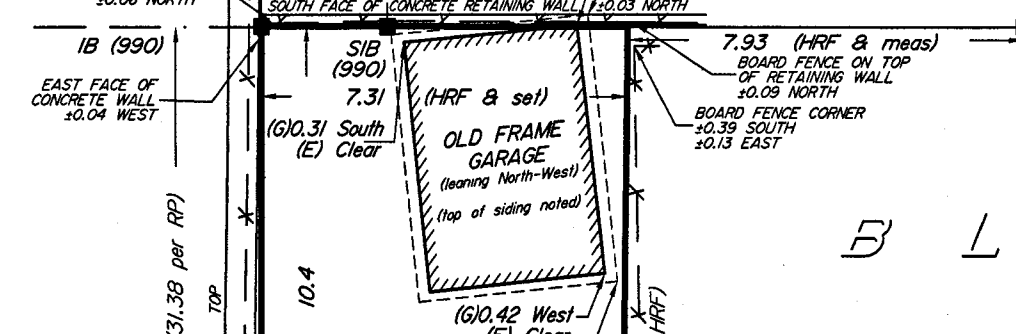


REGISTERED PLAN NO. 35035  
 LOT 35

PLAN 4R-14310  
 PART 5  
 PART 4  
 P.I.N. 04138-0344

LOT 34

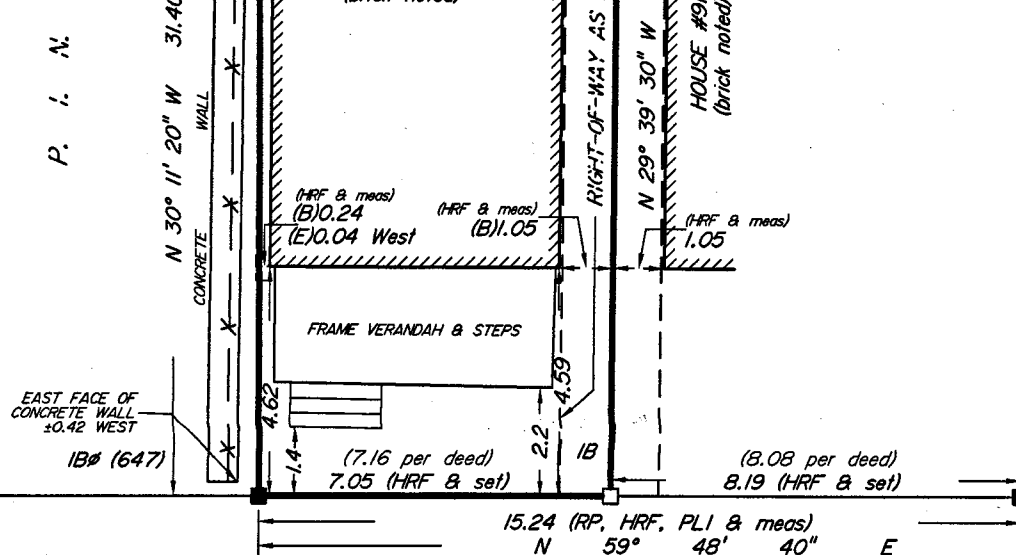
LOT 33



PLAN BY S.E. & H.R. FARLEY, O.L.S.S., DATED APRIL 1, 1969  
 P.I.N. 04138-0239

PLAN BY FARLEY & MARTIN LIMITED, DATED APRIL 1, 1969  
 P.I.N. 04138-0240

PLAN BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., DATED OCTOBER 29, 1986  
 P.I.N. 04138-0238



P.I.N. 04138-0287

REGISTERED PLAN NO. 34755

LOT 34

PLAN BY WEBSTER & SIMMONDS LTD., DATED SEPTEMBER 17, 1993

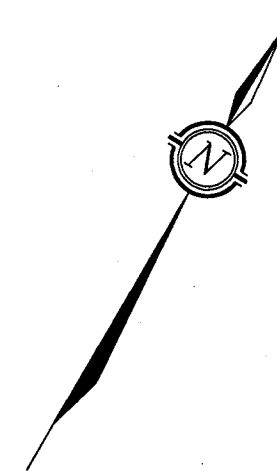
SIDE OF FIFTH AVENUE

FIFTH AVENUE  
 ROAD ALLOWANCE BETWEEN LOTS H & I, CONCESSION C (RIDEAU FRONT)

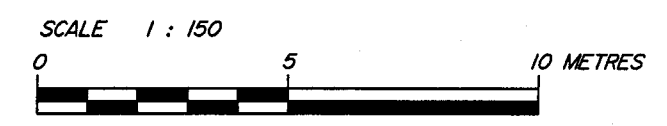
Committee of Adjustment  
 Received | Reçu le  
 2023-02-16  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation

ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
 1452569

THIS PLAN IS NOT VALID  
 UNLESS IT IS AN EMBOSSED  
 ORIGINAL COPY  
 ISSUED BY THE SURVEYOR  
 In accordance with  
 Regulation 1026, Section 29(3).



