WATER SHIELD MIN. 900mm UP ROOF AND MIN. 450mm INSIDE OF INTERIOR FACE OF EXTERIOR WALL.
  - 7/16" (11mm) EXTERIOR GRADE PLYWOOD ROOF SHEATHING W/ "H" CLIP
  - 2X6 WOOD RAFTERS @16"(400mm)
  - 5 1/2" (140mm) MEDIUM DENSITY CLOSED CELL MEDIUM DENSITY SPRAYED FOAM INSULATION, R31 MIN.
  - FURRING CHANNELS @ 16" (400mm) O.C. TO ACCOMMODATE CONDUITS AND RECESSED LIGHT FIXTURES
  - 1/2" (13mm) GYPSUM BOARD CEILING, SLOPED

\* ALONG ALL ROOF VALLEYS & CONJUNCTIONS WITH WALL, PROVIDE CONTINUOUS PRE-FINISHED METAL FLASHINGS & SELF-ADHESIVE V.B. MEMBRANE UNDERNEATH. EXTEND MTL FLASHING MIN. 4" AND V.B. MEMBRANE MIN. 10" @ EACH SIDE.



11-11-2022

**LEGEND & ABBREVIATION:**

- ### DOOR NUMBER
- W# WINDOW NUMBER
- ES# EXTERIOR STUD WALL TYPE
- IS# INTERIOR STUD WALL TYPE
- C# CEILING TYPE
- R# ROOF CONSTRUCTION TYPE
- WF# FLOOR CONSTRUCTION TYPE
- XXXXXXXXX ### ROOM NAME AND NUMBER
- FD FLOOR DRAIN
- REMOVE EXISTING CONSTRUCTION & ASSEMBLIES
- EXISTING BUILDING AND CONSTRUCTION TO REMAIN
- EXISTING DOOR, FRAME & HARDWARE TO REMAIN
- NEW DOOR, FRAME & HARDWARE

**STRUCTURAL TABLES:**

- POST LEGEND**  
p3 = 3 - 38 x 140 (2"x6") - POST
- WOOD BEAMS AND LINTELS**
- L1: 3-1.75" X 11.875" LVL NORDIC LAM INDUSTRIAL 24F - 1.9E,
  - L2: 2-1.75" X 11.875" LVL NORTIC LAM INDUSTRIAL 24F - 1.9E.
  - L3: 2-1.75" X 9.5" LVL NORTIC LAM INDUSTRIAL 24F - 1.9E.
- LVL BEAMS SHALL BE LP LVL, 2900Fb-2,0E OR EQUIVALENT. NAIL EACH PLY OF LVL WITH 89mm LONG COMMON WIRE NAILS @300mm(12") O/C. STAGGERED IN 2 ROWS FOR 184,240 AND 300MM DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS, FOR 4 PLY MEMBERS, ADD 13mm Dia. GALVANIZED BLOTS BOLTED AT MID-DEPTH OF BEAM@915mm O/C.
- LUMBER S.P.F. SPRUCE NO.2 MIN.

**BING PROFESSIONAL ENGINEERING INC.**

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Phone: (613) 435 - 6665 E-mail: welcome@bingpro.ca

JOB	EXISTING 3-STOREY DETACHED SINGLE HOUSE ALTERATION	
	241 HILLCREST RD, OTTAWA, ON K1M 0J4	
DRAWING	INFORMATION SHEET	

DATE:	2022-11-08	DRAWN:	CHS
REV DATE:		REV. No:	
SCALE:	AS NOTED	PART OF:	
REFER:		PROJ. No:	O-22-GEN-37

DRAWING No. **A0.1**  
FILE.DWG

**DEMOLITION GENERAL NOTES:**

1. LOCALLY SAWCUT AND REMOVE EXISTING CONCRETE SLAB AS REQUIRED FOR INSTALLATION OF NEW UNDER-SLAB PLUMBING. REINSTATE CONCRETE SLAB & UNDER-SLAB VAPOR BARRIER.
2. LOCALLY REMOVE EXISTING CONSTRUCTION AND FINISHES AS REQUIRED FOR NEW WORK. REINSTATE TO MATCH EXISTING.

**DEMOLITION DRAWING NOTES:**

- 1 COMPLETELY REMOVE ALL EXISTING INTERIOR DRYWALL SHEATHING IN ROOMS INCLUDING WALL AND CEILING, UNLESS NOTED OTHERWISE.
- 2 REMOVE EXISTING FIREPLACES & CHIMNEY & ALL WOOD STUD FURRING WALLS. EXISTING CONCRETE BLOCK WALL TO REMAIN INCLUDING BLOCKS ABOVE DOORWAY AND RECESS CHAMBER. PROVIDE TEMPORARY STRUCTURAL SUPPORT IF REQUIRED PRIOR TO REMOVAL.
- 3 EXISTING WOOD FLOORING AND OSB SUBFLOOR TO REMAIN.
- 4 EXISTING COLUMNS TO REMAIN.
- 5 EXISTING INTERIOR PARTITION WALL TO REMAIN. REMOVE EXISTING DRYWALL SHEATHING.
- 6 REMOVE EXISTING INTERIOR PARTITION WALLS, DOORS, AND HARDWARE.
- 7 EXISTING INTERIOR WALL TO REMAIN
- 8 REMOVE EXISTING CABINET MILLWORK, SINK AND OVEN. REVISE ASSOCIATED EXISTING PLUMBING AND EXHAUSTS. FILL EXISTING EXTERIOR WALL OPENINGS AS REQUIRED.
- 9 REMOVE EXISTING STAIR.
- 10 REMOVE EXISTING LANDING. SEE NEW PLAN FOR NEW FLOOR ELEVATION.
- 11 REMOVE EXISTING CONCRETE BLOCK WALL. PRIOR TO THE REMOVAL, CONFIRM EXISTENCE OF EXISTING COLUMN TO REMAIN
- 12 REMOVE EXISTING ROOFING, FASCIA CROWN MOULD, AND SOFFIT. TEMPORARIELY REMOVE EXISTING SLOPED ROOF JOISTS AS REQUIRED, REINSTALL AND LEVEL THE JOISTS. REPLACE EXISTING OSB/PLYWD ROOF UNDERLAY W/ 5/8" T&G PLYWD. PROVIDE ADDITIONAL PLYWD SHEATHING AS REQ'D TO MAKE NEW FLOOR FINISH FLUSH W/ EXISTING ADJACENT SPACE.
- 13 REMOVE EXISTING WINDOW, FRAME AND TRIMS
- 14 SAWCUT & REMOVE EXISTING EXTERIOR WALL TO ACCOMMODATE NEW DOOR. PROVIDE STRUCTURAL REINFORCEMENT AT JAMB & HEAD PRIOR TO SAWCUT.
- 15 SAWCUT & REMOVE EXISTING WINDOW SILL TO ACCOMMODATE NEW DOOR.
- 16 REMOVE EXISTING STUCCO EXTERIOR FINISH WHERE TO BECOME INTERIOR OF ADDITION AND UNDER NEW ROOF.
- 17 REMOVE EXISTING BATHROOM INCLUDING BUT NOT LIMITED TO ALL PLUMBING FIXTURES, ACCESSORIES AND FINISHES
- 18 REMOVE EXISTING LOAD-BEARING WALL. PRIOR TO REMOVAL, PROVIDE STRUCTURAL SUPPORT.
- 19 REMOVE EXISTING DOOR, FRAME AND TRIM
- 20 REMOVE EXISTING STEEL FIRE ESCAPE, DECK AND STEPS. EXISTING BALCONY TO REMAIN
- 21 REMOVE EXISTING PONY WALL
- 22 CUT EXISTING ROOF SHEATHING BETWEEN TWO ADJACENT RAFTERS/TOP CHORDS TO ACCOMMODATE NEW SKYLIGHT. REUSE COVERED OPENINGS OF DISCOMMISSIONED OF SKYLIGHTS.
- 23 REMOVE EXISTING WINDOW AND DOOR, BUT KEEP ON SITE AS REFERENCE FOR NEW DOOR AND DOOR TO MATCH. ELEVATE OPENING TO RECEIVE NEW WINDOW & DOOR. REPLACE EXISTING WOOD POSTS & LINTEL W/ NEW.
- 24 REMOVE EXISTING STUCCO EXTERIOR FINISH, REINSTATE TO MATCH EXISTING.
- 25 REPLACE EXISTING WINDOW POSTS AS REQUIRED
- 26 SALVAGE EXISTING CORNER STONE FOR REUSE.

**CONSTRUCTION GENERAL NOTES:**

1. ALL WORK SHALL BE COMPLETE IN ACCORDANCE WITH THE LATEST EDITION OF ONTARIO BUILDING CODE 2012, PART 9 AND PART 11, AND ALL APPLICABLE SUPPLEMENTS AND ANY MUNICIPAL BYLAWS.
2. ALL INTERIOR FINISHES AND FIXTURES SHALL BE SELECTED BY THE OWNER, PROVIDED AND INSTALLED BY CONTRACTOR, INCLUDING BUT NOT LIMITED TO PAINTS, FLOORING, WALL BASES, CEILING, LIGHTS, CABINETRY, WINDOW, DOORS, ETC.

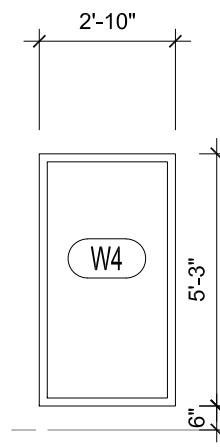
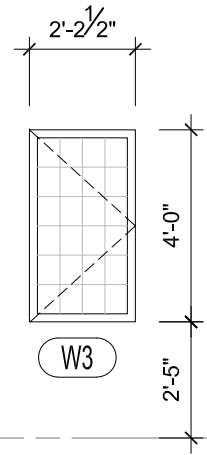
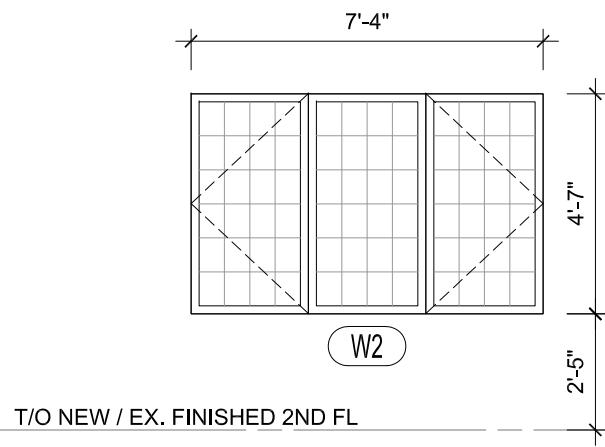
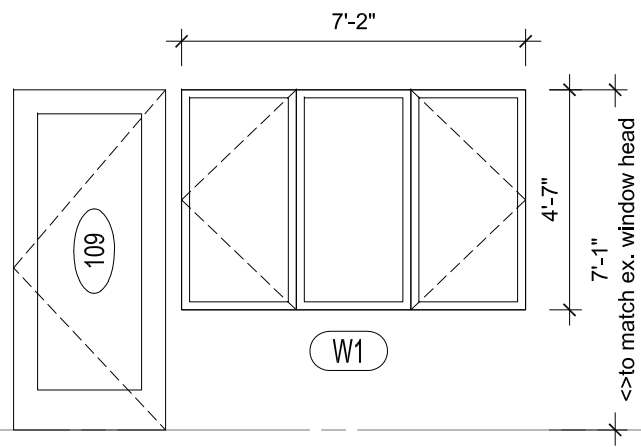
**DRAWING NOTES:**

