

HARTLEIGH AVENUE
(Formerly Brighton Avenue) (BY-LAW 211-50 INST. NP3719
P:IN 03969 - 0062

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

PLAN 4R-

RECEIVED AND DEPOSITED

DATE: _____

DATE: _____

E.H. HERWEYER
ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR
LAND REGISTRAR FOR THE
LAND TITLES DIVISION OF
OTTAWA-CARLETON NO. 4.

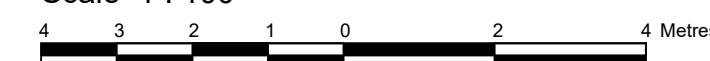
SCHEDULE				
AREA (sq.m.)	PART	LOT	PLAN	PIN
232.1	1	PART OF 90	305	ALL OF 03969-0030
232.1	2			

PLAN OF SURVEY OF

PART OF LOT 90
REGISTERED PLAN 305
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 100



Metric

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Surveyor's Certificate

- I CERTIFY THAT :
- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
 - The survey was completed on the __ day of March, 2022.

Date _____ E. H. Herweyer
Ontario Land Surveyor

Notes & Legend

Denotes	Survey Monument Planted
□	Survey Monument Found
SIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
(WIT)	Witness
(AOG)	Annis, O'Sullivan, Vollebek Ltd.
Meas.	Measured
(P1)	Registered Plan 305
(P2)	(AOG) Plan December 19, 2017
(P3)	(1287) Plan July 10, 2019
(P4)	(AOG) Plan January 17, 2022
UP	Utility Pole
BF	Board Fence
CLF	Chain Link Fence
OHW	Overhead Wire
C/L	Centreline
CRW	Concrete Retaining Wall

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999929.

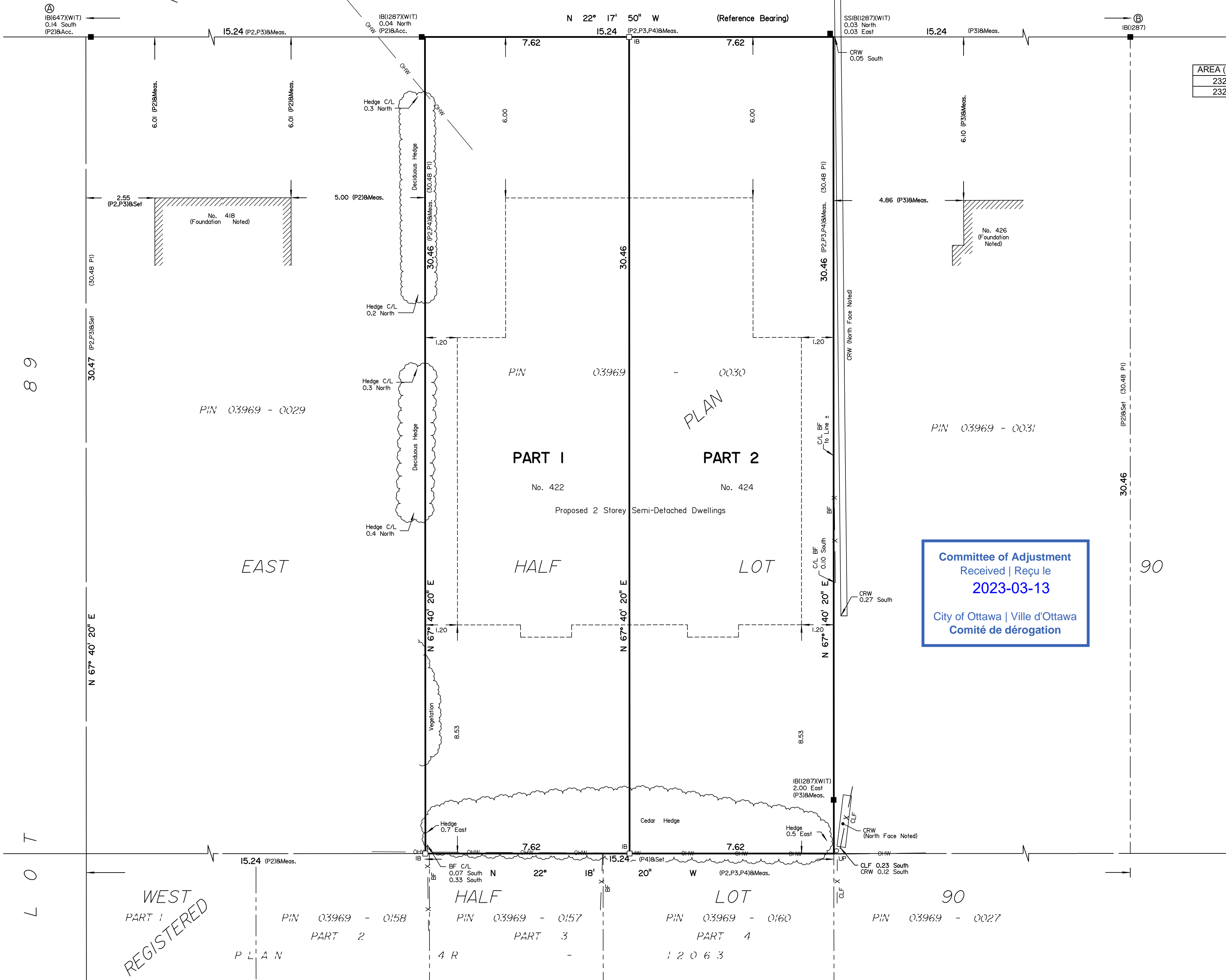
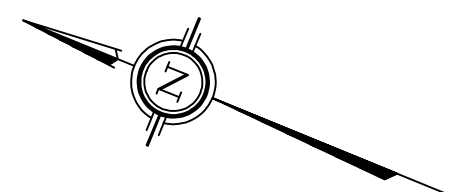
Bearings are grid, derived from westerly limit of Hartleigh Avenue having a bearing of N 22°17'50" W as shown on (AOG) Plan dated December 19, 2017 and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680005 and 01919750705, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

. 01919680005	Northing	5027191.26	Easting	361496.76
. 01919750705	Northing	5016816.93	Easting	360806.84
. Point A	Northing	5025884.77	Easting	361236.02
. Point B	Northing	5025842.60	Easting	361253.31

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.



Committee of Adjustment
Received | Reçu le
2023-03-13
City of Ottawa | Ville d'Ottawa
Comité de dérogation

ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: Nepean@avolltd.com

Ontario Land Surveyors Job No. 22495-21 422Hartleigh P/L190 RP305 R D1 ml

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
PART OF LOT 90
REGISTERED PLAN 305
CITY OF OTTAWA
 Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 100

Metric
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
 I CERTIFY THAT:
 1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
 2. The survey was completed on the 20th day of December, 2021.

Jan 17, 2022
 Date
 E. H. Henweyer
 Ontario Land Surveyor

PART 2
 THIS PLAN MUST BE READ IN CONJUNCTION WITH
 SURVEY REPORT DATED: January 17, 2022

ANNIS, O'SULLIVAN, VOLLEBEK LTD grants to
 K. Casey ("The Client"), their solicitors,
 mortgagees, and other related parties, permission to use original, signed, sealed
 copies of the Surveyor's Real Property Report in transactions involving The Client.

Notes & Legend

Denotes	
—□—	Survey Monument Planted
—■—	Survey Monument Found
SIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
(WIT)	Witness
Mcs.	Measured
(AOG)	Annis, O'Sullivan, Vollebek Ltd.
(P1)	Registered Plan 305
(P2)	(AOG) Plan December 18, 2017
(P3)	(1287) Plan July 10, 2019
○ MHS	Maintenance Hole (Sanitary)
— S —	Underground Sanitary Sewer
— W —	Underground Water
— G —	Underground Gas
— OW —	Overhead Wires
○ UP	Utility Pole
○ MP	Metal Pole
○	Deciduous Tree
★	Coniferous Tree
○	Shrubs
CLF	Chain Link Fence
BF	Board Fence
GM	Gas Meter
HM	Hydro Meter
∅	Diameter
+ 65.00	Location of Elevations
+ 65.00	Top of Retaining Wall Elevation
C/L	Centreline
CRW	Concrete Retaining Wall
SRW	Stone Retaining Wall

Bearings are grid, derived from westerly limit of Hartleigh Avenue
 having a bearing of N 22°17'50" W as shown on (AOG) Plan dated
 December 19, 2017 and are referred to the Central Meridian of MTM
 Zone 9 (78°30' West Longitude)
 NAD-83 (original).

Topographic data was collected under Winter Conditions.
 Snow cover and ice preclude determining location and
 elevation of some topographical data that is otherwise visible.

- UTILITY NOTES**
- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 - Only visible surface utilities were located.
 - Underground utility data derived from City of Ottawa utility sheet reference F-01-09 & F-01-10 & Drawing 295
 - Sanitary and storm sewer grades and inverts were derived from (1287) Plan dated July 10, 2019.
 - A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