SURVEYOR'S REAL PROPERTY REPORT  
 PART I  
 PLAN OF  
 PART OF LOT 35 (NORTH SIDE OF FIFTH AVENUE)  
 BLOCK 24  
 REGISTERED PLAN N° 34756  
 Geographic TOWNSHIP OF NEPEAN, now in the  
 CITY OF OTTAWA  
 MART HIMMA, O.L.S.  
 2003



METRIC  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**PART 2: REPORT SUMMARY**  
**EASEMENTS/RIGHT-OF-WAYS**  
 SUBJECT TO AND TOGETHER WITH A RIGHT-OF-WAY AS DESCRIBED  
 IN INSTRUMENT N° 149882. SEE ATTACHED LETTER.  
**ENCROACHMENTS/REMARKS**  
 NOTE THE LOCATION OF THE SHED, EAVES, METAL FIRE ESCAPE STEPS,  
 RETAINING WALLS, AND FENCES AS SHOWN ON THIS PLAN.  
**ZONING**  
 COMPLIANCE WITH MUNICIPAL BY-LAWS NOT CERTIFIED BY THIS REPORT.

THIS REPORT WAS PREPARED FOR 1470475 ONTARIO INC.,  
 THE UNDERSIGNED (PAYETTE, HIMMA, DELORME LTD./L.TÉE.)  
 ACCEPTS NO RESPONSIBILITY FOR THE USE OF THIS REPORT  
 BY ANY OTHER PARTIES AFTER THE COMPLETION OF THE  
 TRANSACTION FOR WHICH THIS REPORT WAS PREPARED.

**NOTES**  
 BEARING - BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO  
 PART OF THE NORTHERLY LIMIT OF FIFTH AVENUE  
 AS SHOWN ON PLAN 4R-14310, HAVING A BEARING  
 A BEARING OF N 59° 48' 40" E.

**LEGEND**  
 ■ SURVEY MONUMENT FOUND  
 □ SURVEY MONUMENT SET  
 IB IRON BAR  
 SIB STANDARD IRON BAR  
 CP CONCRETE PIN  
 # ROUND OR DIAMETER  
 WIT. WITNESS  
 Acc. ACCEPTED  
 OU ORIGIN UNKNOWN  
 meas./ms MEASURED  
 P.I.N. PROPERTY IDENTIFIER NUMBER  
 INST. N° INSTRUMENT NUMBER  
 - x - FENCING  
 - / - NOT TO SCALE  
 O.L.S. ONTARIO LAND SURVEYOR  
 990 PAYETTE, HIMMA, DELORME LTD.  
 647 H.R. FARLEY, O.L.S.  
 1319 WEBSTER & SIMMONDS LTD.  
 AOG ANNIS, O'SULLIVAN, VOLLEBEKK LTD.  
 HRF PLANS BY H.R. FARLEY, O.L.S.  
 (B) BRICK TIE  
 (E) EAVE TIE  
 (G) GARAGE TIES  
 RP REGISTERED PLAN N° 34756  
 PLI PLAN 4R-14310

**WARNING**  
 NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER  
 THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN  
 PERMISSION OF PAYETTE, HIMMA, DELORME LTD./L.TÉE.  
 THIS PLAN IS NOT FOR REGISTRATION PURPOSES.

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1.) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE  
 SURVEYS ACT, THE SURVEYORS ACT, AND THE LAND TITLES ACT AND  
 THE REGULATIONS MADE UNDER THEM.  
 2.) THE SURVEY WAS COMPLETED ON MARCH 12TH, 2003.  
 DATED: APRIL 18TH, 2003

C  
 2003

**PAYETTE, HIMMA, DELORME LTD./L.TÉE.**  
 ONTARIO LAND SURVEYORS  
 OTTAWA - ROCKLAND, ONTARIO  
 (613) 446-5627  
 www.PHDsurveying.com  
 REF. N° 03-035

There are red notes on these plans,  
acceptance of the Building Permit  
includes acceptance of these red notes