- 1 NEW 2x4 WOOD STUD @ 24" O.C EACH WAY ON EXISTING OSB SUBFLOOR, C/W NEW 5/8" PLYWD SUBFLOOR ON TOP. ADD NEW 3/8" PLYWD AS REQUIRED. NEW FLOOR FINISH IN READING ROOM TO BE FLUSH WITH LIVING ROOM.
- 2 NEW ELECTRIC FIREPLACE, LOCATION TO COORDINATE ON SITE. REUSE EXISTING BLOCK WALL FIREPACE RECESS IF PRACTICAL.
- 3 NEW PRIVACY SCREEN. REFER TO INTERIOR DESIGN
- 4 **NEW INTERIOR WOOD STAIR CONSTRUCTION**
  - CONFORM TO OBC 2012, 9.8.7. HANDRAILS & 9.8.8. GUARDS AND MMAH SUPPLEMENTARY STANDARD SB-7
  - GUARDS 42" HIGH AFF, HANDRAIL 3' HIGH AFF
  - NO MEMBERS MINIMUM 5 1/5" TO 3' ABOVE FLOOR TO FACILITATE CLIMBING
  - WOOD MEMBERS MINIMUM SIZE: POST 4"x4", TOP & BOTTOM RAILS 2"x4", PICKETS 1 9/32"x1 9/32" @ MAX. 4" O.C., RISERS & TREADS 1 1/2" THICK X WIDTH TO CUT TO SUIT
  - STRINGERS TO BE 2X10
  - RISE TO BE MAX. 8" HIGH, AND RUN TO BE MIN. 10" DEEP
- 5 NEW SKYLIGHT
- 6 INFILL PANEL TO FILL EXISTING WINDOW OPENING. OVERLAP AND SEAL NEW VAPOUR BARRIER TO EXISTING. R VALUE TO BE 24. NEW EXTERIOR STUCCO TO MATCH, FLUSH AND BLEND WITH EXISTING.
- 7 LAMINATE NEW 1" THICK RIGID INSULATION BOARD ON INTERFACE OF EXISTING EXTERIOR WALL, INSTALL 6mil POLY SHEET VAPOR BARRIER, AND 1/2" (13mm) NEW DRYWALL SHEATHING. TIE POLY V.B. WITH NEW SPRAYED FOAM INSULATION.
- 8 INSTALL NEW 6mil POLY SHEET VAPOR BARRIER AND 1/2"(13mm) GYPSUM BOARD INTERIOR SHEATHING ON INTERIOR FACE OF EXISTING EXTERIOR WALL @ READING ROOM 109, BREAKFAST 104 AND STAIR A2
- 9 REINSTATE EXTERIOR STUCCO FINISH, COLOUR AND TEXTURE TO MATCH EXISTING.
- 10 NEW WOOD WINDOW, TRIM/CASING, COLOUR, AND CONFIGURATION MATCH EXISTING. WINDOW HEIGHT AND SILL HEIGHT TO MATCH EXISTING WINDOW.
- 11 NEW WOOD WINDOW, TRIM/CASING, COLOUR, AND CONFIGURATION MATCH EXISTING.
- 12 NEW WOOD WINDOW TO FILL DOOR OPENING, COLOUR TO MATCH EXISTING.
- 13 NEW 3-2X6 POST. REPAIR INSULATION & V.B.
- 14 REFER TO STRUCTURAL FOR NEW STEEL REINFORCEMENT AT NEW OPENING THROUGH EXISTING BLOCK WALL.
- 15 COLUMN ON WINDOW LINTEL TO SUPPORT RIDGE BEAM ABOVE
- 16 FINISHED STUCCO AT ADDITION TO BE FLUSH WITH EXISTING
- 17 REPAIR & REINSTATE EXISTING STUCCO & RIGID INSUL. AFFECTED BY CONSTRUCTION. REPLACE EXISTING CORNER STONES WHERE TO BE REMOVED WITH RIGID INSULATION



11-11-2022

<b>BING PROFESSIONAL ENGINEERING INC.</b> 150 Katimavik Rd, Unit 204, Ottawa, ON K2L 2N2 Phone: (613) 435 - 6665 E-mail: welcome@bingpro.ca	JOB EXISTING 3-STOREY DETACHED SINGLE HOUSE ALTERATION  241 Hillcrest Road, Kanata, ON K1M 0J4	DATE: 2022-11-11 REV. No: DATE: SCALE: NTS REFER:	DRAWN: CHS REV. No: PART OF: PROJ. No: O-22-GEN-37	DRAWING No. <b>A0.2</b> FILE.DWG	
	DRAWING DRAWING NOTES				



T/O NEW FINISHED GROUND FLOOR @ ADDITION

T/O NEW / EX. FINISHED 2ND FL

T/O EX. FINISHED 3RD FL

# 1 WINDOW ELEVATION

A0.3 SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**

1. SITE VERIFY ALL R.O. SIZES PRIOR TO P.O. AND INSTALLATION
2. NEW WINDOWS @ ADDITION TO BE WOOD FRAME, INSULATED UNIT, COLOUR TO MATCH EXISTING.
3. WINDOW "W2" & "W3" TO BE FURNISHED W/ MUNTIN BARS, CONFIGURATION TO MATCH EXISTING

**DOOR SCHEDULE** NOTES: 1. CONTRACTOR TO VERIFY ALL R.O. DIMENSIONS ON SITE AND REVIEW FUNCTIONS & KEYING WITH OWNER BEFORE ORDERING.  
 2. ALL DOORS SHALL BE PROVIDED A LEVER AND DOOR STOP, UNLESS OTHERWISE NOTED.  
 3. ALL DOORS EQUAL TO OR ABOVE 8' HEIGHT SHALL BE PROVIDED 4 HINGES; OTHERWISE, 3 HINGES PER DOOR.

NO.	LOCATION	DOOR TYPE	DOOR SIZE	FRAME TYPE	THROAT WIDTH	HARDWARE	REMARKS
101A	CLOSET	HOLLOW CORE WOOD	2'-2'-4" X 6'-8"	WD		PASSAGE SET, LEVER	
106	POWDER	HOLLOW CORE WOOD	2'-4" X 6'-8"	WD		TOP TRACK, PULL, STOP	POCKET DOOR
107	STORAGE	HOLLOW CORE WOOD	2'-4" X 6'-8"	WD		STORAGE SET, LEVER	
109	READING ROOM	INSULATED PVC	3'-2" X 7'-1"	WD		ENTRANCE SET, LEVER, THRESHOLD, WEATHERSTRIP,	VISION GLASS
201	BEDROOM 201	HOLLOW CORE WOOD	2'-6" X 6'-8"	WD		PRIVACY SET, LEVER, STOP	
201A	CLOSET 201A	HOLLOW CORE WOOD	2'-2'-4" X 6'-8"	WD		PASSAGE SET, LEVER	
202	BEDROOM 202	HOLLOW CORE WOOD	2'-6" X 6'-8"	WD		PRIVACY SET, LEVER, STOP	
202A	CLOSET 202A	HOLLOW CORE WOOD	2'-2'-4" X 6'-8"	WD		PASSAGE SET, LEVER	
202B	BATHROOM 204B	HOLLOW CORE WOOD	2'-6" X 6'-8"	WD		PRIVACY SET, LEVER, STOP	
203	LINEN 203	HOLLOW CORE WOOD	2'-0" X 6'-8"	WD		PASSAGE SET, LEVER	
205	BATHROOM 205	HOLLOW CORE WOOD	2'-6" X 6'-8"	WD		PRIVACY SET, LEVER	
206	LAUNDRY 206	HOLLOW CORE WOOD	2'-8" X 6'-8"	WD		PASSAGE SET, LEVER, STOP	
207	BEDROOM 207	HOLLOW CORE WOOD	2'-6" X 6'-8"	WD		PRIVACY SET, LEVER, STOP	
207A	WALK-IN CLOSET	HOLLOW CORE WOOD	2'-6" X 6'-8"	WD		TOP TRACK, PULL, STOP	POCKET DOOR
207B	ENSUITE BATHRM	HOLLOW CORE WOOD	2'-6" X 6'-8"	WD		TOP TRACK, PULL, STOP	POCKET DOOR
302	BATHROOM 302	HOLLOW CORE WOOD	2'-4" X 6'-8"	WD		PRIVACY SET, LEVER, STOP	
303	FLEX	HOLLOW CORE WOOD	2'-6" X 6'-8"	WD		PRIVACY SET, LEVER	



11-11-2022

## BING PROFESSIONAL ENGINEERING INC.

150 Katimavik Rd, Unit 204, Ottawa, ON K2L 2N2  
 Phone: (613) 435 - 6665 E-mail: welcome@bingpro.ca

JOB EXISTING 3-STOREY DETACHED SINGLE HOUSE ALTERATION

241 Hillcrest Road, Kanata, ON K1M 0J4

DRAWING WINDOW ELEVATIONS AND DOOR SCHEDULE

DATE: 2022-09-08

REV DATE:

SCALE: AS NOTED

REFER:

DRAWN: CHS

REV. No:

PART OF:

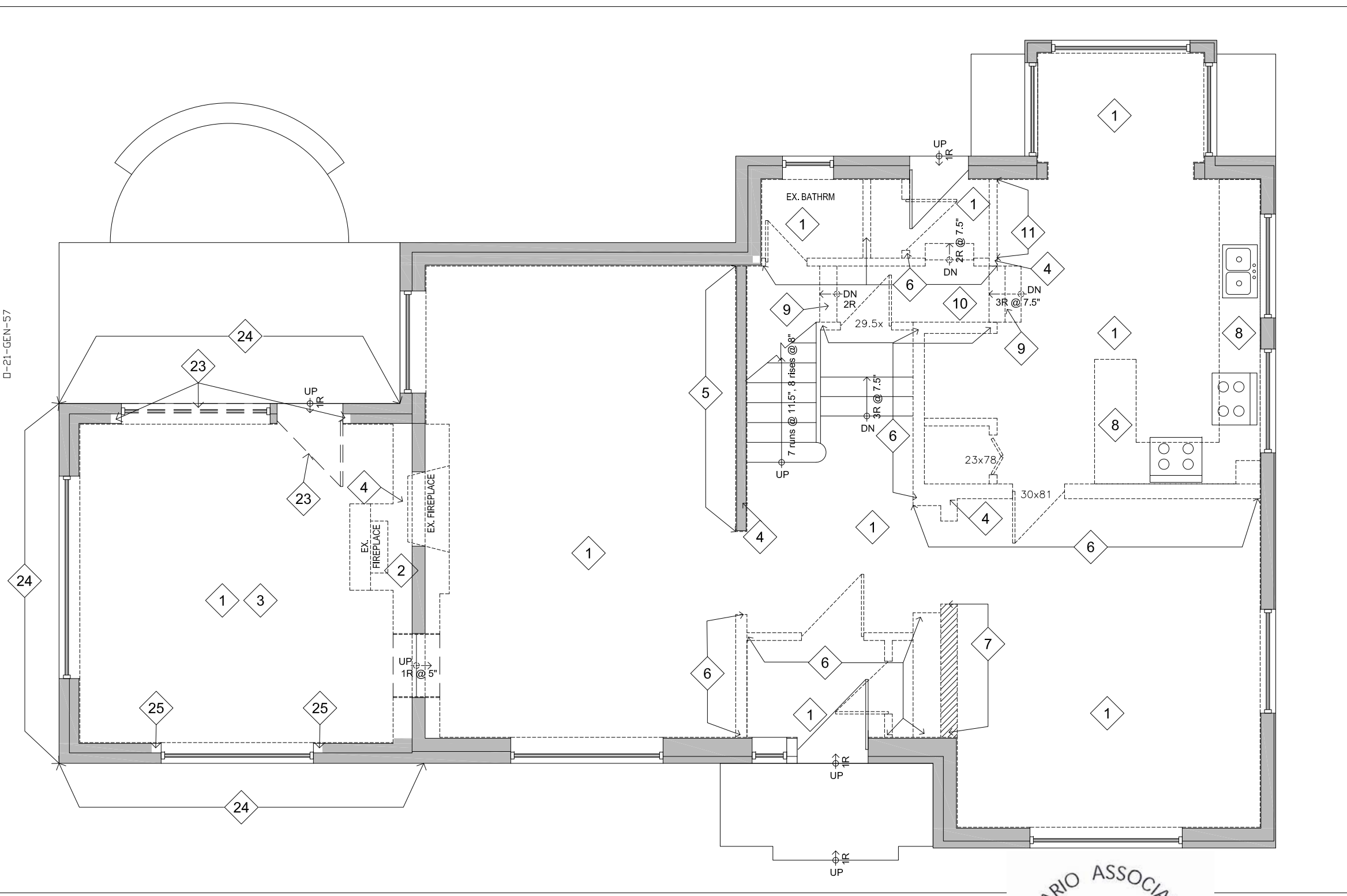
PROJ. No: O-22-GEN-37

DRAWING No.

**A0.3**

FILE.DWG

Plotter: Page Setup: Plot Date: Plot Time: Plot By: D-21-GEN-57 PLOT STAMP FOR EJC USE ONLY



- DEMOLITION GENERAL NOTES:**
1. LOCALLY SAWCUT AND REMOVE EXISTING CONCRETE SLAB AS REQUIRED FOR INSTALLATION OF NEW UNDER-SLAB PLUMBING. REINSTATE CONCRETE SLAB & UNDER-SLAB VAPOR BARRIER.
  2. LOCALLY REMOVE EXISTING CONSTRUCTION AND FINISHES AS REQUIRED FOR NEW WORK. REINSTATE TO MATCH EXISTING.

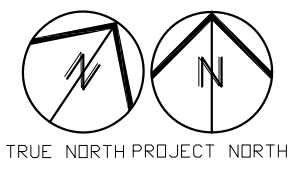
- DEMOLITION DRAWING NOTES:**
- 1 COMPLETELY REMOVE ALL EXISTING INTERIOR DRYWALL SHEATHING IN ROOMS INCLUDING WALL AND CEILING, UNLESS NOTED OTHERWISE.
  - 2 REMOVE EXISTING FIREPLACES & CHIMNEY & ALL WOOD STUD FURRING WALLS. EXISTING CONCRETE BLOCK WALL TO REMAIN INCLUDING BLOCKS ABOVE DOORWAY AND RECESS CHAMBER. PROVIDE TEMPORARY STRUCTURAL SUPPORT IF REQUIRED PRIOR TO REMOVAL.
  - 3 REMOVE EXISTING WOOD FLOORING AND UNDERLAY. EXISTING OSB/PLYWD SUBFLOOR TO REMAIN.
  - 4 EXISTING COLUMNS TO REMAIN.
  - 5 EXISTING INTERIOR PARTITION WALL TO REMAIN. REMOVE EXISTING DRYWALL SHEATHING.
  - 6 REMOVE EXISTING INTERIOR PARTITION WALLS, DOORS, AND HARDWARE.
  - 7 EXISTING INTERIOR WALL TO REMAIN
  - 8 REMOVE EXISTING CABINET MILLWORK, SINK AND OVEN. REVISE ASSOCIATED EXISTING PLUMBING AND EXHAUSTS. FILL EXISTING EXTERIOR WALL OPENINGS AS REQUIRED.
  - 9 REMOVE EXISTING STAIR.
  - 10 REMOVE EXISTING LANDING. SEE NEW PLAN FOR NEW FLOOR ELEVATION.
  - 11 REMOVE EXISTING CONCRETE BLOCK WALL. PRIOR TO THE REMOVAL, CONFIRM EXISTENCE OF EXISTING COLUMN TO REMAIN
  - 12 REMOVE EXISTING ROOFING, FASCIA CROWN MOULD, AND SOFFIT. TEMPORARIELY REMOVE EXISTING SLOPED ROOF JOISTS AS REQUIRED, REINSTALL AND LEVEL THE JOISTS. REPLACE EXISTING OSB/PLYWD ROOF UNDERLAY W/ 5/8" T&G PLYWD. PROVIDE ADDITIONAL PLYWD SHEATHING AS REQ'D TO MAKE NEW FLOOR FINISH FLUSH W/ EXISTING ADJACENT SPACE.
  - 13 REMOVE EXISTING WINDOW, FRAME AND TRIMS
  - 14 SAWCUT & REMOVE EXISTING EXTERIOR WALL TO ACCOMMODATE NEW DOOR. PROVIDE STRUCTURAL REINFORCEMENT AT JAMB & HEAD PRIOR TO SAWCUT.

- 23 REMOVE EXISTING WINDOW AND DOOR, BUT KEEP ON SITE AS REFERENCE FOR NEW DOOR AND DOOR TO MATCH. ELEVATE OPENING TO RECEIVE NEW WINDOW & DOOR. REPLACE EXISTING WOOD POSTS & LINTEL W/ NEW.
- 24 REMOVE EXISTING STUCCO EXTERIOR FINISH, REINSTATE TO MATCH EXISTING.
- 25 REPLACE EXISTING WINDOW POSTS AS REQUIRED
- 26 SALVAGE EXISTING CORNER STONE FOR REUSE.



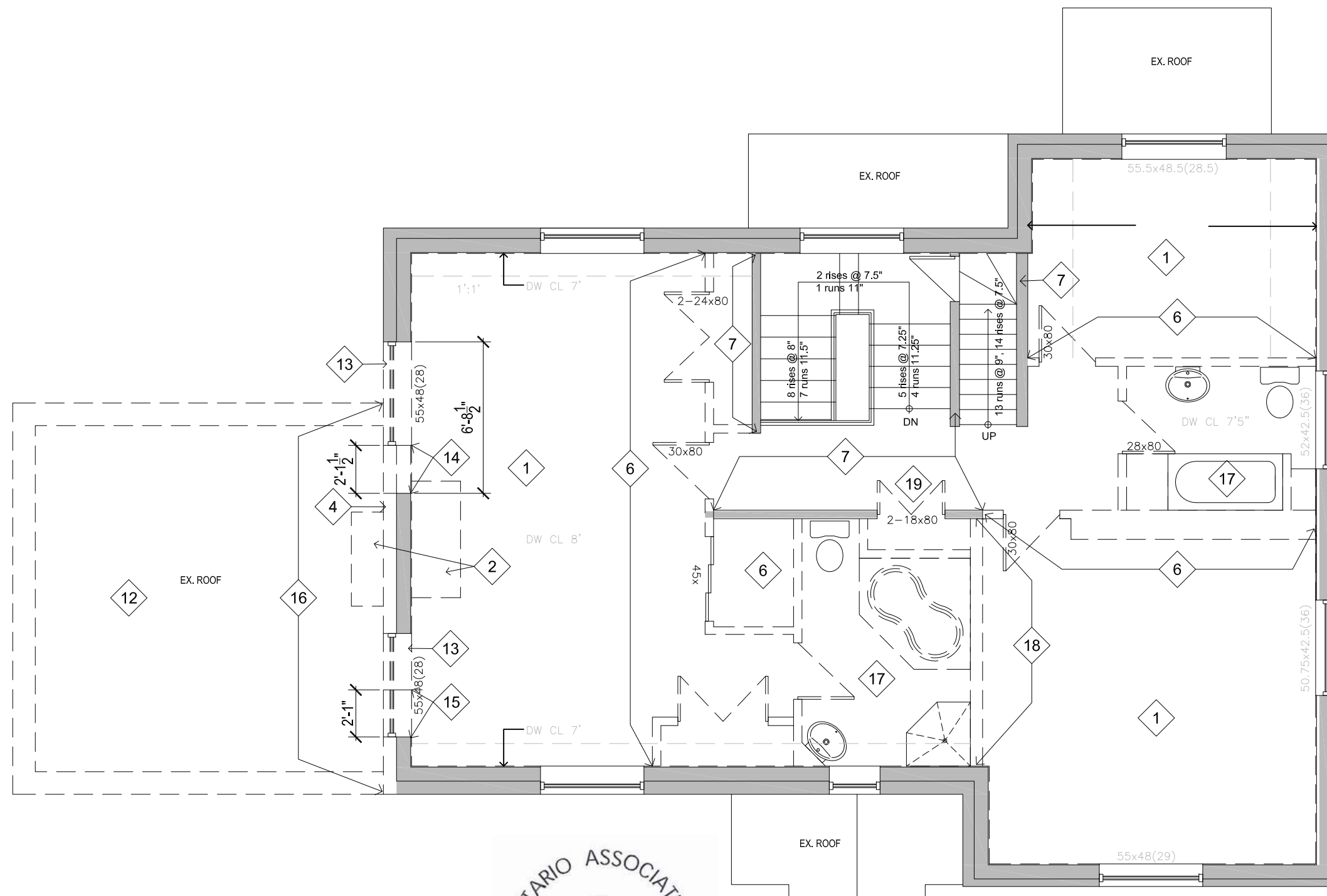
11-11-2022

**1 DEMO GROUND FLOOR PLAN**  
 A1.1 SCALE: 3/16" = 1'-0"



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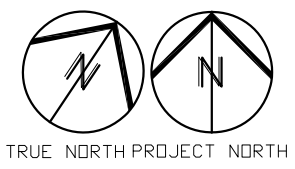
JOB	EXISTING 3-STOREY DETACHED SINGLE HOUSE ALTERATION 241 HILLCREST RD, OTTAWA, ON K1M 0J4	DATE:	2022-10-14	DRAWN:	CHS	DRAWING No.	<b>A1.1</b> FILE.DWG
DRAWING	DEMOM GROUND FLOOR PLAN	REV DATE:		REV. No:			
		SCALE:	AS NOTED	PART OF:			
		REFER:		PROJ. No:			



