

## COVER LETTER:

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**Subject: Permission Application for 350a Winston Ave., Ottawa, ON, K2A 1Y5**

Encl. \*CoA\_Submittal\_Original-Size; \*Elevations\_Letter; \*Minor Variance Form-VADD; \*PL179\_INST-4R-0545\_Letter; \*Site-Plan\_Letter;  
(Note asterisk "\*" prefix to file names act as a wildcard to indicate "Feb-15-2023\_350a-Winston [...]" to all document titles).

Dear Mr. Bellemare,

**Cory Dubeau of Varia Architecture: Drafting & Design**, (*Agent & Applicant*) has been retained to file a permission application on behalf of **Drew Macinnis** (*Property Owner*) to facilitate the expansion of a legal non-conforming use via the construction of a single-storey rear yard addition to a three-door townhome.

The rationale behind this application is that currently, no subzone metrics exist to adequately describe the "Townhouse" building typology (and variances to draw from), per the City of Ottawa's latest Zoning By-Law Consolidation (By-Law 2008-220) and the metrics delineated in **Table 160B, Row S** of Part 6 – "Residential Zones", Section 160: "Residential Third-Density Zone" (By-Laws 2020-288 and 2021-111).

This cover letter endeavours to describe the subject property, the project scope as well as how the proposed will maintain desirability of land use while at the same time posing no harmful impacts on neighboring properties.

Committee of Adjustment  
Received | Reçu le

2023-03-09

City of Ottawa | Ville d'Ottawa  
Comité de dérogation



## Property Description:

350a Winston Avenue can be legally described as **Part 3 of Lot 12, Registered Plan 179 (PIN 04017 – 0019)** with the City of Ottawa. Positionally, the subject property is the middlemost lot abutted by both No. 350b at its South and No. 348 at its North. The site is accessed directly from Winston to the East bypassing a City-owned Right of Way easement which extends across all three dwellings- (designated as “Part 1” on Registered Plan 179, Instrument 4R-0545).

The subject property boasts a lot area of 136.90 m<sup>2</sup> of which is comprised of a lot width of 5.45 metres, a lot depth of 26.64 metres and a lot frontage of 4.5 metres towards Winston Avenue.

The aforementioned is designated as a “**General Urban Area**” per Schedule B of the City’s Official Plan, as well as “Area A” of Schedule 342.

The subject property is zoned as **R3S** (Residential Third-Density, Subzone “S”) in accordance with **Table 160B, Row S** of Part 6 – “Residential Zones”, Section 160 - “Residential Third-Density Zone” (By-Laws 2020-288 and 2021-111).

350a Winston can be described as (part of) a “through lot” situated along Winston Avenue abutting either Whitby or Wilmont Avenue, both of which ultimately lead to Churchill Avenue, South. The subject property is part of the Westboro Village Community Association as well as being part of the Kitchissippi Ward (Ward 15).

The immediate surrounding context is comprised of rich, mature and variegated building forms ensconced by deciduous trees. The occupants love for their homes are made evident via lush and upkept front yard gardens and careful preservation of their historical homes. By virtue of Winston’s street design, it endures little vehicular “through traffic”, while at the same time maintaining walkable access to the bustling local shops along Richmond Road- (forming part of the Westboro Business Improvement Area).

## Project Scope:

The owner wishes to construct a single-storey addition along the rear of their property. The addition proposed is to be 4.27± metres (14'-0" ±) wide by 4.90± metres (16'-1"±) with an overall height of 4.71 metres (15'-4 1/2"), mid-roof structure. The proposed is to be clad to suit the existing siding and trim work. The new roof surface will be an unimposing 3/12 slope to minimize unnecessary height or overshadowing.