**SITE  
COPY**  
City of Ottawa

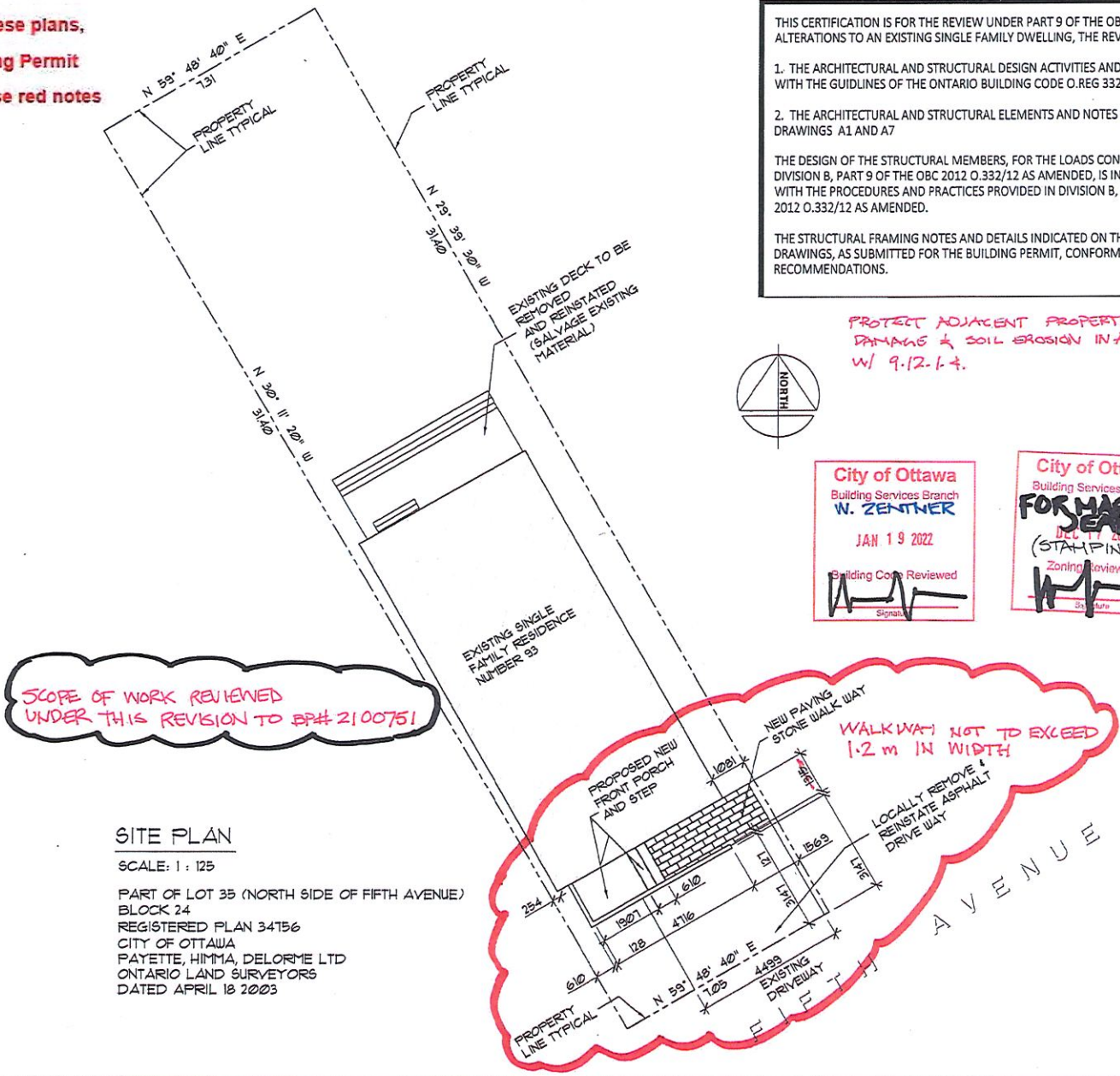
THIS CERTIFICATION IS FOR THE REVIEW UNDER PART 9 OF THE OBC 2012 OF ALTERATIONS TO AN EXISTING SINGLE FAMILY DWELLING, THE REVIEW COVERS:

1. THE ARCHITECTURAL AND STRUCTURAL DESIGN ACTIVITIES AND ITS CONFORMITY WITH THE GUIDELINES OF THE ONTARIO BUILDING CODE O.REG 332/12 (AS AMENDED).
2. THE ARCHITECTURAL AND STRUCTURAL ELEMENTS AND NOTES SHOWN ON SEALED DRAWINGS A1 AND A7

THE DESIGN OF THE STRUCTURAL MEMBERS, FOR THE LOADS CONFORMING TO DIVISION B, PART 9 OF THE OBC 2012 O.332/12 AS AMENDED, IS IN THE COMPLIANCE WITH THE PROCEDURES AND PRACTICES PROVIDED IN DIVISION B, PART 4 OF THE OBC 2012 O.332/12 AS AMENDED.

THE STRUCTURAL FRAMING NOTES AND DETAILS INDICATED ON THE ABOVE-NOTED DRAWINGS, AS SUBMITTED FOR THE BUILDING PERMIT, CONFORM TO OUR RECOMMENDATIONS.

THESE PLANS PREPARED BY WEPIC, ARE AN INSTRUMENT OF SERVICES AND, AS SUCH, REMAINS THE PROPERTY. ANY OTHER PERSONS WANTING TO COPY OR USE THESE DRAWINGS MUST HAVE WRITTEN CONSENT BY A. ADAMANTINO FAILURE TO DO SO WILL RESULT IN LITIGATION.



SCOPE OF WORK REVIEWED UNDER THIS REVISION TO BP# 2100751

PROTECT ADJACENT PROPERTIES FROM DAMAGE & SOIL EROSION IN ACCORDANCE W/ 9.12.1.4.



City of Ottawa  
Building Services Branch  
**W. ZENTNER**  
JAN 19 2022  
Building Code Reviewed  
Signature

City of Ottawa  
Building Services Branch  
**FOR MARISSA**  
Det. M. ZIA  
(STAMP IN FILE)  
Zoning Reviewed  
Signature

**SITE PLAN**  
SCALE: 1 : 125  
PART OF LOT 35 (NORTH SIDE OF FIFTH AVENUE)  
BLOCK 24  
REGISTERED PLAN 34756  
CITY OF OTTAWA  
PAYETTE, HIMMA, DELORME LTD  
ONTARIO LAND SURVEYORS  
DATED APRIL 18 2003

Revised As Per City of Ottawa Comments Dated Nov. 16 2021	DEC. 6 2021
No.	Date

Client: PROPOSED ALTERATIONS  
93 FIFTH AVENUE

Drawing: SITE PLAN

Scale: 1:25 By: AKA Date:

STAMP

A1



**City of Ottawa**  
 Development Review Branch  
 Grading & Servicing Reviewed  
 Name: Vincent Duquette, EIT  
 Signed: *V. Duquette*  
 Date: 4:51 pm, Nov 05 2021