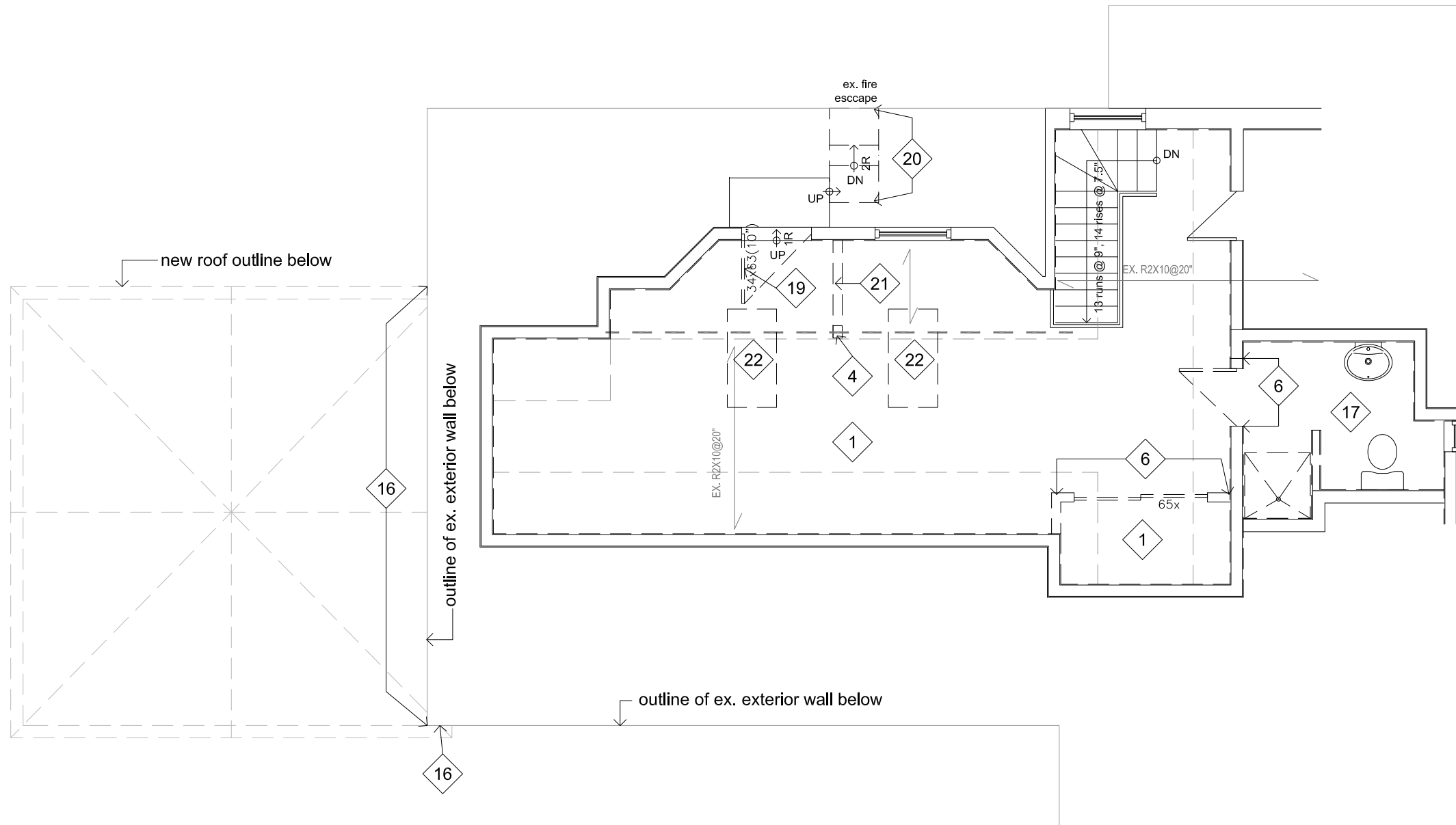
**DEMOLITION DRAWING NOTES:**

- 1 COMPLETELY REMOVE ALL EXISTING INTERIOR DRYWALL SHEATHING IN ROOMS INCLUDING WALL AND CEILING, UNLESS NOTED OTHERWISE.
- 2 REMOVE EXISTING FIREPLACES & CHIMNEY & ALL WOOD STUD FURRING WALLS. EXISTING CONCRETE BLOCK WALL TO REMAIN INCLUDING BLOCKS ABOVE DOORWAY AND RECESS CHAMBER. PROVIDE TEMPORARY STRUCTURAL SUPPORT IF REQUIRED PRIOR TO REMOVAL.
- 4 EXISTING COLUMNS TO REMAIN.
- 6 REMOVE EXISTING INTERIOR PARTITION WALLS, DOORS, AND HARDWARE.
- 7 EXISTING INTERIOR WALL TO REMAIN
- 11 REMOVE EXISTING CONCRETE BLOCK WALL. PRIOR TO THE REMOVAL, CONFIRM EXISTENCE OF EXISTING COLUMN TO REMAIN
- 12 REMOVE EXISTING ROOFING, FASCIA CROWN MOULD, AND SOFFIT. TEMPORARIELY REMOVE EXISTING SLOPED ROOF JOISTS AS REQUIRED, REINSTALL AND LEVEL THE JOISTS. REPLACE EXISTING OSB/PLYWD ROOF UNDERLAY W/ 5/8" T&G PLYWD. PROVIDE ADDITIONAL PLYWD SHEATHING AS REQ'D TO MAKE NEW FLOOR FINISH FLUSH W/ EXISTING ADJACENT SPACE.
- 13 REMOVE EXISTING WINDOW, FRAME AND TRIMS
- 14 SAWCUT & REMOVE EXISTING EXTERIOR WALL TO ACCOMMODATE NEW DOOR. PROVIDE STRUCTURAL REINFORCEMENT AT JAMB & HEAD PRIOR TO SAWCUT.
- 15 SAWCUT & REMOVE EXISTING WINDOW SILL TO ACCOMMODATE NEW DOOR.
- 16 REMOVE EXISTING STUCCO EXTERIOR FINISH WHERE TO BECOME INTERIOR OF ADDITION AND UNDER NEW ROOF.
- 17 REMOVE EXISTING BATHROOM INCLUDING BUT NOT LIMITED TO ALL PLUMBING FIXTURES, ACCESSORIES AND FINISHES
- 18 REMOVE EXISTING LOAD-BEARING WALL. PRIOR TO REMOVAL, PROVIDE STRUCTURAL SUPPORT.
- 19 REMOVE EXISTING DOOR, FRAME AND TRIM

1
**DEMO 2ND FLOOR PLAN**  
 A1.2 SCALE: 3/16" = 1'-0"



<b>BING PROFESSIONAL ENGINEERING INC.</b> <small>150 Katimavik Rd, Unit 204, Ottawa, ON K2L 2N2          Phone: (613) 435 - 6665 E-mail: welcome@bingpro.ca</small>	JOB EXISTING 3-STOREY DETACHED SINGLE HOUSE ALTERATION 241 HILLCREST RD, OTTAWA, ON K1M 0J4	DATE: 2022-10-14 REV. DATE: SCALE: AS NOTED REFER:	DRAWN: CHS REV. No: PART OF: PROJ. No: 	DRAWING No. <span style="font-size: 2em; font-weight: bold;">A1.2</span> FILE.DWG	
	DRAWING DEMO SECOND FLOOR PLAN				



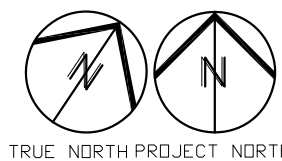
**DEMOLITION DRAWING NOTES:**

- 1 COMPLETELY REMOVE ALL EXISTING INTERIOR DRYWALL SHEATHING IN ROOMS INCLUDING WALL AND CEILING, UNLESS NOTED OTHERWISE.
- 4 EXISTING COLUMNS TO REMAIN.
- 6 REMOVE EXISTING INTERIOR PARTITION WALLS, DOORS, AND HARDWARE.
- 16 REMOVE EXISTING STUCCO EXTERIOR FINISH WHERE TO BECOME INTERIOR OF ADDITION AND UNDER NEW ROOF.
- 17 REMOVE EXISTING BATHROOM INCLUDING BUT NOT LIMITED TO ALL PLUMBING FIXTURES, ACCESSORIES AND FINISHES
- 18 REMOVE EXISTING LOAD-BEARING WALL. PRIOR TO REMOVAL, PROVIDE STRUCTURAL SUPPORT.
- 19 REMOVE EXISTING DOOR, FRAME AND TRIM
- 20 REMOVE EXISTING STEEL FIRE ESCAPE, DECK AND STEPS. EXISTING BALCONY TO REMAIN
- 21 REMOVE EXISTING PONY WALL
- 22 CUT EXISTING ROOF SHEATHING BETWEEN TWO ADJACENT RAFTERS/TOP CHORDS TO ACCOMMODATE NEW SKYLIGHT. REUSE COVERED OPENINGS OF DISCOMMISSIONED OF SKYLIGHTS.



11-11-2022

1
DEMO 3RD FLOOR PLAN  
A1.3
SCALE: 3/16" = 1'-0"



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JOB EXISTING 3-STOREY DETACHED SINGLE HOUSE ALTERATION 241 HILLCREST RD, OTTAWA, ON K1M 0J4 DRAWING DEMO THIRD FLOOR PLAN	DATE: 2022-10-16	DRAWN: CHS	DRAWING No.
	REV DATE:	REV. No:	A1.3
	SCALE: AS NOTED	PART OF:	
	REFER:	PROJ. No:	