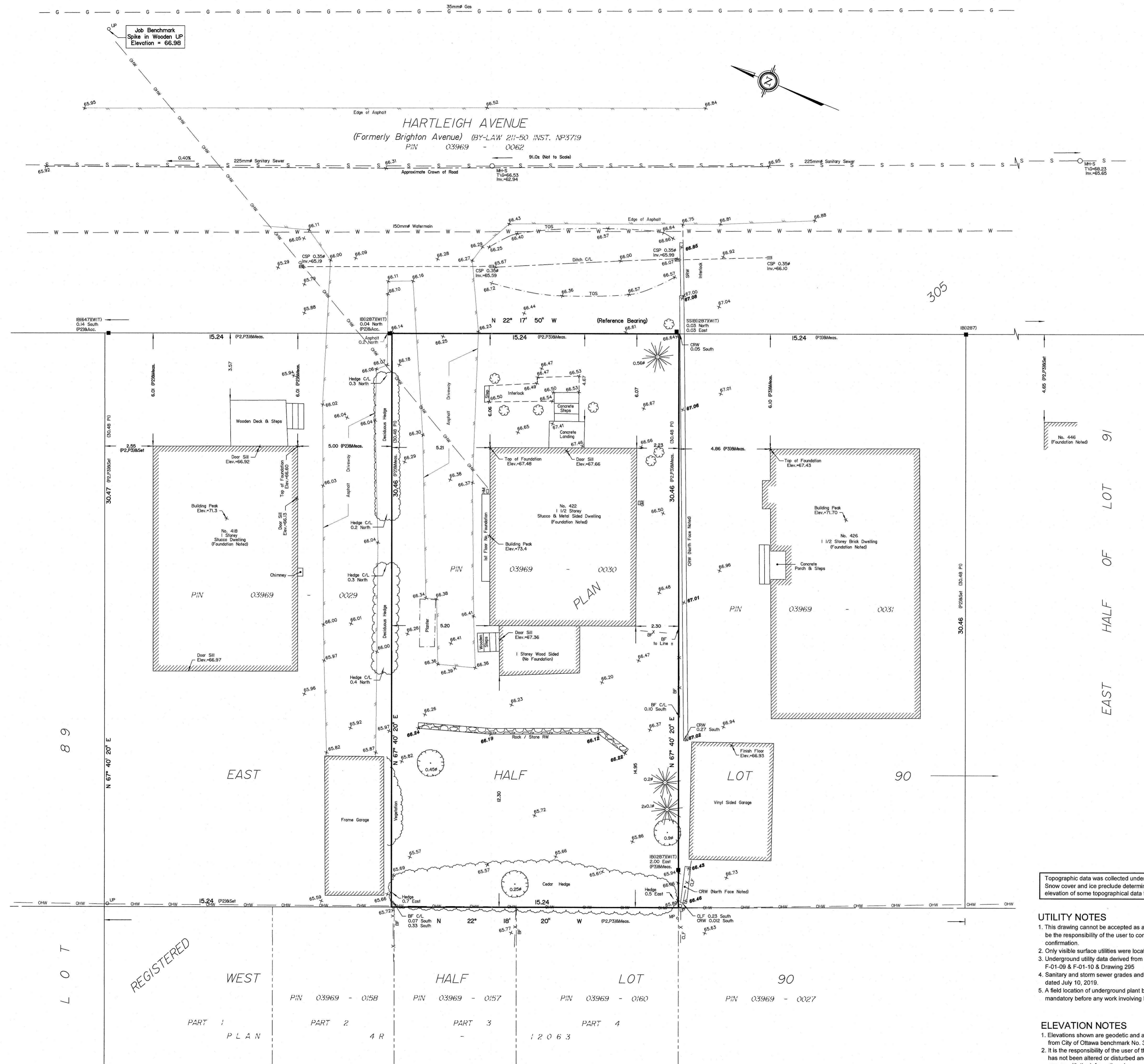
- ELEVATION NOTES**
- Elevations shown are geodetic and are referred to the CGVD28 geodetic datum, derived from City of Ottawa benchmark No. 3698 having an elevation of 68.824 metres.
 - It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that it's relative elevation and description agrees with the information shown on this drawing.

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 V-22457

THIS PLAN IS NOT VALID UNLESS
 IT IS AN EMBOSSED ORIGINAL
 COPY ISSUED BY THE SURVEYOR
 In accordance with
 Regulation 1026, Section 29 (3).

ANIS, O'SULLIVAN, VOLLEBEK LTD.
 14 Concourse Gate, Suite 500
 Nepean, Ont. K2E 7S6
 Phone: (613) 727-0850 / Fax: (613) 727-1079
 Email: info@aoslv.com

Ontario
 Land Surveyors
 Reg. No. 22457-21 Pl. L190 Pl. 305 T F



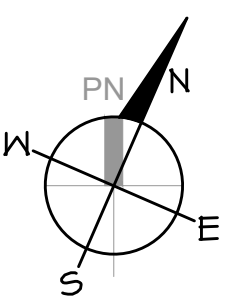
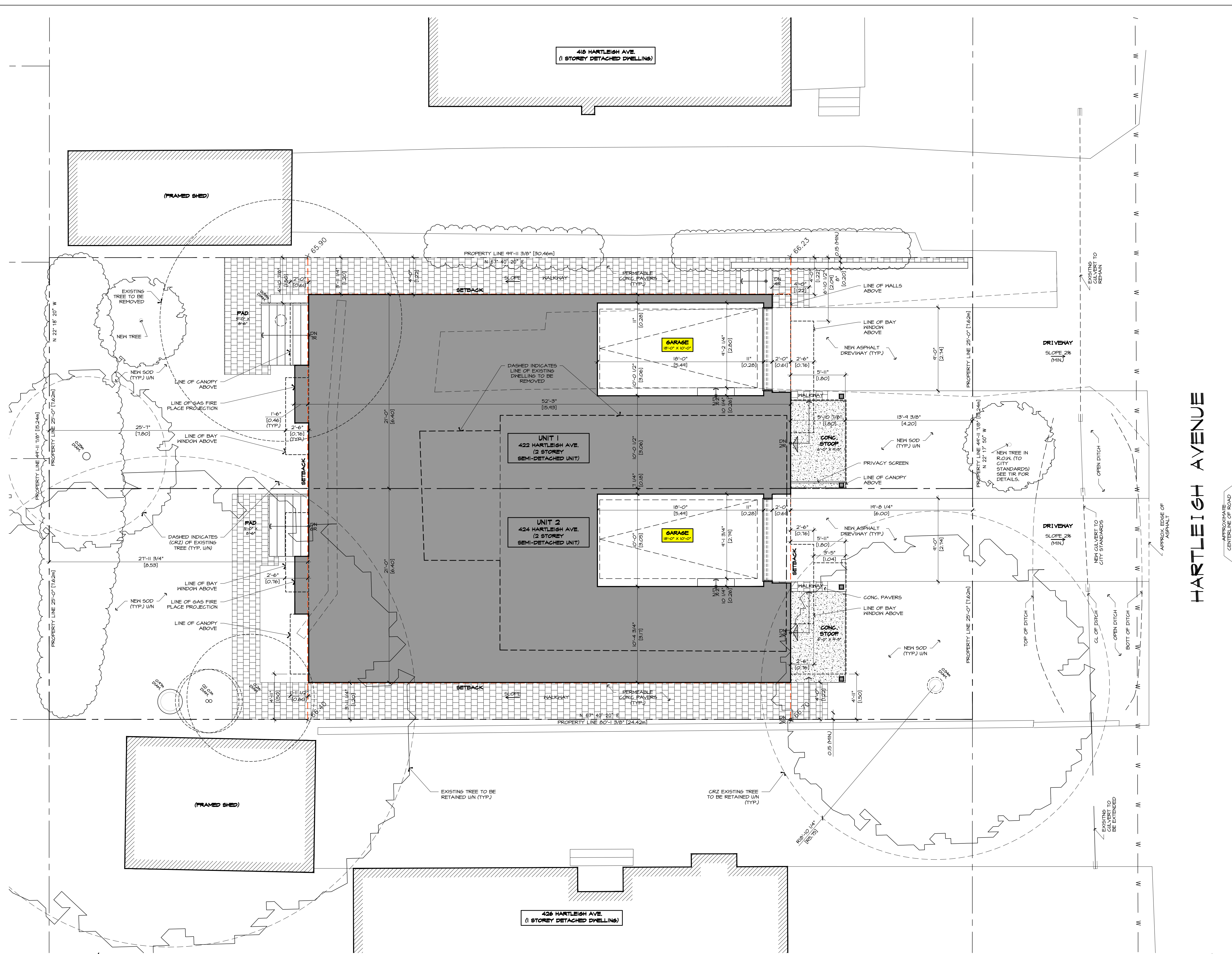
LOT 89 EAST HALF LOT 90 WEST HALF LOT 90

REGISTERED PLAN 305

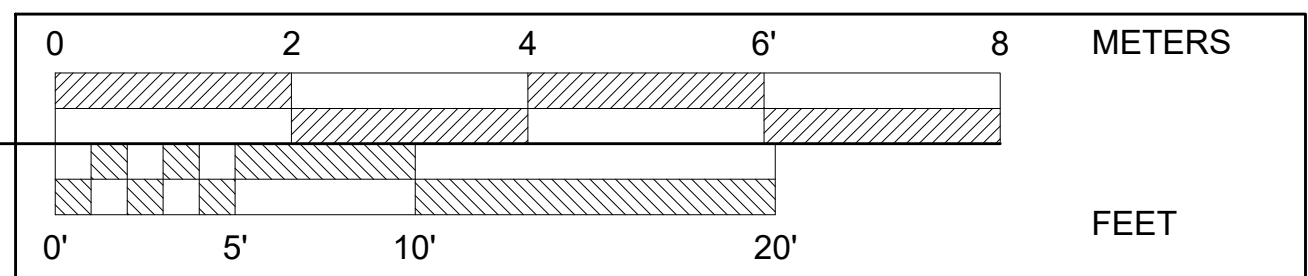
PART 1 PIN 03969 - 0158
 PART 2 PIN 03969 - 0157
 PART 3 PIN 03969 - 0160
 PART 4 PIN 03969 - 0027

1 2 0 6 3

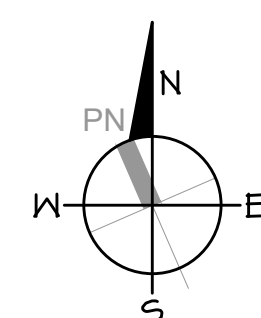
PLOT DATE : 2023-03-01



SITE PLAN
SCALE: 3/16" = 1'-0"



SURVEY INFO:
SURVEY INFORMATION TAKEN FROM A SURVEYOR'S REAL PROPERTY REPORT - PART I PLAN OF PART OF LOT 40, REGISTERED PLAN 305, CITY OF OTTAWA, DATED: JANUARY 11TH, 2022.
SURVEYED BY: ANNIS, O'SULLIVAN VOLLEBEKK LTD.



ZONING INFORMATION

ZONING : R2F

ZONING PROVISION	REQUIRED	PROVIDED
LOT WIDTH:	9.0m MIN.	7.62m
LOT AREA:	270.0m ² MIN.	232.0m ²
HEIGHT:	8.0m MAX.	8.0m
FRONT YARD:	6.0m MIN.	6.0m
REAR YARD: 25% OF LOT DEPTH OF 30.46M = 8.53m	8.53m	8.53m
INSIDE YARD:	1.5m MIN.	1.2m
LANDSCAPING: FRONT YARD 30% OF 452m ² = 148 m ² MIN.	30% (148 m ²) MIN.	44% (226.0m ²)
WALKWAY WIDTH	1.2 MAX.	0.91m
DRIVEWAY WIDTH	2.6 MAX.	2.6m

EXISTING AVERAGE GRADE CALCULATION:
65.90 + 66.23 + 66.40 + 66.70 = 66.31

DEVELOPMENT INFORMATION

LOT AREAS:
EXISTING LOT AREA= 4996.4 G.S.F. (464.5 M²)
PROPOSED LOT AREAS=

PART 1 = 2498 S.F. (232 S.M.)
PART 2 = 2498 S.F. (232 S.M.)