**SITE COPY**  
 City of Ottawa

**A21-008677**

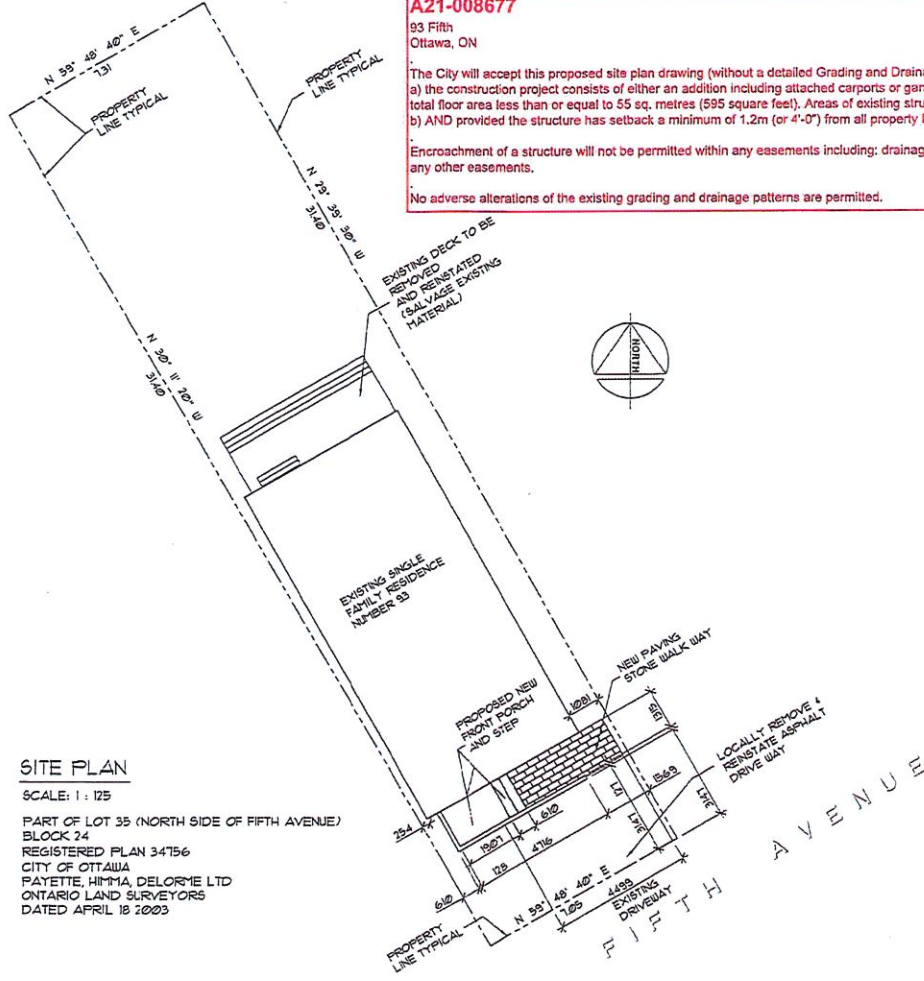
93 Fifth  
 Ottawa, ON

The City will accept this proposed site plan drawing (without a detailed Grading and Drainage Plan), as the following conditions have been met:  
 a) the construction project consists of either an addition including attached carports or garages, decks, or any detached accessory building with a total floor area less than or equal to 55 sq. metres (595 square feet). Areas of existing structures are to be subtracted.  
 b) AND provided the structure has setback a minimum of 1.2m (or 4'-0") from all property lines.

Encroachment of a structure will not be permitted within any easements including: drainage easements, access easements, utility easements, or any other easements.

No adverse alterations of the existing grading and drainage patterns are permitted.

THIS PLAN PREPARED BY MIREL AND AN INSTRUMENT OF RECORD AND AS SUCH BINDS THE PROPERTY. ANY OTHER PERSONS WANTING TO COPY OR USE THESE DRAWINGS MUST HAVE WRITTEN CONSENT BY A SIGNATURE FROM TO OR BY MAIL. PENALTY IN VIOLATION.



**SITE PLAN**  
 SCALE: 1 : 125  
 PART OF LOT 35 (NORTH SIDE OF FIFTH AVENUE)  
 BLOCK 24  
 REGISTERED PLAN 34756  
 CITY OF OTTAWA  
 FAYETTE, HIMMA, DELOME LTD  
 ONTARIO LAND SURVEYORS  
 DATED APRIL 18 2003

No.	Revision	Date
<input checked="" type="checkbox"/> ISSUED FOR BUILDING PERMIT		
Drawn: <b>PROPOSED ALTERATIONS</b> 93 FIFTH AVENUE		
Drawing: <b>SITE PLAN</b>		
Scale:	Dg.:	Date:
1:125	ASA	
Sheet: <b>A1</b>		