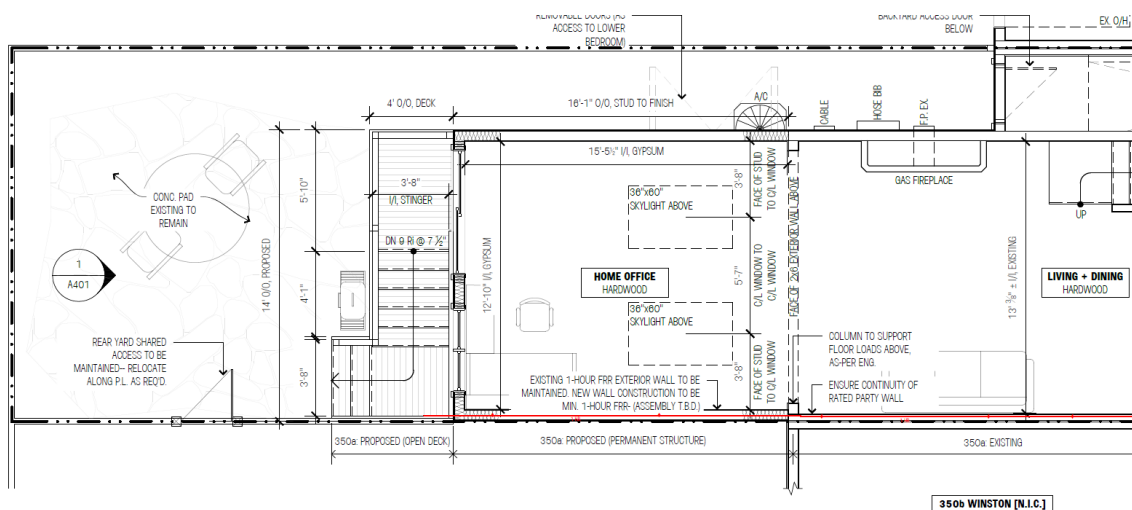
The proposed will match the width of their townhome by maintaining a flush exterior wall at the North elevation by maintaining their established 1.2 metre setback (dividing 350a from 348 Winston) and align to the Southern party wall (dividing 350a from 350b); it should be noted that the exterior-most projection of the Southern wall will terminate at the centreline of the existing party wall / property line.

For the South wall, all maintenance activities are to be conducted from the homeowner's side, only.

Figure 1: 350a Winston: Proposed Rear Elevation (Green indicating new construction) - VADD, 2023

## A Remark on Fire Resistance Ratings:

It should be noted that any new construction at the South wall will meet or exceed OBC-prescribed fire resistance ratings as well as maintain smoke-tightness with the existing shared party wall- (please see red lines below for location of "1-hour walls" in accordance with OBC 9.10.9.14.(3)).



## Desirability for Project Site:

By virtue of Westboro's mature fabric, many building types and forms exist to create varied articulations—especially in rear yards.

The aerial image to the right demonstrates just how varied rear yard setbacks are within just a few properties surrounding the immediate home.

As rear yard setback allowances are often predicated on context, it can be determined that extending the rear yard will not intervene with any established rear yard patterns.

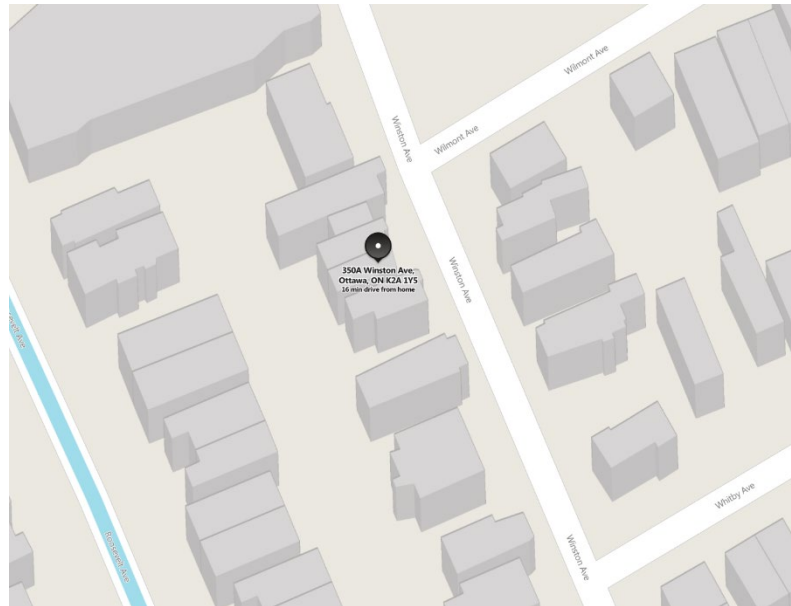


Figure 2: Winston Avenue, as seen from above ("road view", courtesy of Microsoft Bing Maps, 2023).



One major benefit for the immediate property located at 350b (pictured to the right in the corresponding image), is the aspect of privacy.

A common approach when building townhomes (or select semi-detached models) is creating a common line for decks and fences, which can often lead to privacy and screening issues—especially when the fence is under 1.5 metres (or about five feet) as pictured at the top-most deck level.

The immediate neighbor (350b, to the right in the photo) has expressed their support of the proposed construction as their shared wall (at the South) will be opaque to both neighbors. The extension, by consequence also creates differentiated rear yard access lending themselves to a more private rear yard experience.