BUILDING AREAS:

EXISTING DWELLING FOOTPRINT=

-909.8 G.S.F. +/- (84.5 G.S.M. +/-)
PROPOSED SEMI-DETACHED DWELLING FOOTPRINT=

-2017.0 G.S.F. (187.4 G.S.M.)

GROSS FLOOR AREAS

UNITS 1+2 - 422+424 ATLANTIS AVE:

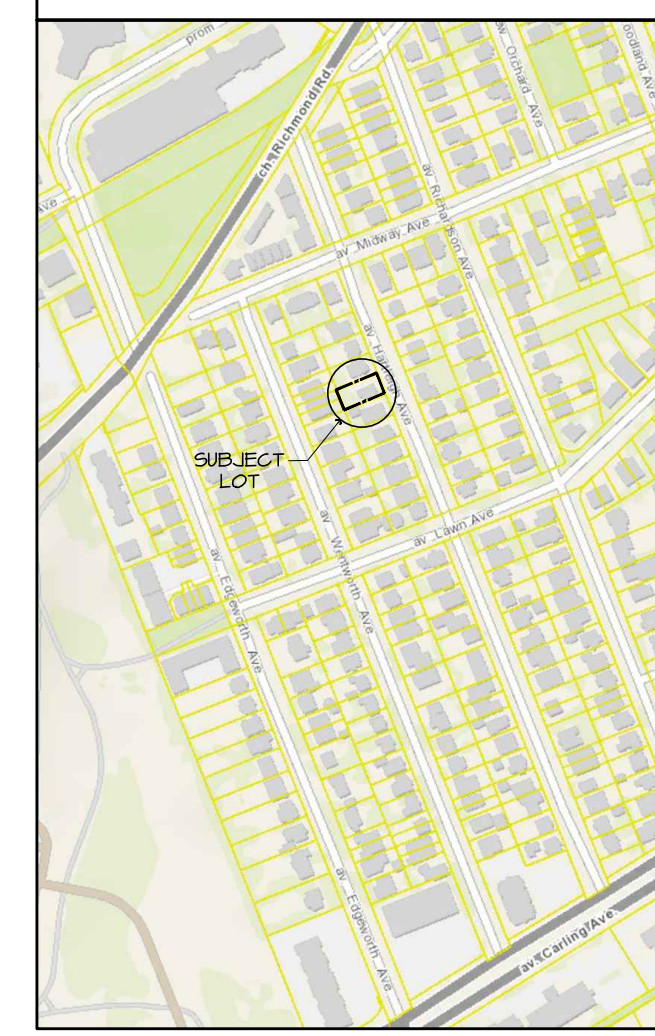
BSMT FLR.:	= -1926.0 G.S.F. (-179.0 G.S.M.)
MAIN FLR.:	= -1997.0 G.S.F. (186.0 G.S.M.)
2ND FLR.:	= -2200.0 G.S.F. (204.0 G.S.M.)
TOTAL UNIT 1+2:	= -4197.0 G.S.F. (-390.0 G.S.M.)

GRAND TOTAL GROSS FLOOR AREA:
-4197.0 G.S.F. (390.0 G.S.M.)
(I.N.C. BASEMENT, PORCH, DECK, BALCONES & GARAGE)

- SYMBOL LEGEND**
- HOSEBIB
 - GAS BIB
 - METER (G=GAS H=HYDRO)
 - SMOKE & C.O. DETECTOR
 - FAN EXHAUST
 - FIRE ALARM
 - EMERGENCY LIGHTS
 - REGISTER IN FLOOR
 - REGISTER ABOVE
 - REGISTER IN FLOOR (ABOVE)
 - ELECTRICAL PANEL
 - FLOOR DRAIN
 - AIR BARRIER
 - AIR / VAPOUR BARRIER
 - SEALANT FOR MEMBRANE
 - FIRE DEPARTMENT CONNECTION

- PROPOSED VARIANCES:**
- SEMI-DETACHED (PART 1 - 422 HARTLEIGH AVE.):**
BYLAW 2008-250:
- TO PERMIT A FRONT-FACING ATTACHED GARAGE, WHEREAS THE BY-LAW, BASED UPON THE STREETSCAPE CHARACTER ANALYSIS, DOES NOT PERMIT A FRONT-FACING ATTACHED GARAGE.
- SEMI-DETACHED (PART 2 - 424 HARTLEIGH AVE.):**
BYLAW 2008-250:
- TO PERMIT A FRONT-FACING ATTACHED GARAGE, WHEREAS THE BY-LAW, BASED UPON THE STREETSCAPE CHARACTER ANALYSIS, DOES NOT PERMIT A FRONT-FACING ATTACHED GARAGE.

- PREVIOUSLY APPROVED VARIANCES:**
- SEMI-DETACHED (PART 1 - 422 HARTLEIGH AVE.):**
BYLAW 2008-250:
- TO PERMIT A REDUCED LOT AREA OF 232 S.M., WHEREAS THE BY-LAW REQUIRES A MIN. AREA OF 270 S.M.
 - TO PERMIT A REDUCED LOT WIDTH OF 7.62M, WHEREAS THE BY-LAW REQUIRES A MIN. LOT WIDTH OF 9.0M.
 - TO PERMIT A REDUCED INTERIOR SIDE YARD SETBACK OF 1.2M, WHEREAS THE BY-LAW REQUIRES A MIN. SIDEYARD SETBACK OF 1.5M.
- SEMI-DETACHED (PART 2 - 424 HARTLEIGH AVE.):**
BYLAW 2008-250:
- TO PERMIT A REDUCED LOT AREA OF 232 S.M., WHEREAS THE BY-LAW REQUIRES A MIN. AREA OF 270 S.M.
 - TO PERMIT A REDUCED LOT WIDTH OF 7.62M, WHEREAS THE BY-LAW REQUIRES A MIN. LOT WIDTH OF 9.0M.
 - TO PERMIT A REDUCED INTERIOR SIDE YARD SETBACK OF 1.2M, WHEREAS THE BY-LAW REQUIRES A MIN. SIDEYARD SETBACK OF 1.5M.



LOCATION MAP
SCALE: 1:2000

PAUL A. COOPER ARCHITECT

71 CHAMBERLAIN AVE. OTTAWA, ONTARIO K1S 1V9 (819) 485-9312 TEL.

ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE (O.B.C.)

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE DESIGNER.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS

CONFIRM LOCATION OF ALL UNDERGROUND SERVICES PRIOR TO EXCAVATION.

DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED.

No.	REVISION	DATE
6	CofA APPLICATION	23.03.03
5	PERMIT APPLICATION	22.09.15
4	PRELIMINARY PRICING	22.08.17
3	CofA REVISION 1	22.05.24
2	CIVIL COORDINATN	22.05.16
1	CofA APPLICATION	22.03.29

ARCHITECT SEAL:	ORIENTATION:

PROJECT TITLE:
422 & 424 HARTLEIGH AVENUE
OTTAWA, ONTARIO

DRAWING TITLE:
SITE PLAN,
DEVELOPMENT
INFORMATION &
LOCATION MAP

PROJECT No. : 2021-06

DATE: 2021-11-16	DWG No.:
SCALE: NOTED	A020
DWG BY: P.A.C.	



422 & 424 HARTLEIGH AVE.

2021-12-21

SCHMATIC DESIGN : 21-12-21
DESIGN DEV #3 : 22-03-09
CofA Draft - Planner #1 : 22-03-17
DESIGN REV. - GARAGES : 22-12-21
CofA Draft 2 - GARAGES : 23-02-21
CofA APP 2 - GARAGES : 23-03-03

PRELIMINARY ONLY

PAUL A. COOPER
ARCHITECT
75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V5
(819) 685 9512 Tel.

PROJECT TITLE
**422 & 424
HARTLEIGH AVE.
OTTAWA, ONT.**

11	COFA APP. 2-GARAGES	2023 03-03
10	CITY PLANNER	2023 02-21
9	NEIGHBOUR SURVEY	2023 01-17
8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:
**PROPOSED
SITE PLAN**