# 93 FIFTH AVENUE

93 FIFTH AVENUE, OTTAWA, ON K1S 2M3

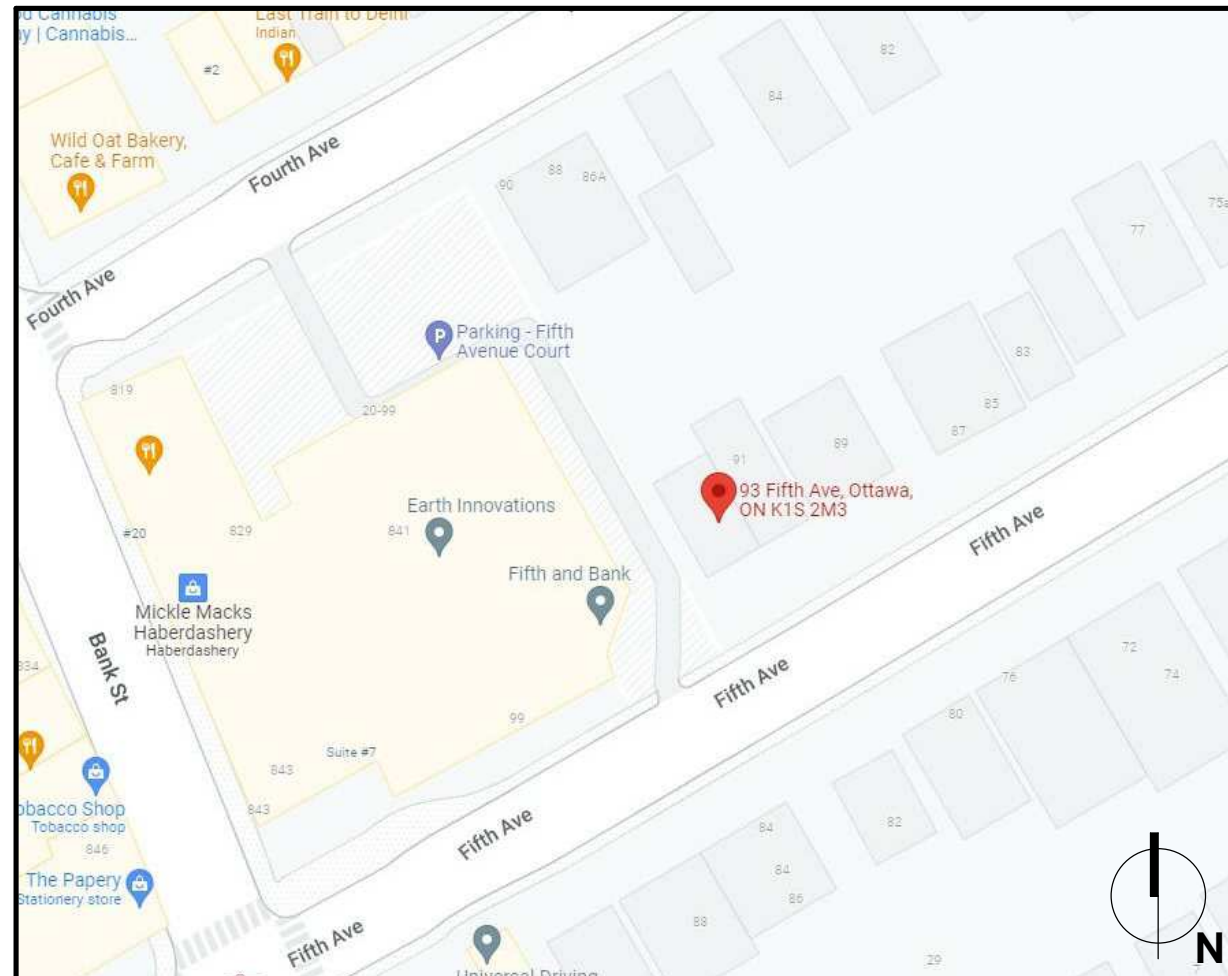
ARCHITECT

**linebox**

STUDIO

## ARCHITECTURAL DRAWING LIST

DWG NO.	DRAWING TITLE	CURRENT REV.	CURRENT REV. DATE
A-0 GENERAL			
A-000	COVER SHEET	1	2022-10-21
A-090	SITE PLAN	1	2022-10-21
A-2 ELEVATIONS			
A-200	NORTH (REAR) ELEVATION	1	2022-10-21
A-201	EAST (SIDE) ELEVATION	1	2022-10-21
A-203	WEST (SIDE) ELEVATION	1	2022-10-21



LOCATION MAP



1	ISSUED FOR BUILDING PERMIT	2022-10-21
no	revisions	date
stamp   timbre		



architect | architecte

**linebox**  
STUDIO

project title | titre du projet

**93 FIFTH AVENUE**

93 FIFTH AVENUE, OTTAWA, ON K1S 2M3

drawing title | titre du dessin

**COVER SHEET**

project number | numero du projet **2224**

drawn | dessiné **SS/JH**

checked | vérifié **MAR**

scale | échelle **12" = 1'-0"**

date | date **2022/08/19**

drawing number | numéro du dessin

**A-000**

**SITE DATA:**

TOTAL LOT AREA: APPROX. 2,470.7 SQAURE FEET  
 APPROX. TOTAL BUILDING AREA: 756 SQAURE FEET  
 APPROX. TOTAL LOT COVERAGE: 30.5%