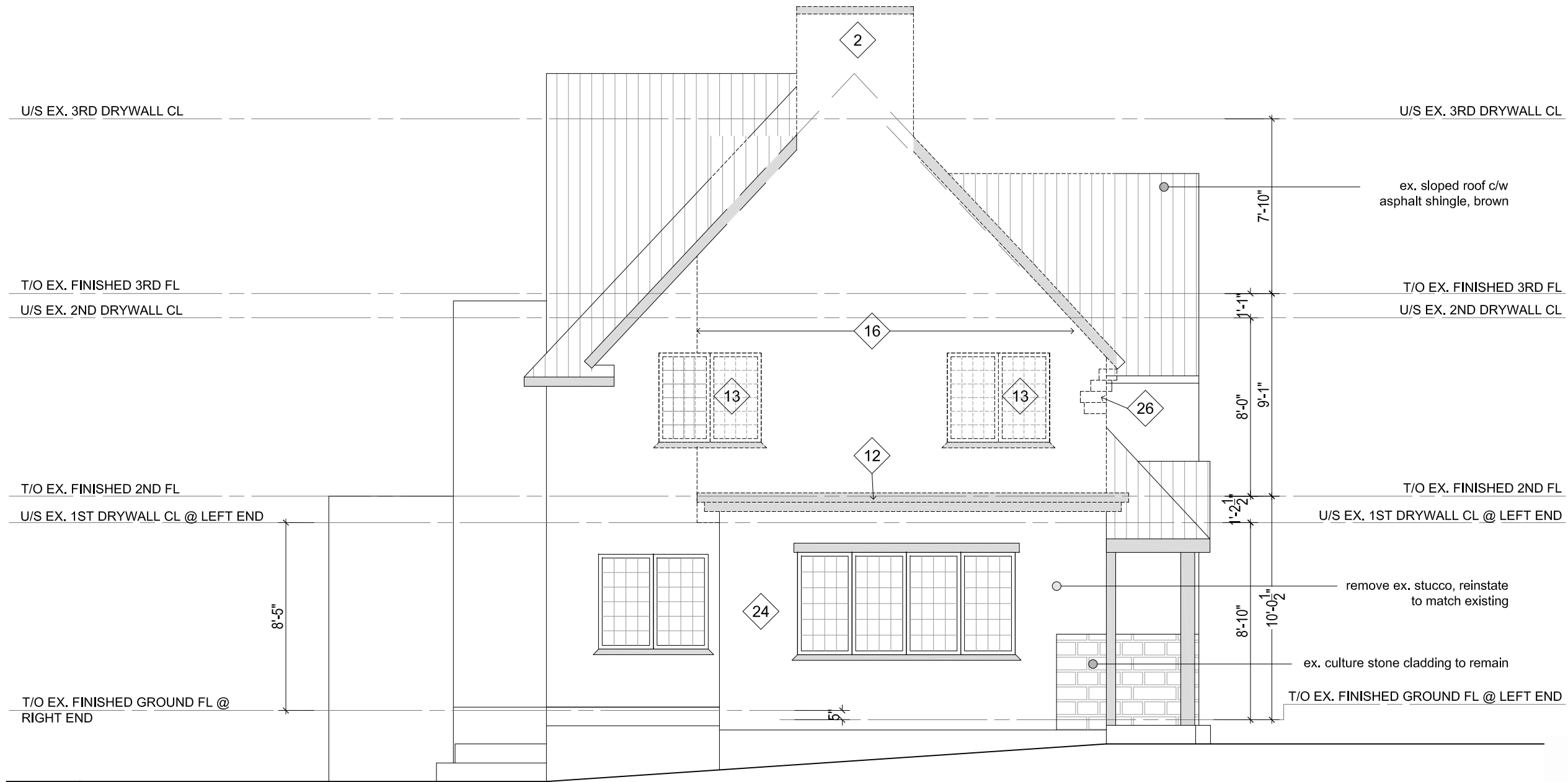
11-11-2022

**1** DEMO EXISTING FRONT ELEVATION  
 A3.0a SCALE: 3/16" = 1'-0"

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JOB EXISTING 3-STOREY DETACHED SINGLE HOUSE ALTERATION 241 Hillcrest Road, Kanata, ON K1M 0J4 DRAWING DEMO EXISTING FRONT BUILDING ELEVATION	DATE: 2022-08-15	DRAWN: CHS	DRAWING No. <b>A3.0a</b> FILE.DWG
	REV DATE:	REV. No:	
	SCALE: AS NOTED	PART OF:	
	REFER:	PROJ. No: O-22-GEN-37	





**1**  
**A3.1a** DEMO EXISTING LEFT ELEVATION  
 SCALE: 3/16" = 1'-0"

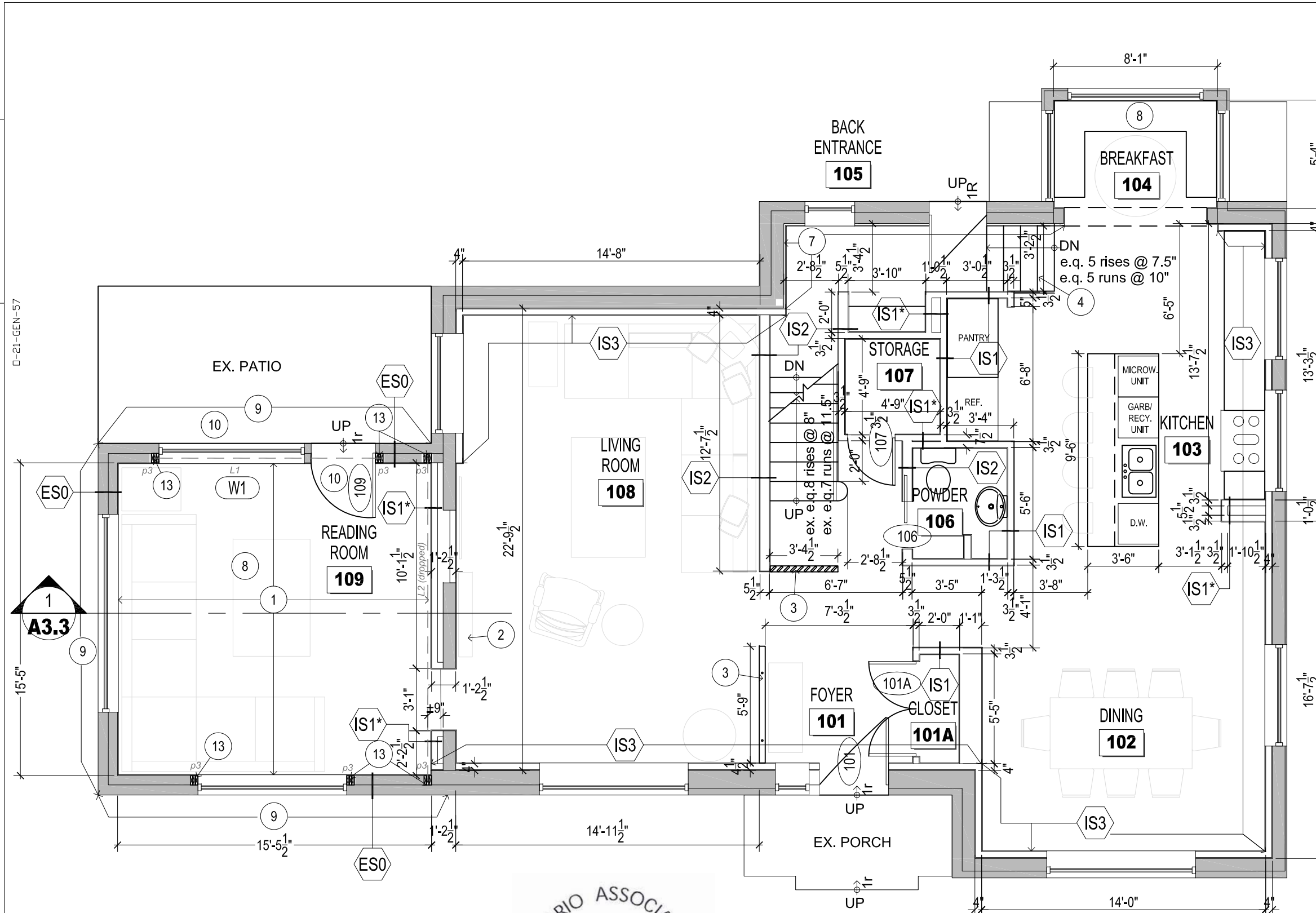
<b>BING PROFESSIONAL ENGINEERING INC.</b> 150 Katimavik Rd, Unit 204, Ottawa, ON K2L 2N2 Phone: (613) 435 - 6665 E-mail: welcome@bingpro.ca	JOB EXISTING 3-STOREY DETACHED SINGLE HOUSE ALTERATION 241 Hillcrest Road, Kanata, ON K1M 0J4	DATE: 2022-08-15 REV. No: CHS	DRAWING No. <b>A3.1a</b> FILE.DWG
	DRAWING DEMO EXISTING LEFT BUILDING ELEVATION	SCALE: AS NOTED REFER:	PART OF: PROJ. No: O-22-GEN-37



11-11-2022

**1** DEMO EXISTING REAR ELEVATION  
 A3.2a SCALE: 3/16" = 1'-0"

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	DRAWING DEMO EXISTING REAR BUILDING ELEVATION	SCALE: AS NOTED PART OF:	PROJ. No: O-22-GEN-37
		REFER:	



**CONSTRUCTION GENERAL NOTES:**

- ALL WORK SHALL BE COMPLETE IN ACCORDANCE WITH THE LATEST EDITION OF ONTARIO BUILDING CODE 2012, PART 9 AND PART 11, AND ALL APPLICABLE SUPPLEMENTS AND ANY MUNICIPAL BYLAWS.
- ALL INTERIOR FINISHES AND FIXTURES SHALL BE SELECTED BY THE OWNER, PROVIDED AND INSTALLED BY CONTRACTOR, INCLUDING BUT NOT LIMITED TO PAINTS, FLOORING, WALL BASES, CEILING, LIGHTS, CABINETS, WINDOW, DOORS, ETC.

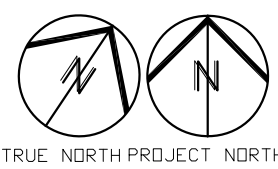
**DRAWING NOTES:**

- NEW 2x4 WOOD STUD @ 24" O.C EACH WAY ON EXISTING OSB SUBFLOOR, C/W NEW 5/8" PLYWD SUBFLOOR ON TOP. ADD NEW 3/8" PLYWD AS REQUIRED. NEW FLOOR FINISH IN READING ROOM TO BE FLUSH WITH LIVING ROOM.
- NEW ELECTRIC FIREPLACE, LOCATION TO COORDINATE ON SITE. REUSE EXISTING BLOCK WALL FIREPLACE RECESS IF PRACTICAL.
  - NEW PRIVACY SCREEN. REFER TO INTERIOR DESIGN
  - NEW INTERIOR WOOD STAIR CONSTRUCTION
    - CONFORM TO OBC 2012, 9.8.7. HANDRAILS & 9.8.8. GUARDS AND MMAH SUPPLEMENTARY STANDARD SB-7
    - GUARDS 42" HIGH AFF, HANDRAIL 3' HIGH AFF
    - NO MEMBERS MINIMUM 5 1/2" TO 3' ABOVE FLOOR TO FACILITATE CLIMBING
    - WOOD MEMBERS MINIMUM SIZE: POST 4"X4", TOP & BOTTOM RAILS 2"X4", PICKETS 1 1/2"X1 1/2" @ MAX. 4" O.C., RISERS & TREADS 1 1/2" THICK X WIDTH TO CUT TO SUIT
    - STRINGERS TO BE 2X10
    - RISE TO BE MAX. 8" HIGH, AND RUN TO BE MIN. 10" DEEP
  - LAMINATE NEW 1" THICK RIGID INSULATION BOARD ON INTERFACE OF EXISTING EXTERIOR WALL, INSTALL 6mil POLY SHEET VAPOR BARRIER, AND 1/2" (13mm) NEW DRYWALL SHEATHING. TIE POLY V.B. WITH NEW SPRAYED FOAM INSULATION.
  - INSTALL NEW 6mil POLY SHEET VAPOR BARRIER AND 1/2"(13mm) GYPSUM BOARD INTERIOR SHEATHING ON INTERIOR FACE OF EXISTING EXTERIOR WALL @ READING ROOM 109, BREAKFAST 104 AND STAIR A2
  - REINSTATE EXTERIOR STUCCO FINISH, COLOUR AND TEXTURE TO MATCH EXISTING.
  - NEW WOOD WINDOW, TRIM/CASING, COLOUR, AND CONFIGURATION MATCH EXISTING. WINDOW HEIGHT AND SILL HEIGHT TO MATCH EXISTING WINDOW.
  - NEW WOOD WINDOW, TRIM/CASING, COLOUR, AND CONFIGURATION MATCH EXISTING.
  - NEW WOOD WINDOW TO FILL DOOR OPENING, COLOUR TO MATCH EXISTING.
  - NEW 3-2X6 POST. REPAIR INSULATION & V.B.