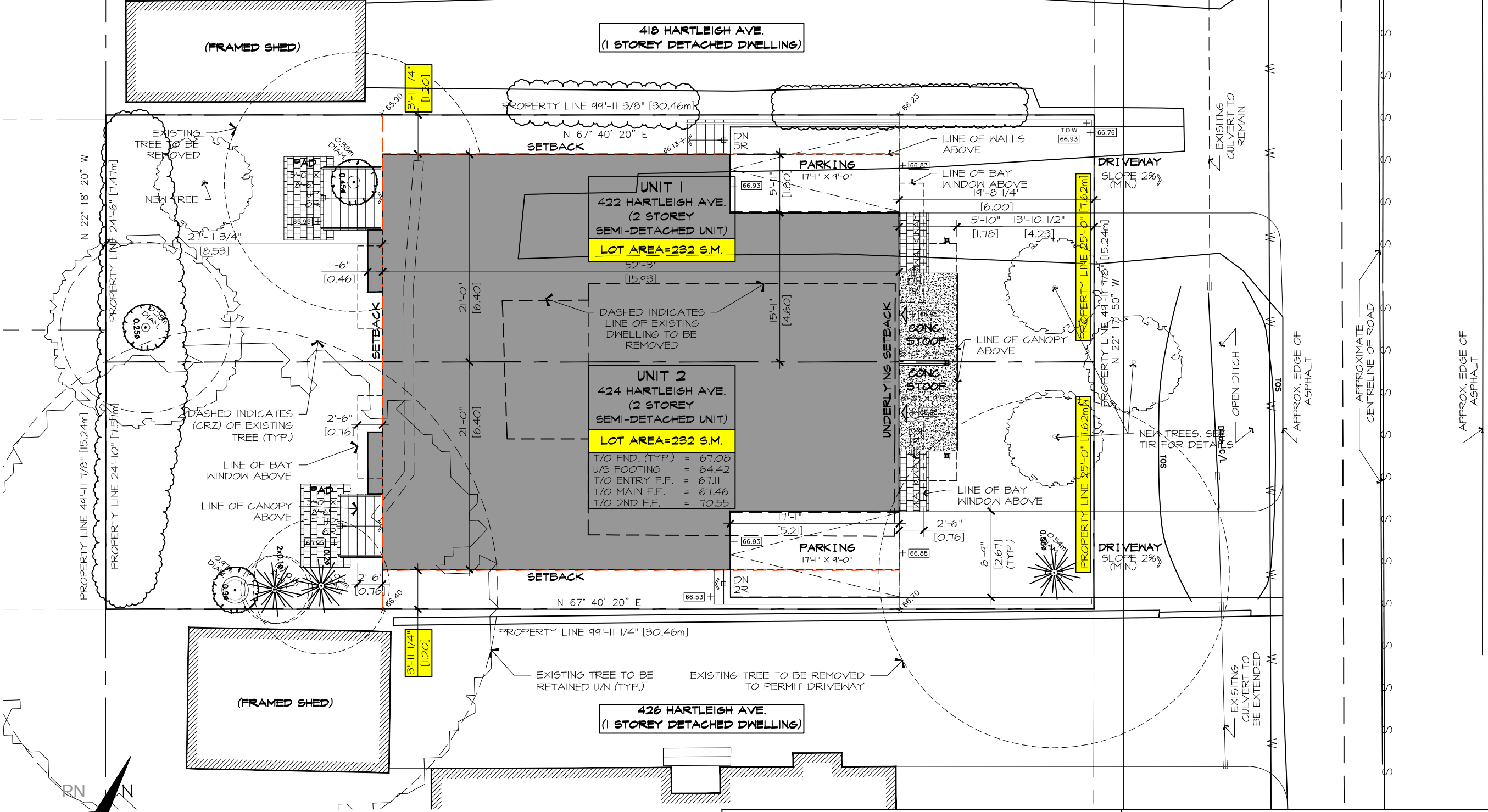
PROJECT No. :
2021-06

DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A0b

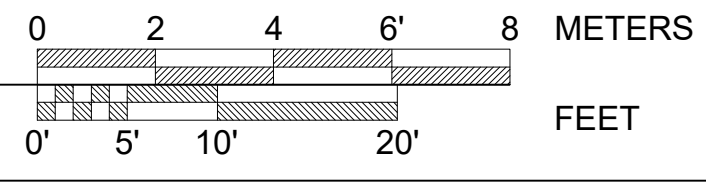
LEGEND

- EXISTING CONSTRUCTION
- PROPOSED NEW CONSTRUCTION @ MAIN FLR.



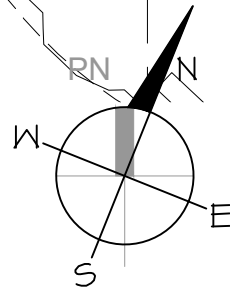
APPROVED SITE PLAN

SCALE: 3/32"=1'-0"

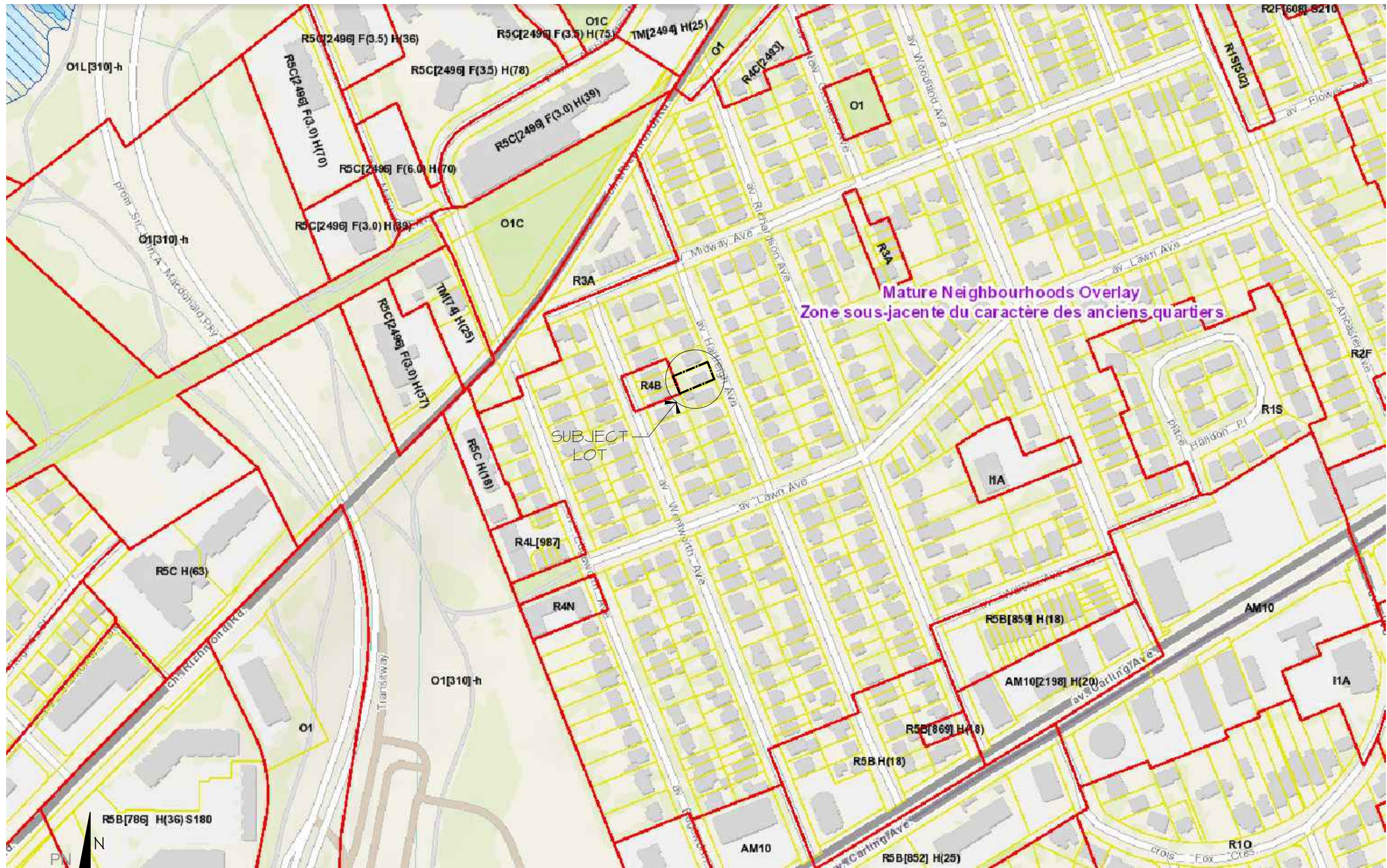


SURVEY INFO:
SURVEY INFORMATION TAKEN FROM A SURVEYOR'S REAL PROPERTY REPORT - PART I PLAN OF PART OF LOT 90, REGISTERED PLAN 305, CITY OF OTTAWA, DATED: JANUARY 17TH, 2022.
SURVEYED BY: ANNIS, O'SULLIVAN VOLLEBEKK LTD.

PLOT DATE: 23-03-03



PRELIMINARY ONLY



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**422 & 424
HARTLEIGH AVE.
OTTAWA, ONT.**

11	COFA APP. 2-GARAGES	2023 03-03
10	CITY PLANNER	2023 02-21
9	NEIGHBOUR SURVEY	2023 01-17
8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

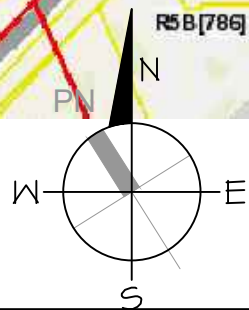
DRAWING TITLE:
**DEVELOPMENT
INFORMATION:
ZONING MAP**

PROJECT No. :
2021-06

DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV1

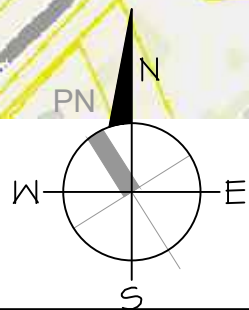
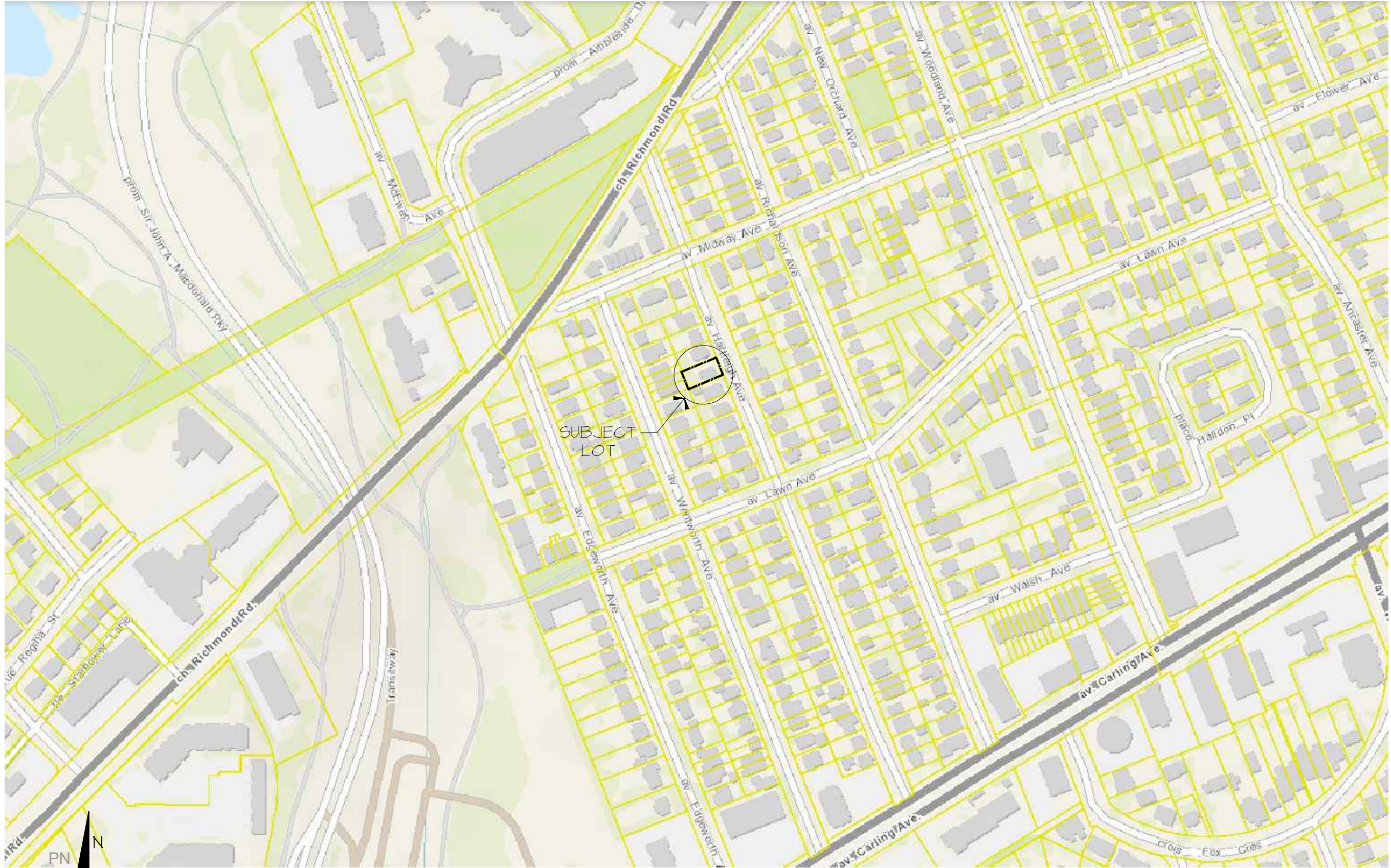
PLOT DATE: 23-03-03



ZONING CONTEXT MAP

SCALE: N.T.S.