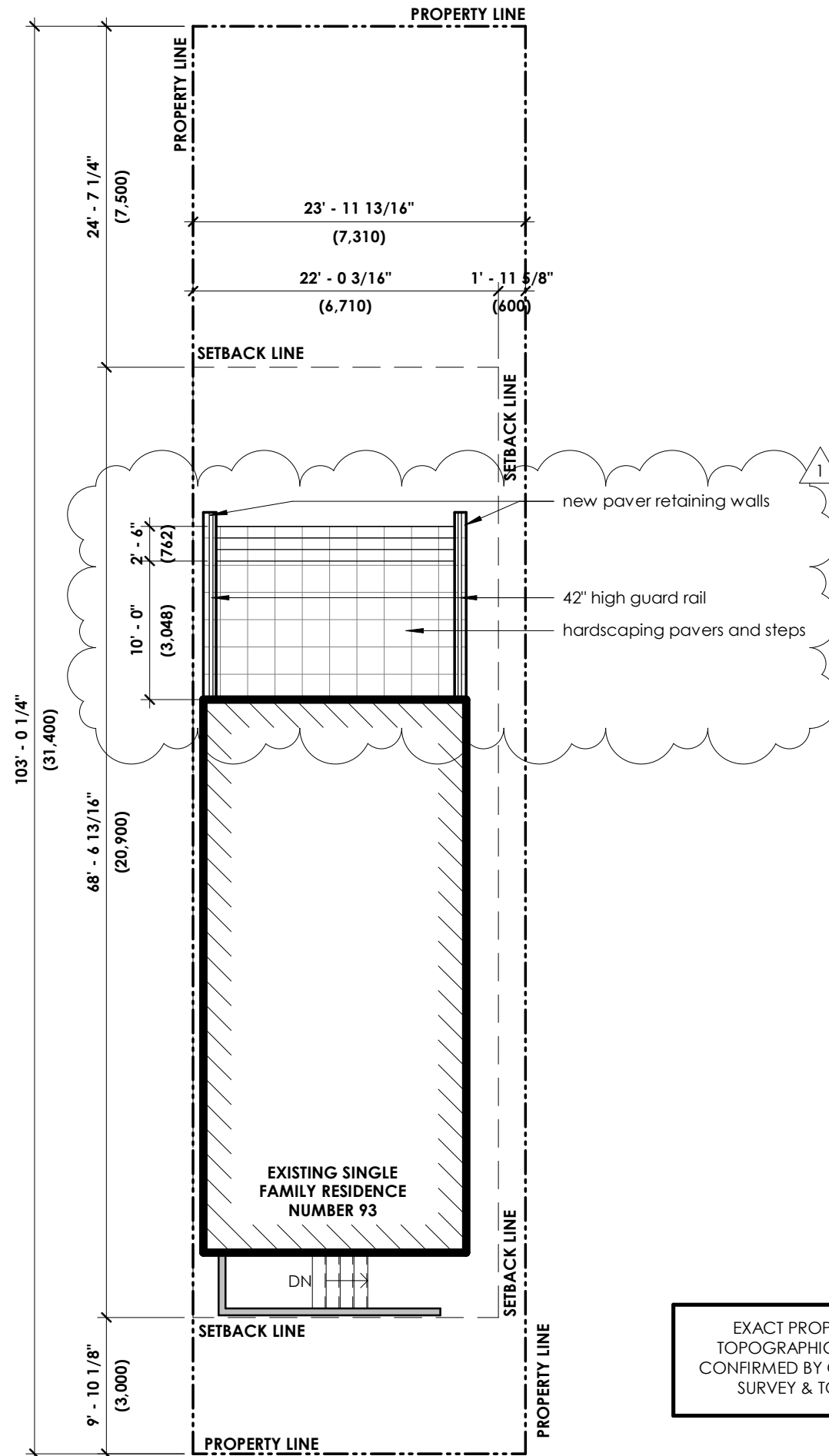
**LOT DIMENSIONS:**

FRONT AS SHOWN  
 NORTHSIDE: AS SHOWN  
 SOUTH SIDE: AS SHOWN  
 REAR: AS SHOWN  
 DEPTH: AS SHOWN  
 WIDTH: AS SHOWN

**SETBACKS:**

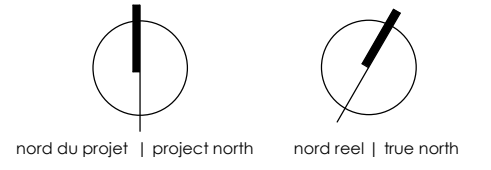
FRONT	<b>REQUIRED</b>	<b>PROPOSED</b>
SIDE YARD	AS SHOWN	AS SHOWN
*REAR YARD AREA	AS SHOWN	AS SHOWN

(30% DEPTH X 30% WIDTH)  
 \*AS DISCUSSED WITH DEVELOPMENT INFORMATION OFFICERS



EXACT PROPERTY LINES / GRADES /  
 TOPOGRAPHICAL INFORMATION TO BE  
 CONFIRMED BY O.L.S LICENESED PREPARED  
 SURVEY & TOPOGRAPHICAL PLAN