Concerning the neighbors to West (on Roosevelt), as the addition maintains the existing height of the townhome (compounded with the fact that there is both a fence and their rear decks are staggered from the subject property), no onlooking concerns are to be anticipated.

A Remark on Water Control Measures:

The shed roof will be a 1/3 slope which is sufficient for asphalt shingles without generating excess building height or mass (or conflicting with rear-facing windows along the West elevation, as pictured below).

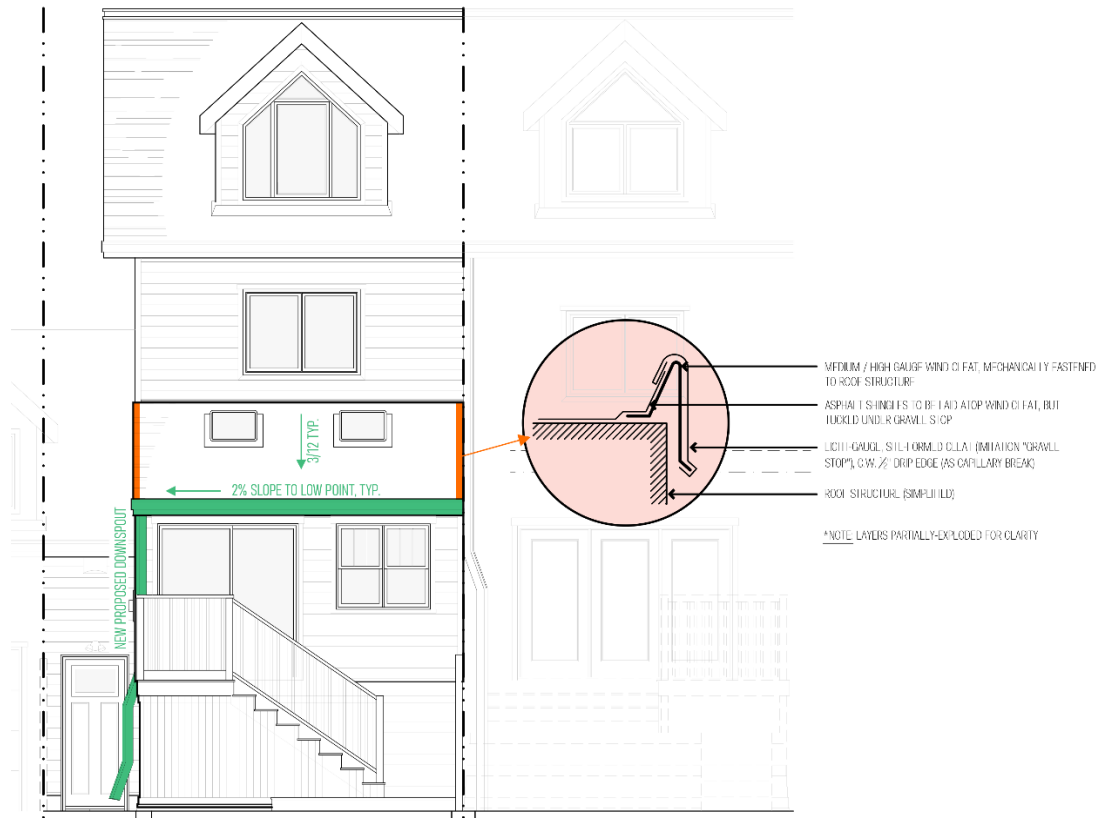
A new downspout to the North (left as pictured below) will be implemented at the low point of the new collector gutter along the fascia of the new shed roof.

The orange highlights indicate a drainage containment detail that is a facsimile “gravel stop” approach often employed in commercial built-up roofing systems to prevent ballast (gravel) from being displaced by wind; it is a very effective, yet simple detail.

The intention here is to create a water-tight “lip” that will channel any residual water away from either edge to prevent any excess rainwater from impacting the neighbor’s property; note the lighter-gauge flashing will also serve as a capillary break with its drip edge to protect the new wall assembly from any unforeseen decomposition.

As an additional safeguard, the wall assembly will also be a vented / pressure-equalized cladding system to safely allow any storm-driven water to exit the wall assembly at a controlled pace at its base.

As a final note, as no issues have been reported from either neighbor regarding runoff at grade, no modifications will be made to alter site drainage patterns as the addition is to be installed on pre-engineered helical piers.



I thank you for both your review and consideration of this permission application. Should you have any questions or concerns regarding the aforementioned, please do not hesitate to contact me at the undersigned.

Yours respectfully,

A handwritten signature in black ink, appearing to read 'Cory Dubeau', written in a cursive style.

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