PRELIMINARY ONLY



LOCATION MAP

SCALE: N.T.S.

PLOT DATE: 23-03-03

PAUL A. COOPER
ARCHITECT
75 CHAMBERLAIN AVE
OTTAWA, ONTARIO
K1S 1V5
(819) 685 9512 Tel.

PROJECT TITLE
**422 & 424
HARTLEIGH AVE.
OTTAWA, ONT.**

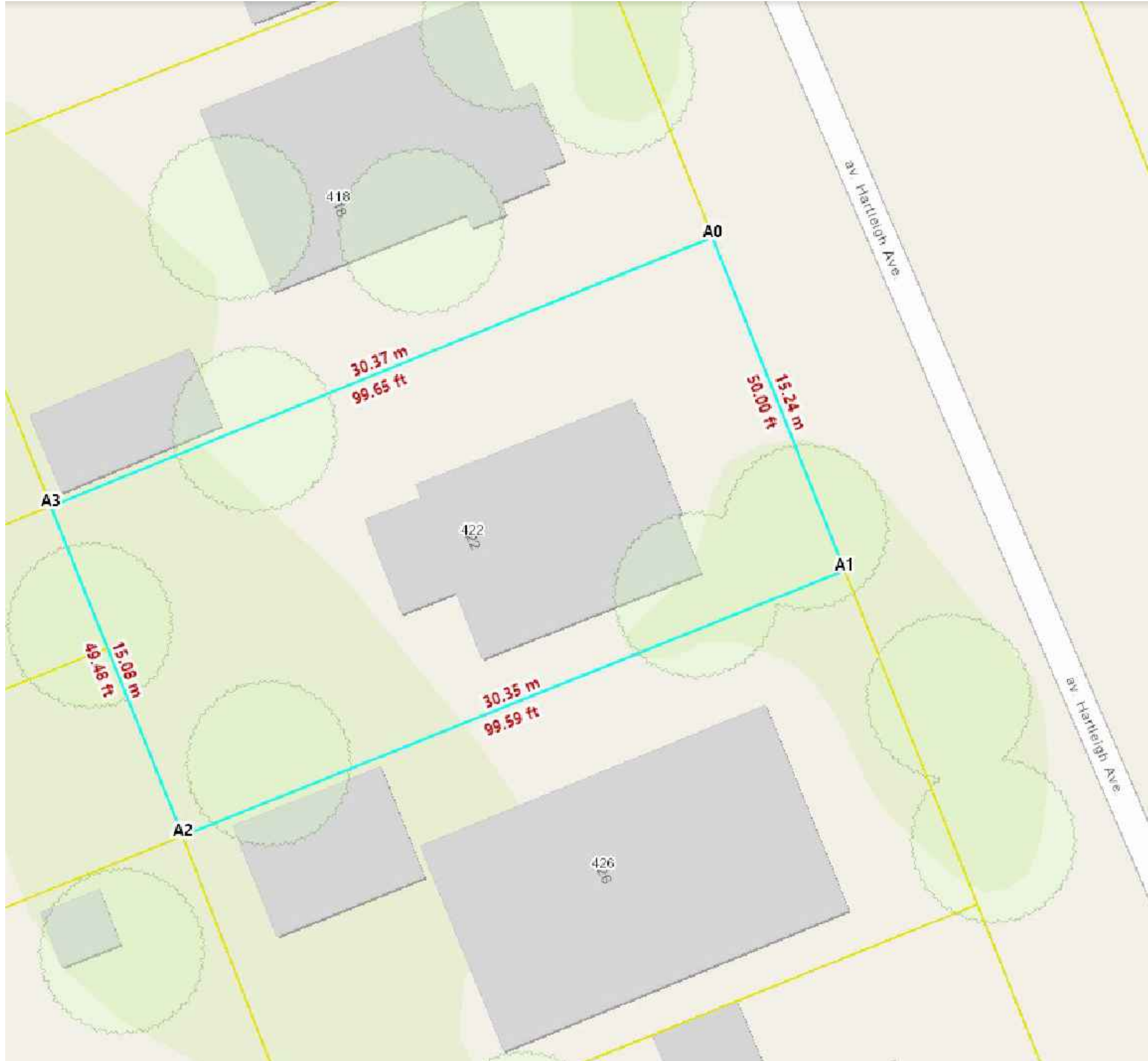
11	COFA APP. 2-GARAGES	2023 03-03
10	CITY PLANNER	2023 02-21
9	NEIGHBOUR SURVEY	2023 01-17
8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:
**DEVELOPMENT
INFORMATION:
LOCATION MAP**

PROJECT No. :
2021-06

DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV2



Property Report

Select a parcel on the map or search for an address to see a report for that property. Zoom in on the map if the property parcels are not visible.

Property Parcel:
 Calculated Parcel Area^[1]: 460.26 m² (4954.19 ft²)
 (0.05 ha)

Main Address:
 422 HARTLEIGH AVE

Solid Waste Collection:
 Waste Contractor: City
 Zone: 3
 Pickup Day/Calendar: FRIDAY/A

Garbage and Recycling Collection Calendar

Ward Information
 Number: 7
 Ward Name: Bay
 Councillor Name: Theresa Kavanagh

[More info about Theresa Kavanagh](#)

Print Report
 Property aerial photo



[1] The property parcel area value shown is based on the parcel selected to generate the report.

PAUL A. COOPER
 ARCHITECT
 75 CHAMBERLAIN AVE.
 OTTAWA, ONTARIO
 K1S 1V3
 (819) 685 9512 Tel.

PROJECT TITLE
**422 & 424
 HARTLEIGH AVE.
 OTTAWA, ONT.**

11	COFA APP. 2-GARAGES	2023 03-03
10	CITY PLANNER	2023 02-21
9	NEIGHBOUR SURVEY	2023 01-17
8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:
**DEVELOPMENT
 INFORMATION:
 ZONING**

PROJECT No. :
2021-06

DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV3

PRELIMINARY ONLY



PAUL A. COOPER
ARCHITECT
75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE
**422 & 424
HARTLEIGH AVE.
OTTAWA, ONT.**

11	COFA APP. 2-GARAGES	2023 03-03
10	CITY PLANNER	2023 02-21
9	NEIGHBOUR SURVEY	2023 01-17
8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:
**DEVELOPMENT
INFORMATION:
AERIAL PHOTO**

PROJECT No. :
2021-06

DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV4

PLOT DATE: 23-03-03



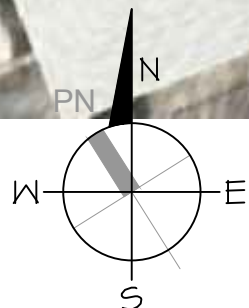
AERIAL PHOTO

SCALE: N.T.S.

PRELIMINARY ONLY



PLOT DATE: 23-03-03



AERIAL PHOTO - BLOW-UP

SCALE: N.T.S.

PAUL A. COOPER
ARCHITECT
75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE
**422 & 424
HARTLEIGH AVE.
OTTAWA, ONT.**