**1** GROUND FLOOR PLAN  
 A2.1 SCALE: 3/16" = 1'-0"

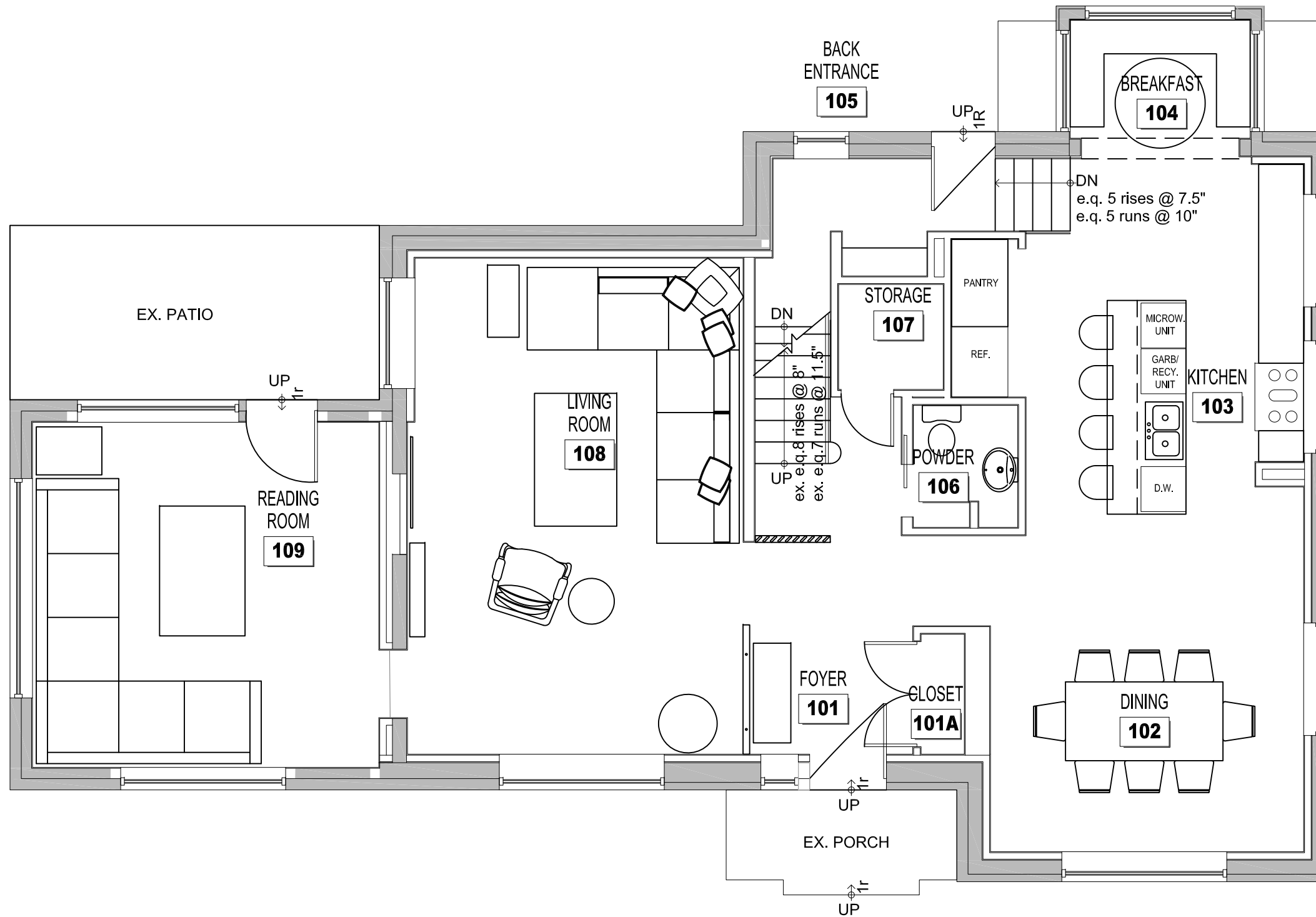


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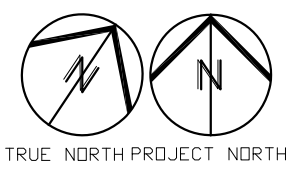
JOB EXISTING 3-STOREY DETACHED SINGLE HOUSE ALTERATION 241 HILLCREST RD, OTTAWA, ON K1M 0J4	DATE:	2022-10-13	DRAWN:	CHS	DRAWING No. <b>A2.1</b> FILE.DWG
	REV DATE:		REV. No.:		
	SCALE:	AS NOTED	PART OF:		
	REFER:		PROJ. No.:		
DRAWING GROUND FLOOR PLAN					



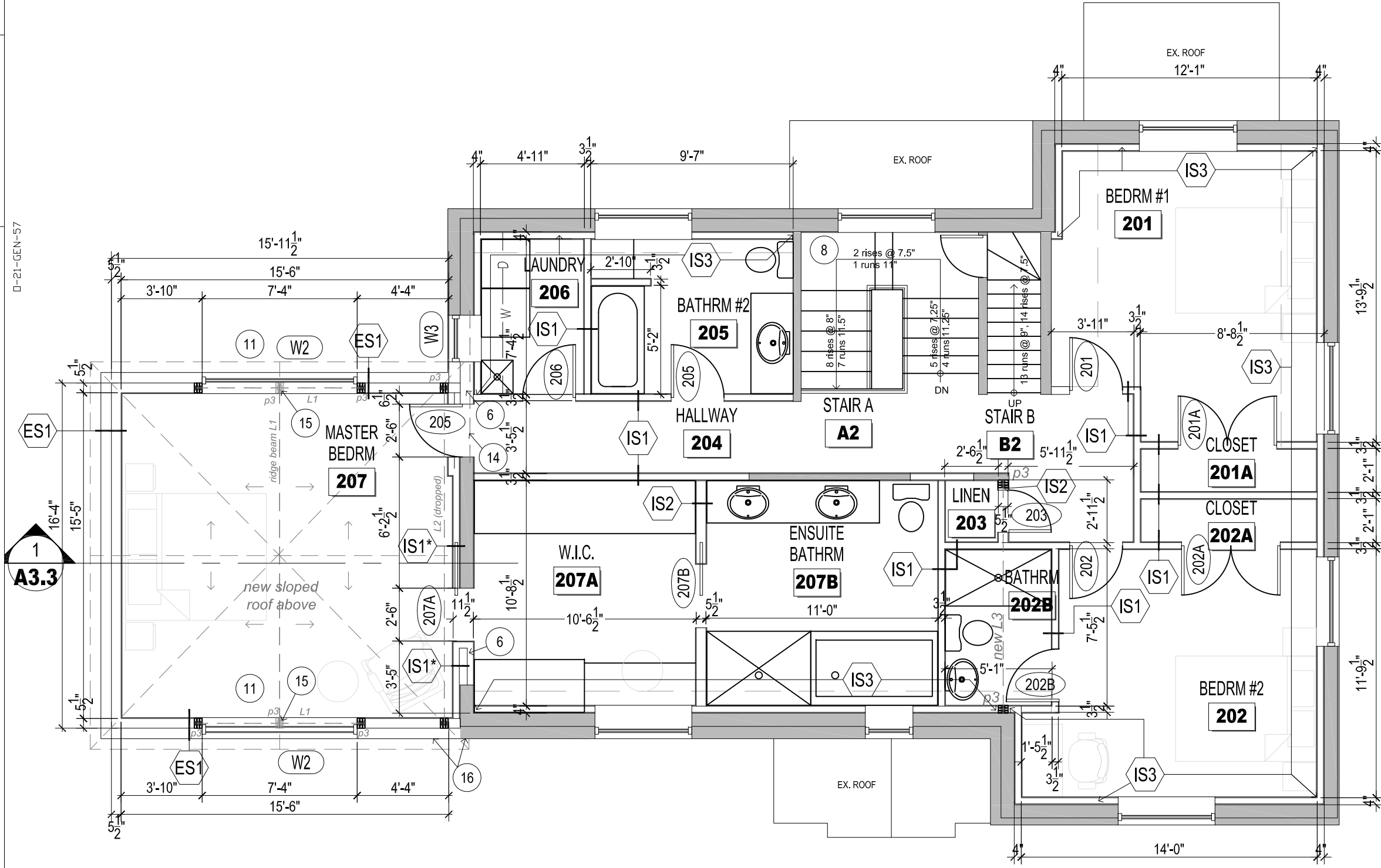
**1**  
**A2.1a**

# GROUND FLOOR FURNITURE LAYOUT

SCALE: 3/16" = 1'-0"



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	DRAWING GROUND FLOOR FURNITURE LAYOUT	SCALE: AS NOTED PART OF:	PROJ. No:
		REFER:	



**CONSTRUCTION GENERAL NOTES:**

1. ALL WORK SHALL BE COMPLETE IN ACCORDANCE WITH THE LATEST EDITION OF ONTARIO BUILDING CODE 2012, PART 9 AND PART 11, AND ALL APPLICABLE SUPPLEMENTS AND ANY MUNICIPAL BYLAWS.
2. ALL INTERIOR FINISHES AND FIXTURES SHALL BE SELECTED BY THE OWNER, PROVIDED AND INSTALLED BY CONTRACTOR, INCLUDING BUT NOT LIMITED TO PAINTS, FLOORING, WALL BASES, CEILING, LIGHTS, CABINETS, WINDOW, DOORS, ETC.

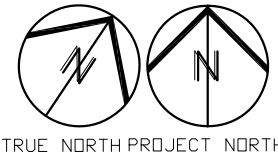
**DRAWING NOTES:**

6. INFILL PANEL TO FILL EXISTING WINDOW OPENING. OVERLAP AND SEAL NEW VAPOUR BARRIER TO EXISTING. R VALUE TO BE 24. NEW EXTERIOR STUCCO TO MATCH, FLUSH AND BLEND WITH EXISTING.
8. INSTALL NEW 6mil POLY SHEET VAPOR BARRIER AND 1/2"(13mm) GYPSUM BOARD INTERIOR SHEATHING ON INTERIOR FACE OF EXISTING EXTERIOR WALL @ READING ROOM 109, BREAKFAST 104 AND STAIR A2
11. NEW WOOD WINDOW, TRIM/CASING, COLOUR, AND CONFIGURATION MATCH EXISTING.
13. REFER TO STRUCTURAL FOR NEW STEEL REINFORCEMENT AT NEW OPENING THROUGH EXISTING BLOCK WALL.
14. COLUMN ON WINDOW LINTEL TO SUPPORT RIDGE BEAM ABOVE