**1 SITE PLAN**  
 A-090 3/32" = 1'-0"  
 A-200



1 ISSUED FOR BUILDING PERMIT 2022-10-21  
 no revisions date  
 stamp | timbre

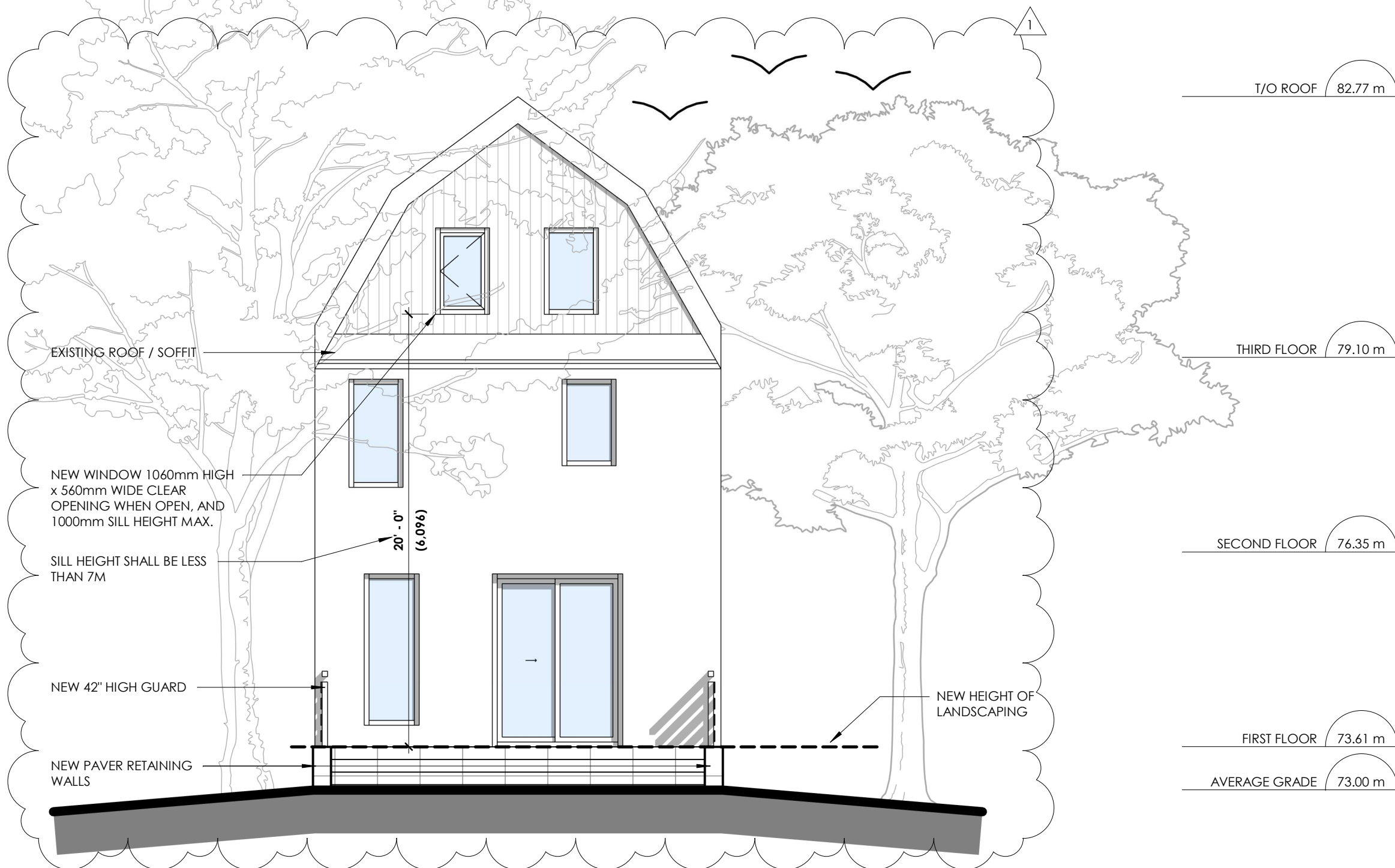


architect | architecte  
**linebox**  
 STUDIO  
 project title | titre du projet  
**93 FIFTH AVENUE**  
 93 FIFTH AVENUE, OTTAWA, ON K1S 2M3  
 drawing title | titre du dessin

**SITE PLAN**

project number | numero du projet **2224**  
 drawn | dessiné **SS/JH**  
 checked | verifié **MAR**  
 scale | échelle **As indicated**  
 date | date **2022/08/19**  
 drawing number | numéro du dessin

**A-090**



1	ISSUED FOR BUILDING PERMIT	2022-10-21
no	revisions	date
stamp   timbre		



architect | architecte  
**linebox**  
STUDIO

project title | titre du projet  
**93 FIFTH AVENUE**  
93 FIFTH AVENUE, OTTAWA, ON K1S 2M3

drawing title | titre du dessin

**NORTH (REAR) ELEVATION**

project number   numéro du projet	2224
drawn   dessiné	SS/JH
checked   vérifié	MAR
scale   échelle	3/16" = 1'-0"
date   date	2022/08/19
drawing number   numéro du dessin	

**1**  
A-200 3/16" = 1'-0"  
**NORTH (REAR) ELEVATION**

**A-200**





**1 EAST (SIDE) ELEVATION**  
 A-201 3/16" = 1'-0"




1	ISSUED FOR BUILDING PERMIT	2022-10-21
no	revisions	date
stamp   timbre		



architect | architecte  
**linebox**  
 STUDIO  
 project title | titre du projet  
**93 FIFTH AVENUE**  
 93 FIFTH AVENUE, OTTAWA, ON K1S 2M3  
 drawing title | titre du dessin

**EAST (SIDE) ELEVATION**  
 project number | numero du projet 2224  
 drawn | dessiné SS/JH  
 checked | vérifié MAR  
 scale | échelle 3/16" = 1'-0"  
 date | date 2022/08/19  
 drawing number | numéro du dessin