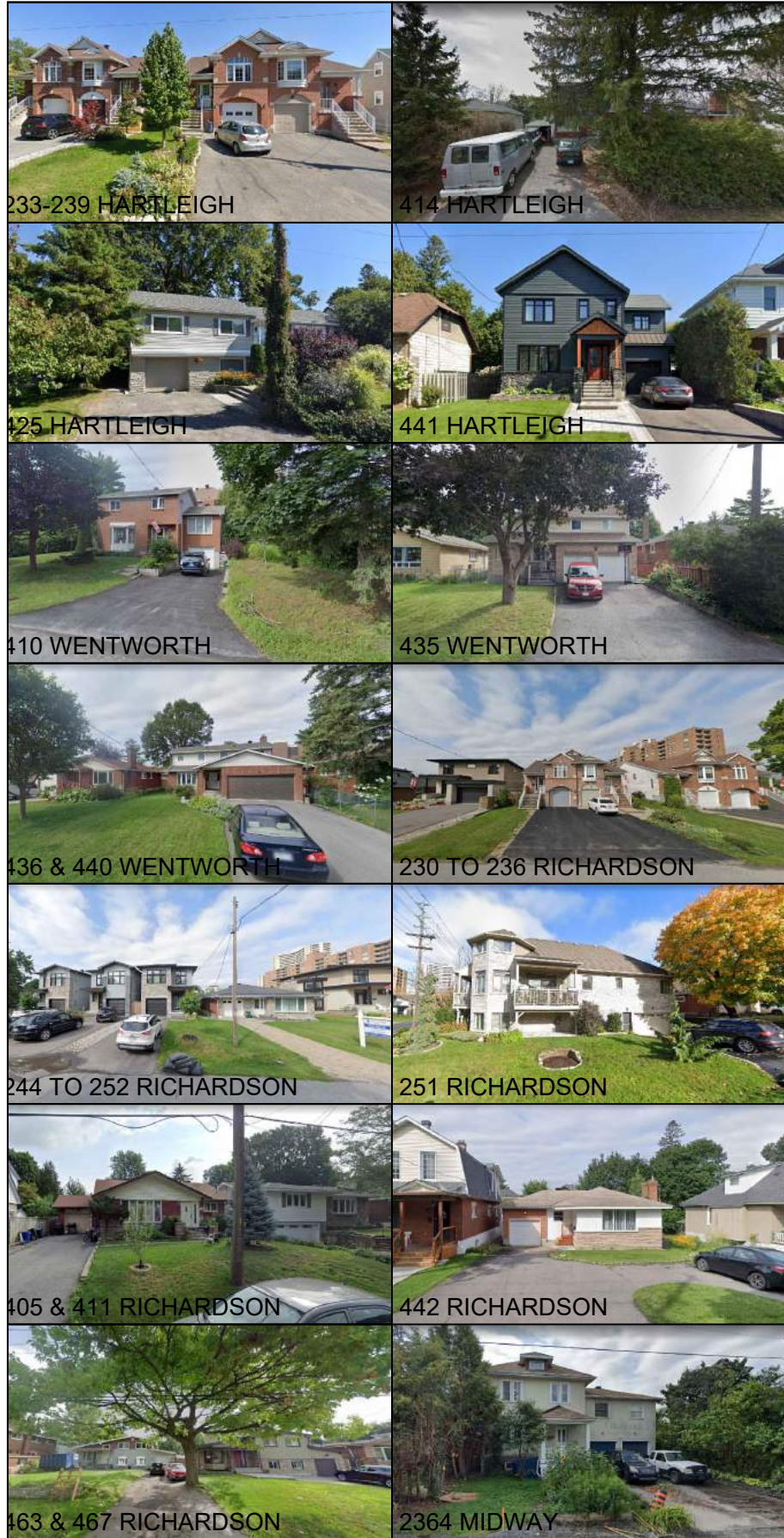
11	COFA APP. 2-GARAGES	2023 03-03
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8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:
**DEVELOPMENT
INFORMATION:
AERIAL PHOTO**

PROJECT No. :
2021-06

DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV5



NEIGHBORHOOD FRONT FACING ATTACHED GARAGE KEY PLAN
SCALE: N.T.S.

LEGEND

FRONT FACING ATTACHED GARAGE



PAUL A. COOPER ARCHITECT
75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V5
(819) 485 9512 Tel.

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OTTAWA, ONT.**

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8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:
**DEV. INFO.:
NEIGHBORHOOD
ATTACHED
GARAGES**

PROJECT No. :
2021-06

DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV6

PRELIMINARY ONLY



PROJECT TITLE
**422 & 424
 HARTLEIGH AVE.
 OTTAWA, ONT.**

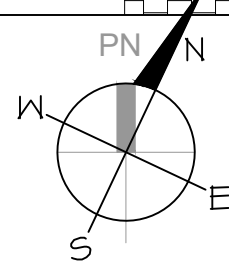
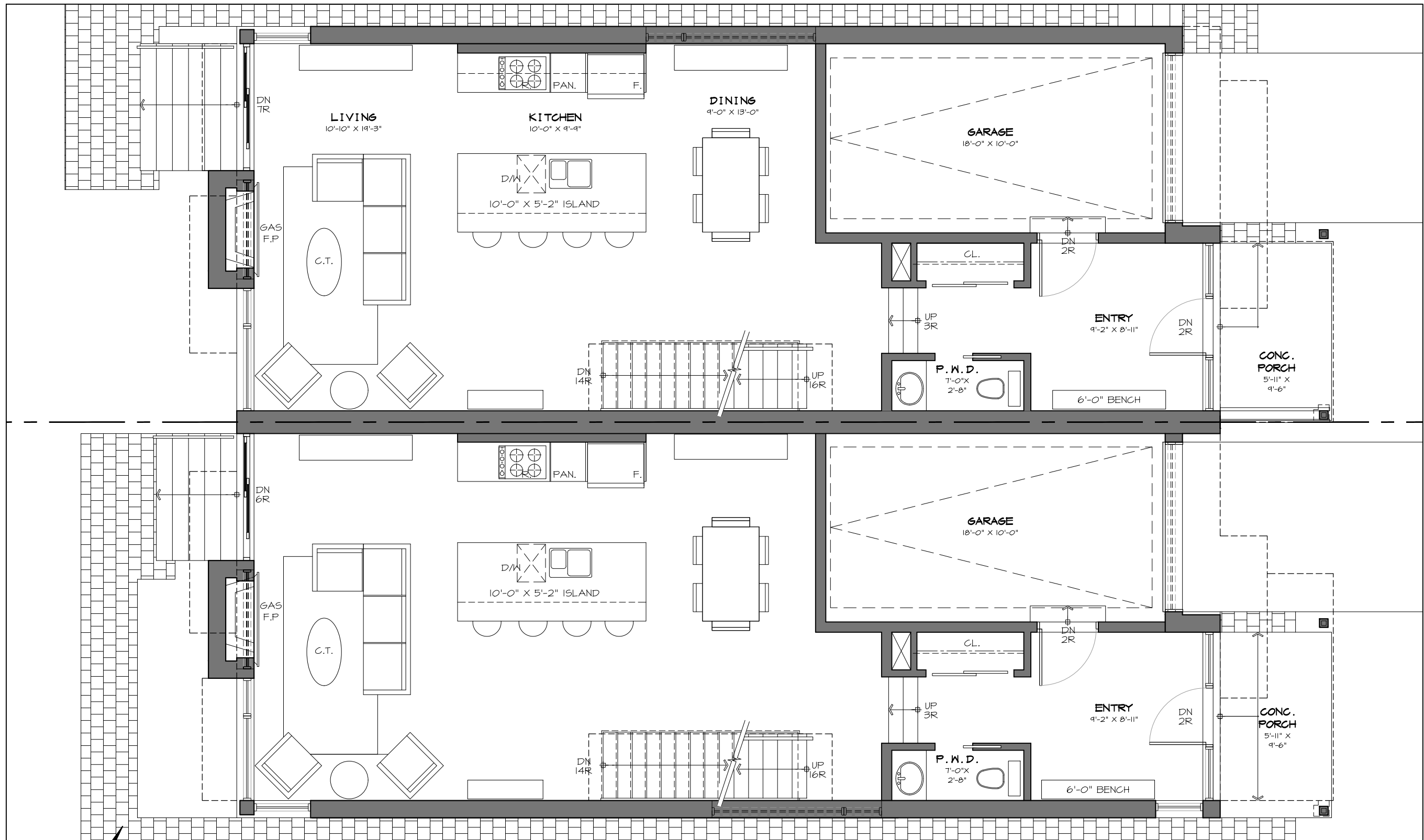
11	COFA APP. 2-GARAGES	2023 03-03
10	CITY PLANNER	2023 02-21
9	NEIGHBOUR SURVEY	2023 01-17
8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:
**PROPOSED
 FLOOR PLAN**

PROJECT No. :
2021-06

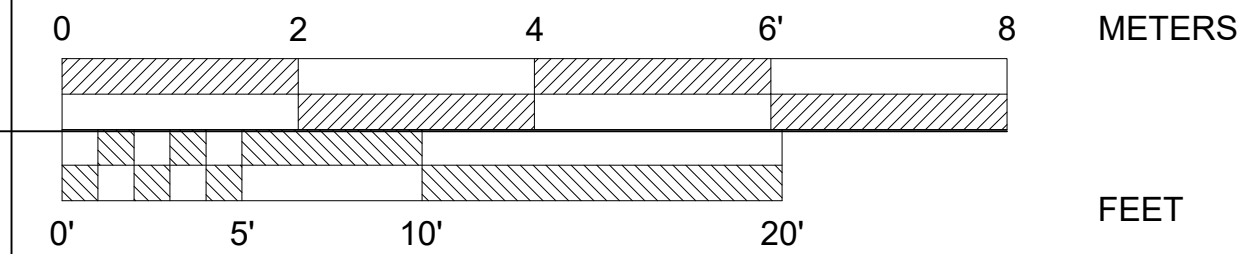
DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A1



MAIN FLR. PLAN

SCALE: 3/16"=1'-0"



(422 HARTLEIGH AVE.) BASEMENT AREA:
PROPOSED: ~963 SQFT. (89 M ²)
TOTAL AREA: ~1926 SQFT. (179 M ²)

PLOT DATE: 23-03-03

PRELIMINARY ONLY

PAUL A. COOPER
ARCHITECT

75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE
**422 & 424
HARTLEIGH AVE.
OTTAWA, ONT.**

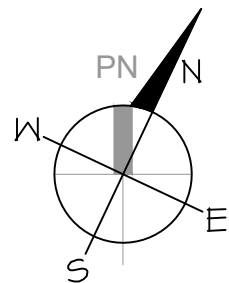
11	COFA APP. 2-GARAGES	2023 03-03
10	CITY PLANNER	2023 02-21
9	NEIGHBOUR SURVEY	2023 01-17
8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:
**PROPOSED
FLOOR PLAN**

PROJECT No. :
2021-06

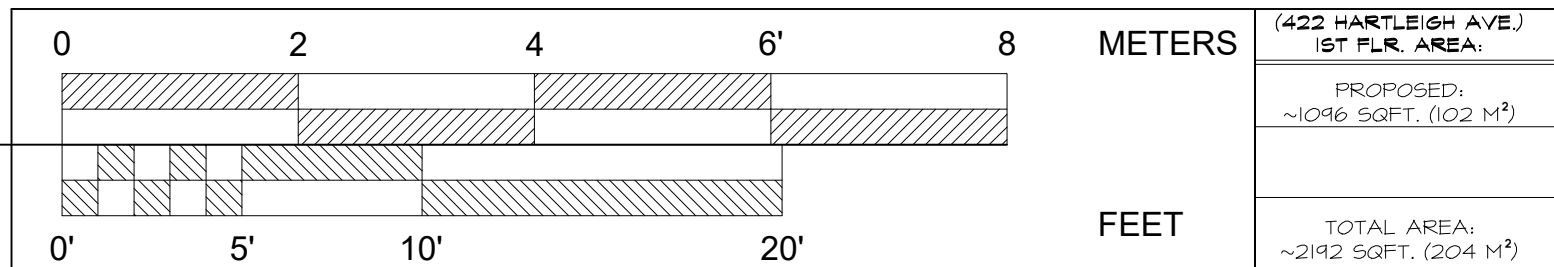
DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A2



SECOND FLR. PLAN

SCALE: 3/16"=1'-0"



PLOT DATE: 23-03-03

PRELIMINARY ONLY

PAUL A. COOPER
ARCHITECT

75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE
**422 & 424
HARTLEIGH AVE.
OTTAWA, ONT.**

11	COFA APP. 2-GARAGES	2023 03-03
10	CITY PLANNER	2023 02-21
9	NEIGHBOUR SURVEY	2023 01-17
8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:
**PROPOSED
ELEVATION**

PROJECT No. :
2021-06

DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A3



74.31 MAX. BUILDING HEIGHT (BY-LAW 2008-250)

T/O 2ND FLOOR WALL PLATE

T/O 2ND FLOOR SUB-FLOOR

U/S FLOOR JOISTS

T/O MAIN FLOOR S/F

T/O FND. WALL T/O ENTRY FLOOR F.F.