11-11-2022

**1** SECOND FLOOR PLAN  
 A2.2 SCALE: 3/16" = 1'-0"

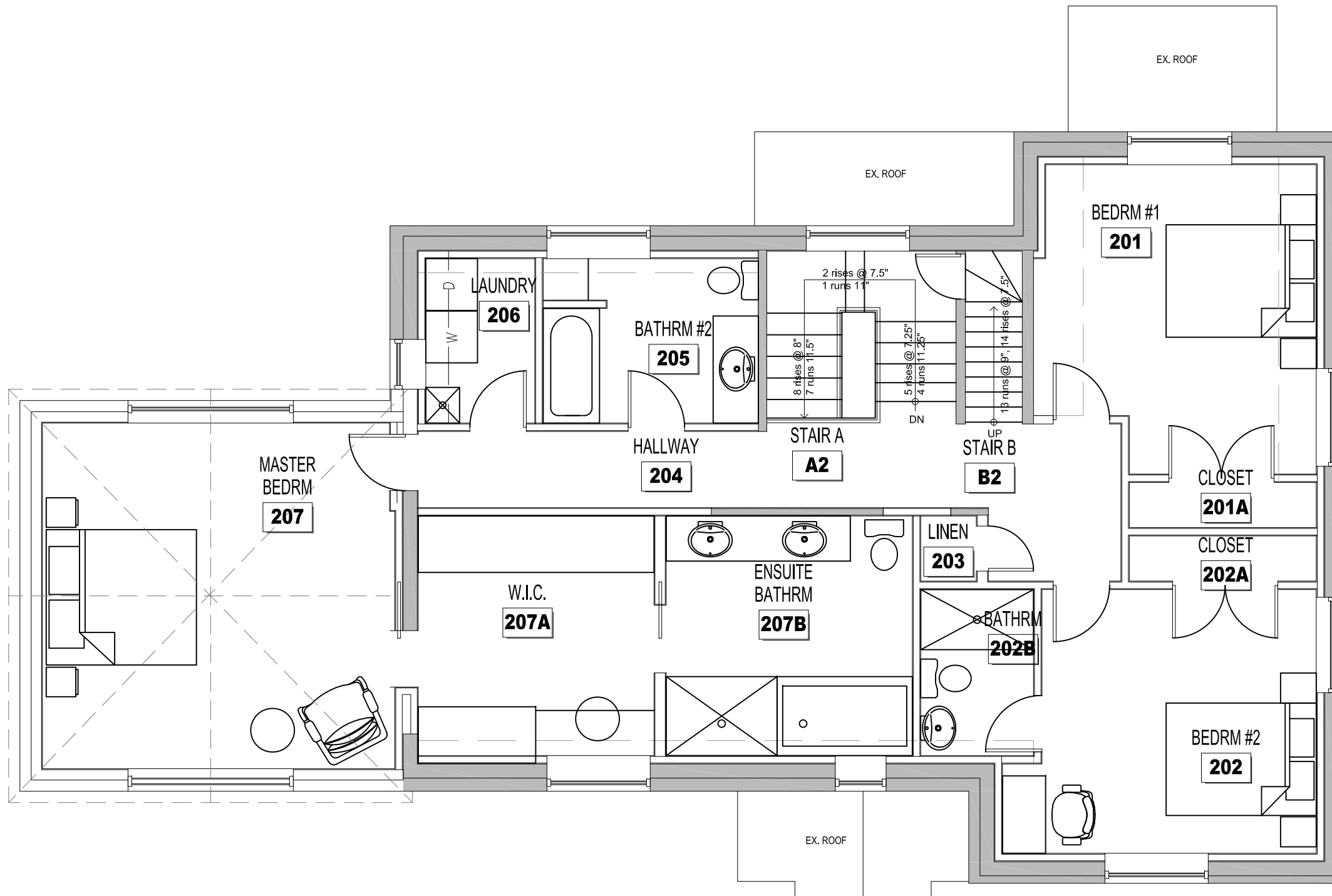


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JOB	EXISTING 3-STOREY DETACHED SINGLE HOUSE ALTERATION 241 HILLCREST RD, OTTAWA, ON K1M 0J4
DRAWING	2ND FLOOR PLAN

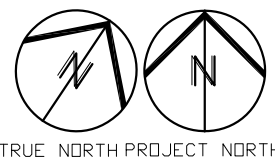
DATE:	2022-10-13	DRAWN:	CHS
REV DATE:		REV. No:	
SCALE:	AS NOTED	PART OF:	
REFER:		PROJ. No:	

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 FILE.DWG



11-11-2022

**1**  
**A2.2a** **2ND FLOOR FURNITURE LAYOUT**  
SCALE: 3/16" = 1'-0"

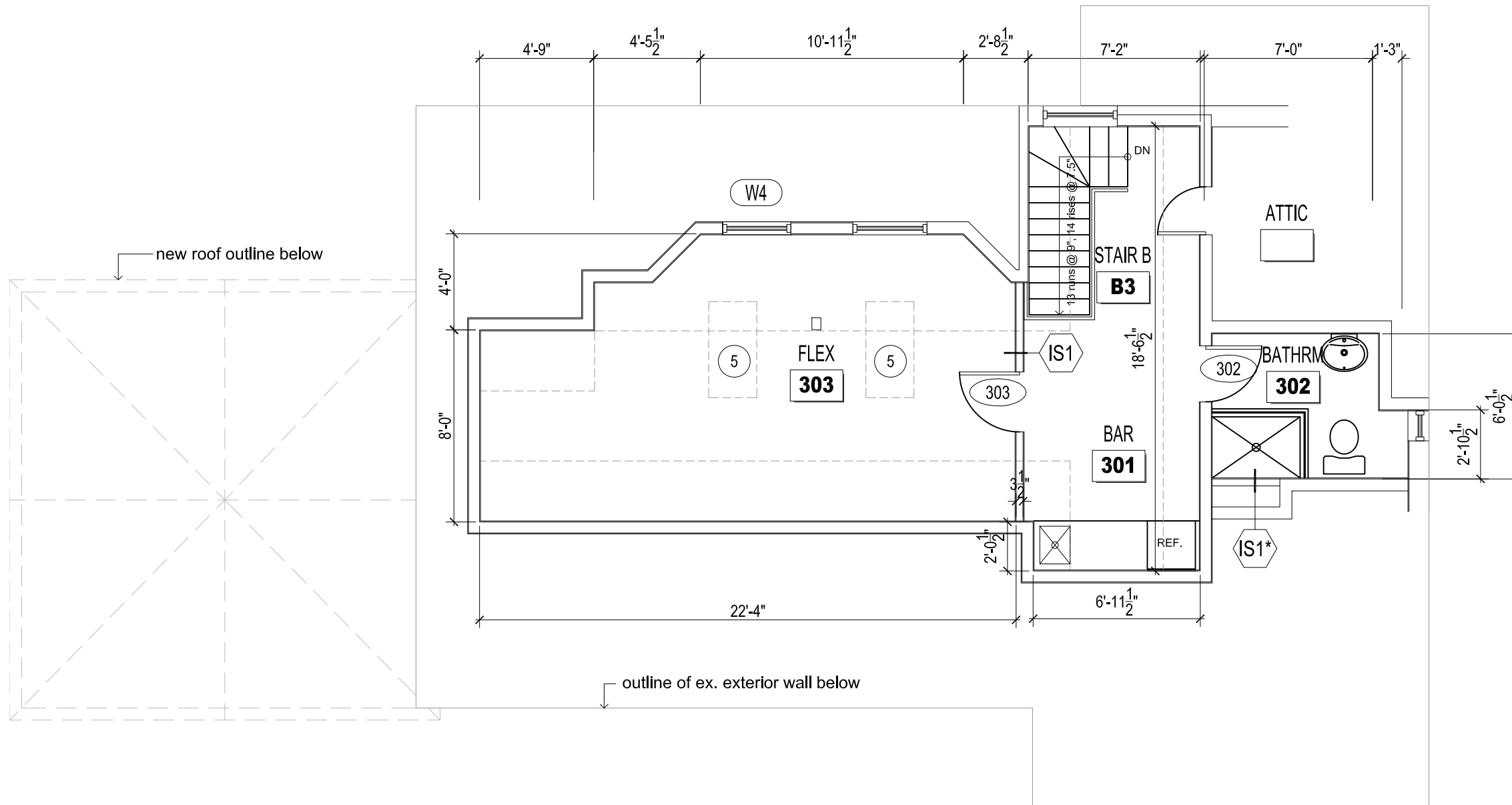


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JOB EXISTING 3-STOREY DETACHED SINGLE HOUSE ALTERATION  
241 HILLCREST RD, OTTAWA, ON K1M 0J4  
DRAWING 2ND FLOOR FURNITURE LAYOUT

DATE: 2022-10-13	DRAWN: CHS	DRAWING No. <b>A2.2a</b> FILE.DWG
REV DATE:	REV. No:	
SCALE: AS NOTED	PART OF:	
REFER:	PROJ. No:	



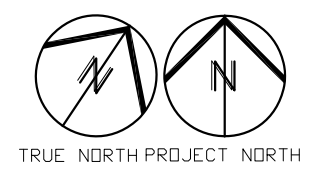
- CONSTRUCTION GENERAL NOTES:**
- ALL WORK SHALL BE COMPLETE IN ACCORDANCE WITH THE LATEST EDITION OF ONTARIO BUILDING CODE 2012, PART 9 AND PART 11, AND ALL APPLICABLE SUPPLEMENTS AND ANY MUNICIPAL BYLAWS.
  - ALL INTERIOR FINISHES AND FIXTURES SHALL BE SELECTED BY THE OWNER, PROVIDED AND INSTALLED BY CONTRACTOR, INCLUDING BUT NOT LIMITED TO PAINTS, FLOORING, WALL BASES, CEILING, LIGHTS, CABINETRY, WINDOW, DOORS, ETC.

- DRAWING NOTES:**
- 5 NEW SKYLIGHT



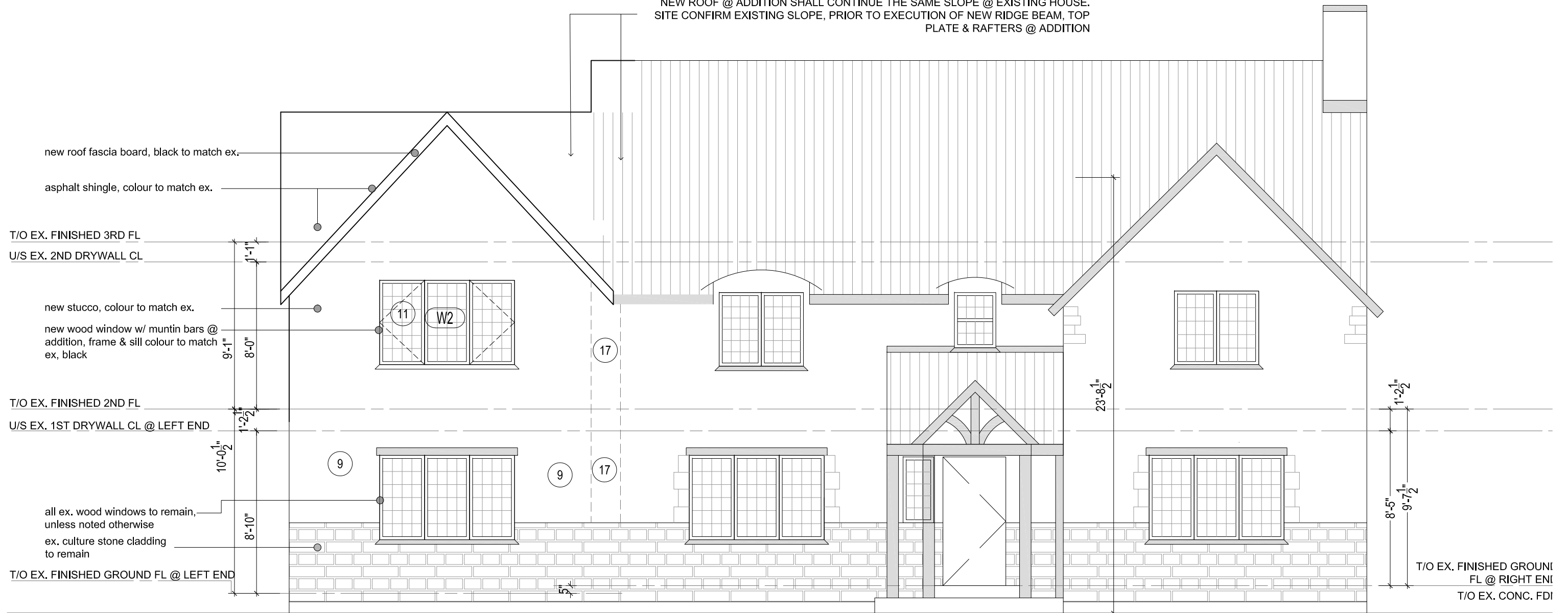
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**1** **THIRD FLOOR PLAN**  
 A2.3 SCALE: 3/16" = 1'-0"