**A-201**



**1 SOUTH (FRONT) ELEVATION**  
 A-202 3/16" = 1'-0"




1	ISSUED FOR BUILDING PERMIT	2022-10-21
no	revisions	date
stamp	timbre	



architect | architecte  
**linebox**  
 STUDIO

project title | titre du projet  
**93 FIFTH AVENUE**  
 93 FIFTH AVENUE, OTTAWA, ON K1S 2M3

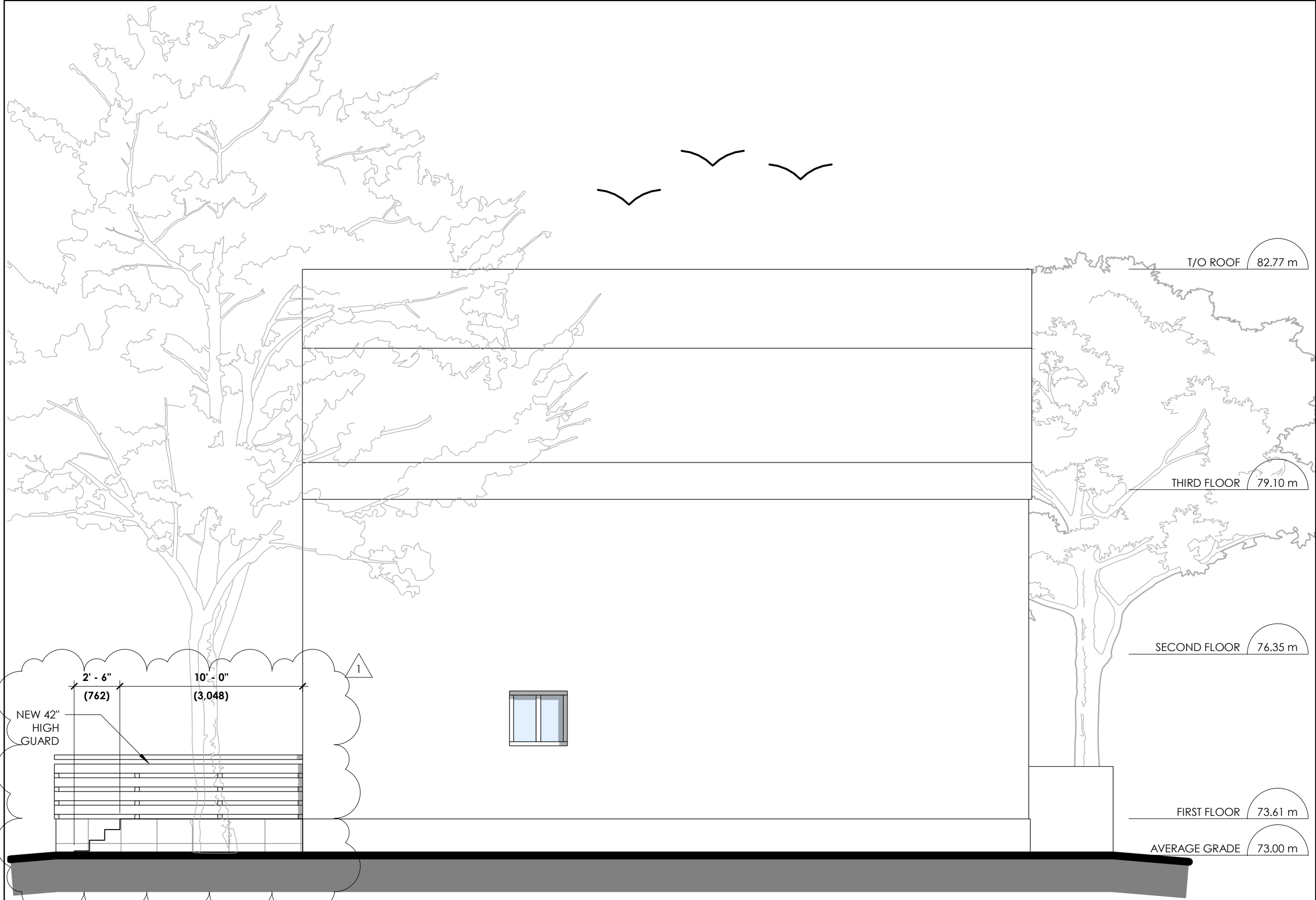
drawing title | titre du dessin

**SOUTH (FRONT) ELEVATION**

project number   numero du projet	2224
drawn   dessiné	SS/JH
checked   vérifié	MAR
scale   échelle	3/16" = 1'-0"
date   date	2022/08/19
drawing number   numéro du dessin	

**A-202**





1	ISSUED FOR BUILDING PERMIT	2022-10-21
no	revisions	date
stamp   timbre		



architect | architecte  
**linebox**  
STUDIO

project title | titre du projet  
**93 FIFTH AVENUE**  
93 FIFTH AVENUE, OTTAWA, ON K1S 2M3

drawing title | titre du dessin  
**WEST (SIDE) ELEVATION**

project number   numero du projet	2224
drawn   dessiné	SS/JH
checked   vérifié	MAR
scale   échelle	3/16" = 1'-0"
date   date	2022/08/19
drawing number   numéro du dessin	

**1 WEST (SIDE) ELEVATION**  
A-203 3/16" = 1'-0"

**A-203**