AVERAGE GRADE 66.31

MIN. FIN. GRADE FOR FROST COVER

T/O SUB-BASEMENT SLAB

U/S FOOTING

26'-3" [8.00] MAX. # PROPOSED BUILDING HEIGHT

8'-1 1/8" [2.47] 16 RISERS

10'-1 5/8" [3.04] 16 RISERS

1'-0 1/2" [0.32]

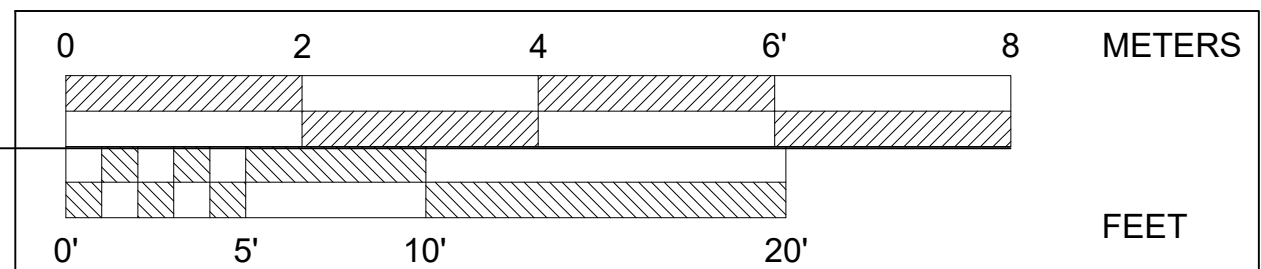
2'-3/4" [0.81]

8'-6 1/2" [2.60] 14 RISERS

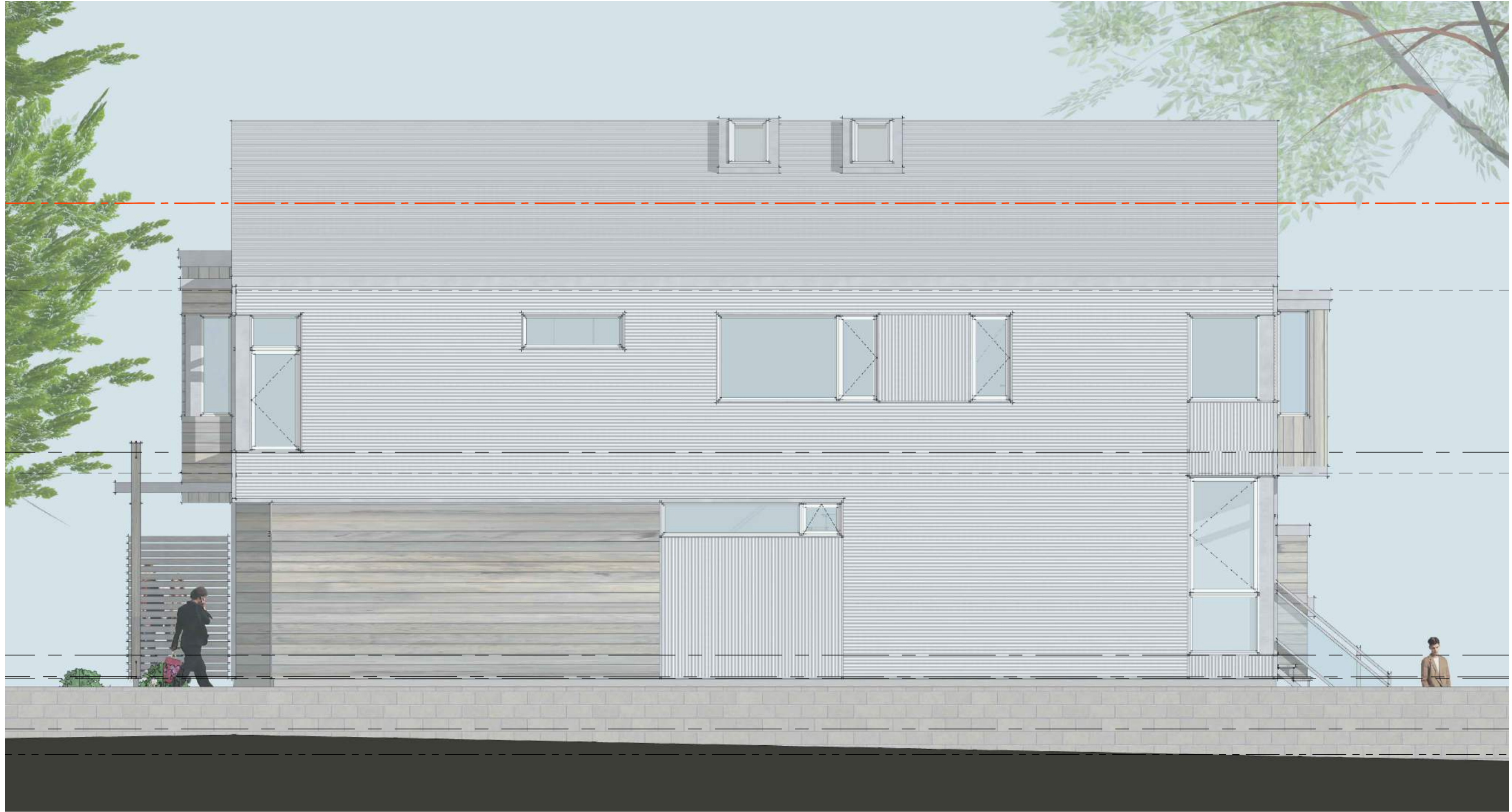
4'-11" [1.50]

EAST (FRONT) ELEVATION

SCALE: 3/16"=1'-0"



PRELIMINARY ONLY



PAUL A. COOPER
ARCHITECT
75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE
422 & 424
HARTLEIGH AVE.
OTTAWA, ONT.

11	COFA APP. 2-GARAGES	2023 03-03
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8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:

PROPOSED
ELEVATION

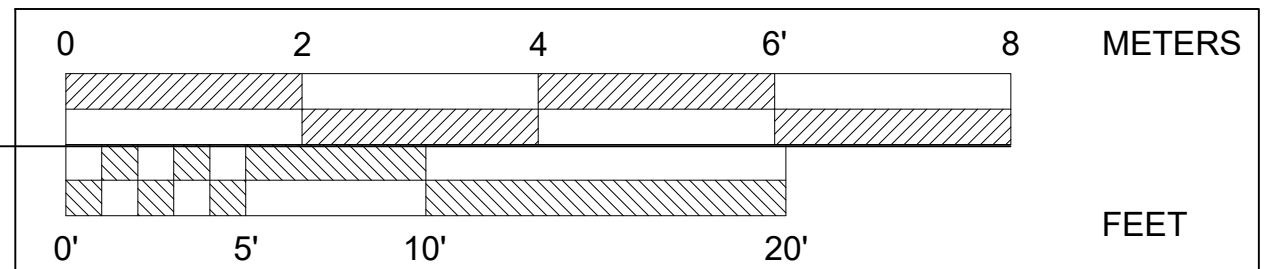
PROJECT No. :
2021-06

DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A4

NORTH (SIDE) ELEVATION

SCALE: 3/16"=1'-0"



PRELIMINARY ONLY

PAUL A. COOPER
ARCHITECT

75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE
**422 & 424
HARTLEIGH AVE.
OTTAWA, ONT.**

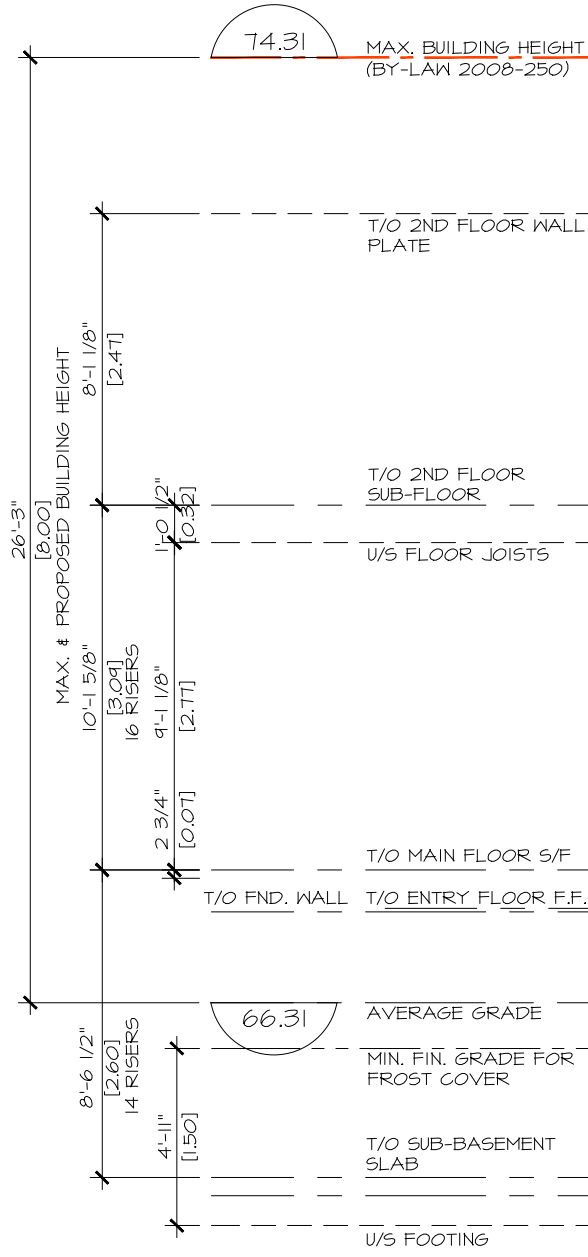
11	COFA APP. 2-GARAGES	2023 03-03
10	CITY PLANNER	2023 02-21
9	NEIGHBOUR SURVEY	2023 01-17
8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:
**PROPOSED
ELEVATION**