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	DRAWING 3RD FLOOR PLAN	SCALE: AS NOTED REFER:	PART OF: PROJ. No:	

NEW ROOF @ ADDITION SHALL CONTINUE THE SAME SLOPE @ EXISTING HOUSE.  
SITE CONFIRM EXISTING SLOPE, PRIOR TO EXECUTION OF NEW RIDGE BEAM, TOP  
PLATE & RAFTERS @ ADDITION



11-11-2022

**1** **NEW FRONT ELEVATION - SLOPED ROOF**  
**A3.0** SCALE: 3/16" = 1'-0"

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JOB EXISTING 3-STOREY DETACHED SINGLE HOUSE ALTERATION  
 241 Hillcrest Road, Kanata, ON K1M 0J4

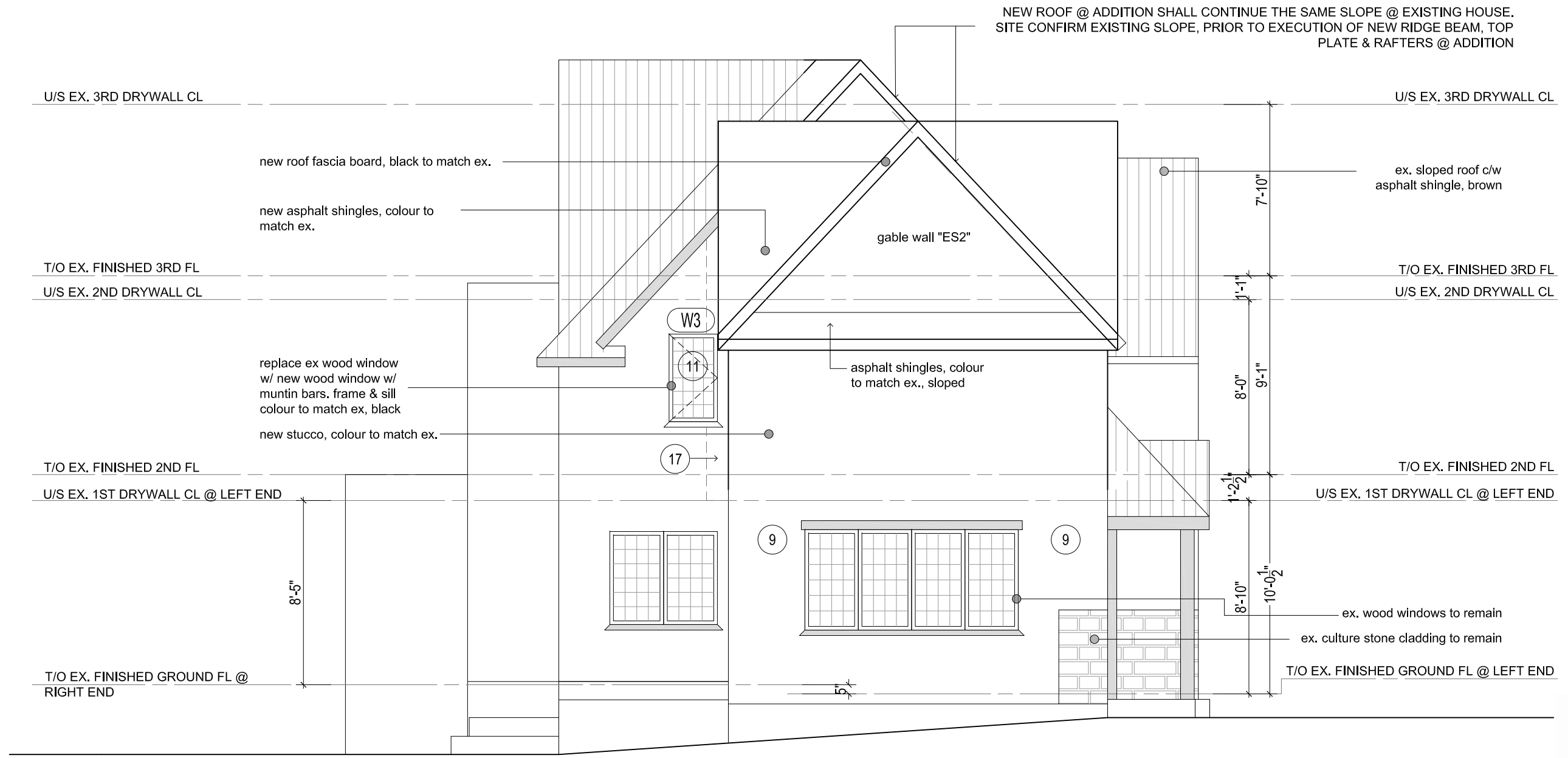
DRAWING NEW FRONT BUILDING ELEVATION - SLOPED ROOF

DATE: 2022-08-15	DRAWN: CHS
REV DATE:	REV. No:
SCALE: AS NOTED	PART OF:
REFER:	PROJ. No: O-22-GEN-37

DRAWING No. **A3.0**  
FILE.DWG



Plotter: Page Setup: Plot Date: Plot Time: Plot By: D-22-GEN-37 PLOT STAMP FOR EJC USE ONLY



11-11-2022

**1**  
**A3.1**

# NEW LEFT ELEVATION

SCALE: 3/16" = 1'-0"

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	DRAWING NEW LEFT BUILDING ELEVATION	SCALE: AS NOTED PART OF:	PROJ. No: O-22-GEN-37

Plotter: Page Setup: Plot Date: Plot Time: Plot By: O-22-GEN-37  
 U/S EX. 3RD DRYWALL CL  
 ex. sloped roof c/w asphalt shingle, brown  
 ex. wood siding, black  
 T/O EX. FINISHED 3RD FL  
 U/S EX. 2ND DRYWALL CL  
 ex. face band, black  
 T/O EX. FINISHED 2ND FL  
 U/S EX. 1ST DRYWALL CL @ LEFT END  
 T/O EX. FINISHED GROUND FL @ RIGHT END  
 T/O EX. FINISHED GROUND FL @ ADDITION  
 T/O EX. FINISHED GROUND FL @ LEFT END



11-11-2022

**1** **NEW REAR ELEVATION**  
**A3.2** SCALE: 3/16" = 1'-0"

<b>BING PROFESSIONAL ENGINEERING INC.</b> 150 Katimavik Rd, Unit 204, Ottawa, ON K2L 2N2 Phone: (613) 435 - 6665 E-mail: welcome@bingpro.ca	JOB EXISTING 3-STOREY DETACHED SINGLE HOUSE ALTERATION 241 Hillcrest Road, Kanata, ON K1M 0J4	DATE: 2022-08-15 REV DATE: 2022-08-22 SCALE: AS NOTED REFER:	DRAWN: CHS REV. No: PART OF: PROJ. No: O-22-GEN-37	DRAWING No. <b>A3.2</b> FILE.DWG	
	DRAWING NEW REAR BUILDING ELEVATION				

# **SURVEYOR'S REAL PROPERTY REPORT**

## **(PART 2)**

**Re: 241 Hillcrest Road  
Lot 10  
Registered Plan 4M-55  
City of Ottawa**

### **1. Registered Rights-of-Way / Easements**

There are no easements or rights-of-way registered against the subject lands per our Land Titles search.

### **2. Property Improvements**

There is a 2 ½ storey stone & stucco sided dwelling, with a 1 storey addition, municipally known as 241 Hillcrest Road situate wholly within the subject lands.

There is a stucco sided garage to the north of the said dwelling

There is an asphalt driveway in front or east of the said garage.

There is an air conditioning unit to the east of the said dwelling.

There is a covered porch, interlock landings and steps and a 'U' shaped driveway in front or south of the said dwelling.

There are various trees, cedar hedges and fencing along the northerly and westerly property boundaries.

See Part 1 of this Report (Plan) for details.

### **3. Compliance with Municipal Zoning Bylaws**

Compliance is not certified by this report.

**4. Additional Remarks**

Survey monuments were found at all four property corners.

The area of the site is 1134.8 sq. m.

This report is a supplement to the accompanying survey plan. Please refer to this plan (Part 1 of the Surveyor's Real Property Report) for disclosure of the location of improvements and boundary information.

OTTAWA, Ontario

Date: February 27, 2023

Our Reference: 23906-23

A handwritten signature in black ink, appearing to read 'T. Hartwick', written over a horizontal line.

T. Hartwick  
Ontario Land Surveyor

**Bearing Notes**

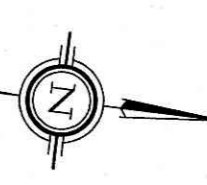
Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680105 and 019198434761, MTM Zone 9 (76°30' West Longitude), NAD-83 (original).

For bearing comparisons, a rotation of 0°30'40" counter-clockwise was applied to bearings on P1, P3 and P7.  
For bearing comparisons, a rotation of 0°33'10" counter-clockwise was applied to bearings on P6.

01919680105    Northing 5024915.16    Easting 373971.65  
019198434761    Northing 5036178.12    Easting 372436.11

SITE AREA = 1134.8 m<sup>2</sup>

Topographic data was collected under Winter Conditions. Snow cover and ice preclude determining location and elevation of some topographical data that is otherwise visible.



**THOROLD ROAD**

**SURVEYOR'S REAL PROPERTY REPORT**

**PART 1 Plan of**

**LOT 10**  
**REGISTERED PLAN 4M-55**  
**CITY OF OTTAWA**  
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 200  
Metric  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**Surveyor's Certificate**

- I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveyors Act and the Surveyors Act and the regulations made under them.
  2. The survey was completed on the 23rd day of February, 2023.

Feb 27, 2023  
Date

T. Hartwick  
Ontario Land Surveyor

**PART 2**  
**THIS PLAN MUST BE READ IN CONJUNCTION WITH**  
**THIS SURVEY REPORT DATED : FEBRUARY 27, 2023**

ANNIS, O'SULLIVAN, VOLLEBEK LTD grants to C & E Renois Inc. ("The Client"), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

**Notes & Legend**

Denotes	Survey Monument Planted
SIB	Survey Monument Found
SSIB	Standard Iron Bar
IB	Short Standard Iron Bar
CC	Iron Bar
(W/T)	Cut Cross
Meas.	Witness
(AOG)	Measured
(P1)	Annis, O'Sullivan, Vollebek Ltd.
(P2)	Registered Plan 4M-55
(P3)	Registered Plan 4M-22
(P4)	(AOG) Plan dated August 25, 1996
(P5)	(AOG) Plan dated July 12, 2021
(P6)	(AOG) Plan dated September 1, 1998
(P7)	Plan 4R-30795
(P8)	(AOG) Plan dated October 22, 2002
(P9)	(AOG) Plan dated October 6, 2016
AC	Air Conditioner
HM	Hydro Meter
UP	Utility Pole
LS	Light Standard
OT	Overhead Wires
CT	Contiguous Tree
SRW	Diameter
CLF	Stone Retaining Wall
MF	Chain Link Fence
BF	Metal Fence
OW	Board Fence
PL	Property Line
C/L	Foundation
GM	Centreline
	Gate
	Gas Meter



ASSOCIATION OF ONTARIO LAND SURVEYORS  
PLAN SUBMISSION FORM  
V-45024

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1028, Section 29 (3).

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