PROJECT No. :
2021-06

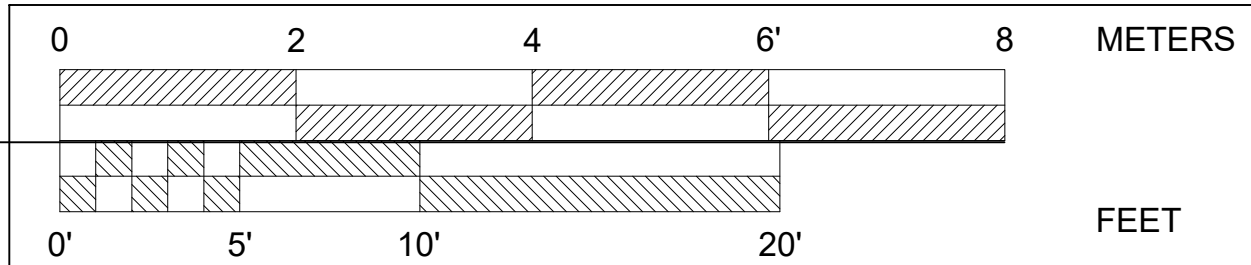
DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A5



WEST (REAR) ELEVATION

SCALE: 3/16"=1'-0"



PLOT DATE: 23-03-03

PRELIMINARY ONLY



PAUL A. COOPER
ARCHITECT
75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE
422 & 424
HARTLEIGH AVE.
OTTAWA, ONT.

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8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:
**PROPOSED
ELEVATION**

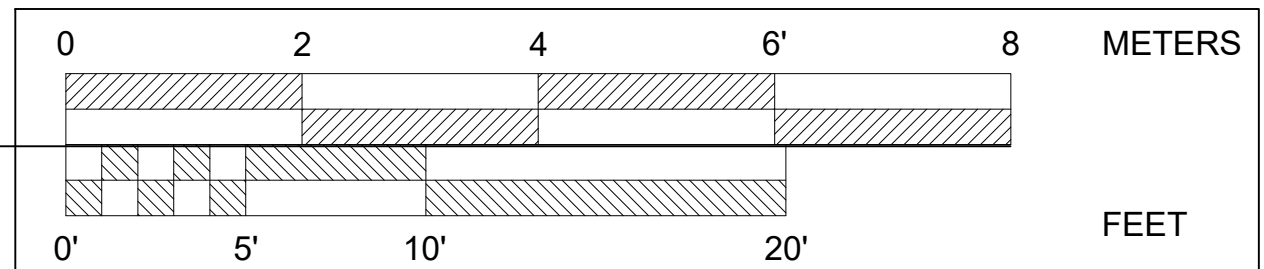
PROJECT No. :
2021-06

DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A6

SOUTH (SIDE) ELEVATION

SCALE: 3/16"=1'-0"





PERSPECTIVE 1



PERSPECTIVE 2



PERSPECTIVE 3



PERSPECTIVE 4

PAUL A. COOPER
ARCHITECT
75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE
422 & 424
HARTLEIGH AVE.
OTTAWA, ONT.

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8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:
PROPOSED
PERSPECTIVE

PROJECT No. :
2021-06

DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A7



PERSPECTIVE 5



PERSPECTIVE 6



PERSPECTIVE 7



PERSPECTIVE 8

PAUL A. COOPER
ARCHITECT
75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE
422 & 424
HARTLEIGH AVE.
OTTAWA, ONT.

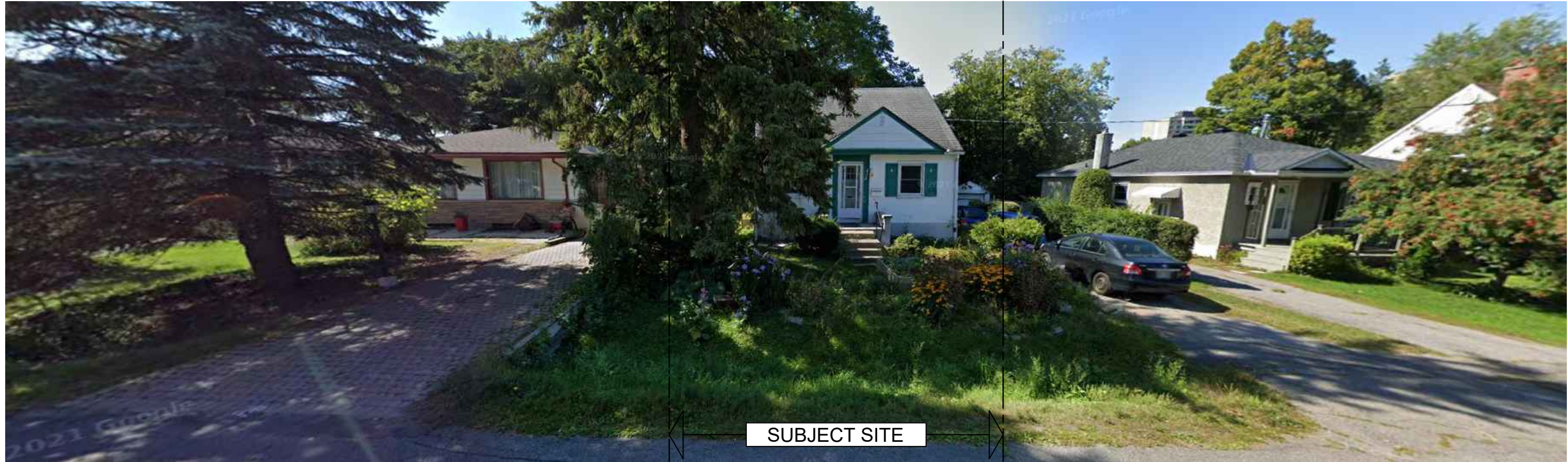
11	COFA APP. 2-GARAGES	2023 03-03
10	CITY PLANNER	2023 02-21
9	NEIGHBOUR SURVEY	2023 01-17
8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:
PROPOSED
PERSPECTIVE

PROJECT No. :
2021-06

DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A8



STREETSCAPE PHOTO

SCALE: N.T.S.



STREETSCAPE (FACING) PHOTO

SCALE: N.T.S.

PAUL A. COOPER
ARCHITECT
75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE
**422 & 424
HARTLEIGH AVE.
OTTAWA, ONT.**

11	COFA APP. 2-GARAGES	2023 03-03
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#	REV.	2022 XX-XX

DRAWING TITLE:
**STREETSCAPE
PHOTOS**

PROJECT No. :
2021-06

DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A9

PRELIMINARY ONLY



PROPOSED STREETScape

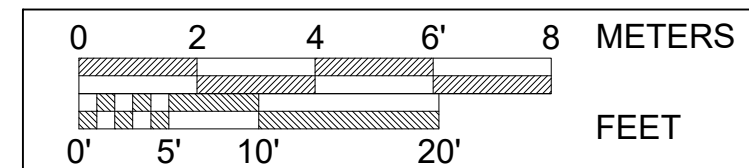
SCALE: 3/32" = 1'-0"

SUBJECT SITE



APPROVED STREETScape

SCALE: 3/32" = 1'-0"



PAUL A. COOPER
ARCHITECT
75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V3
(819) 685 9512 Tel.

PROJECT TITLE

422 & 424
HARTLEIGH AVE.
OTTAWA, ONT.

11	COFA APP. 2-GARAGES	2023 03-03
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8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:

COMPARATIVE
STREETScape
ELEVATIONS

PROJECT No. :

2021-06

DATE: 21-12-03

SCALE: NOTED

DWG BY: P.A.C.

DWG No:

A10

PLOT DATE: 23-03-03

PROJECT TITLE
**422 & 424
HARTLEIGH AVE.
OTTAWA, ONT.**

11	COFA APP. 2-GARAGES	2023 03-03
10	CITY PLANNER	2023 02-21
9	NEIGHBOUR SURVEY	2023 01-17
8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:
**COMPARATIVE
FRONT
ELEVATIONS**

PROJECT No. :
2021-06

DATE:	21-12-03
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A11



MAX. BUILDING HEIGHT
(BY-LAW 2008-250)

T/O 2ND FLOOR WALL
PLATE

T/O 2ND FLOOR
SUB-FLOOR

U/S FLOOR JOISTS

T/O MAIN FLOOR S/F

T/O ENTRY FLOOR F.F.

AVERAGE GRADE

MIN. FIN. GRADE FOR
FROST COVER

T/O SUB-BASEMENT
SLAB

U/S FOOTING

0.25M DIAM. SAN. — —
INVERT IN STREET

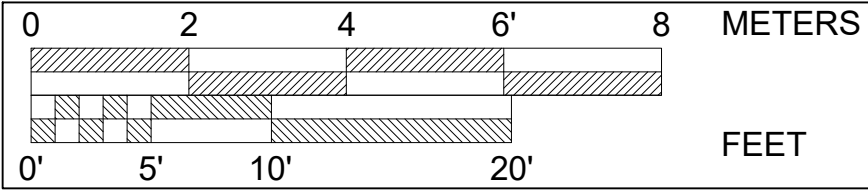
PROPOSEED FRONT ELEVATION

SCALE: 1/8" = 1'-0"



APPROVED FRONT ELEVATION

SCALE: 1/8" = 1'-0"



PRELIMINARY ONLY



PROPOSED - VIEW 1



APPROVED - VIEW 1



PROPOSED - VIEW 2



APPROVED - VIEW 2

PAUL A. COOPER
ARCHITECT
75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V5
(819) 685 9512 Tel.

PROJECT TITLE

422 & 424
HARTLEIGH AVE.
OTTAWA, ONT.

11	COFA APP. 2-GARAGES	2023 03-03
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8	PLAN REV. GARAGES	2023 01-09
#	REV.	2022 XX-XX

DRAWING TITLE:

COMPARATIVE
PERSPECTIVES

PROJECT No. :

2021-06

DATE:

21-12-03

SCALE:

NOTED

DWG BY:

P.A.C.

DWG No:

A12

PLOT DATE: 23-03-03