

Committee of Adjustment
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2023-03-24

City of Ottawa | Ville d'Ottawa
Comité de dérogation

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Ce document est présenté dans la langue dans laquelle il a été fourni.

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
DATE: _____
DANIEL ROBINSON
ONTARIO LAND SURVEYOR

PLAN 4R-
RECEIVED AND DEPOSITED
DATE: _____
REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
OTTAWA-CARLETON NO. 4.

SCHEDULE				
PART	LOT	CONCESSION	PIN	AREA (Sq.m.)
1	Part of 20	2 (Ottawa Front)	ALL OF 03944 - 0117	232.3
2				232.3

PLAN OF SURVEY OF
PART OF LOT 20
CONCESSION 2 (OTTAWA FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA
FARLEY, SMITH & DENIS SURVEYING LTD. 2022

Scale 1: 150
0 1.5 3 6 9 12 15 metres

Metric Note
Distances shown on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99993.

Bearing Note
Bearings are astronomic and are referred to the Southerly limit of St. Stephen's Street having a bearing of N 68° 34' 30" E as shown on Plan 4R-2415.

CO-ORDINATES WERE DERIVED FROM CAN-NET REAL TIME NETWORK OBSERVATIONS, MTM ZONE 9, N.A.D. 1983 (ORIGINAL).		
POINT ID	NORTHING	EASTING
(A)	5024042.56	360156.06
(B)	5024056.80	360191.46
01919680005	5027191.26	361496.76
01919750705	5016816.93	360806.84

CO-ORDINATES ARE MTM ZONE 9, N.A.D. 1983 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

Surveyor's Certificate
I certify that:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveys Act and the Land Titles Act and the Regulations made under them.
2. The survey was completed on the _____ day of _____, 2022.

Date: _____ Daniel Robinson
Ontario Land Surveyor

- Notes & Legend
- Denotes Survey Monument Planted
 - Survey Monument Found
 - SIB Standard Iron Bar
 - SSIB Short Standard Iron Bar
 - IB Iron Bar
 - CC Cut Cross
 - IP Iron Pipe
 - (Wit) Witness
 - Meas Measured
 - (P1) Plan 4R-2415
 - (P2) Plan 5R-8571
 - (P3) Plan 4R-19064
 - (P4) Plan by (857) dated July 19, 1978 (Ref. No. 144a-20F.NP)
 - (P5) Plan by (1473) dated March 1, 1989 (Ref. No. 20-Con2 (OF) No.)
 - (P6) Plan by (1319) dated September 25, 1985 (Ref. No. 11-Con2-M(OF))
 - (P7) Plan by (1692) dated May 13, 2020 (File No. 117-20)
 - (P8) Plan by (1692) dated July 14, 2022 (File No. 162-22)
 - (D1) Instrument No. N482124
 - ow Overhead Wires
 - o/p Utility Pole
 - o AN Anchor
 - BF Board Fence
 - PVC Plastic / Vinyl Fence
 - CLF Chain Link Fence
 - C/L Centreline
 - Property Line
 - Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

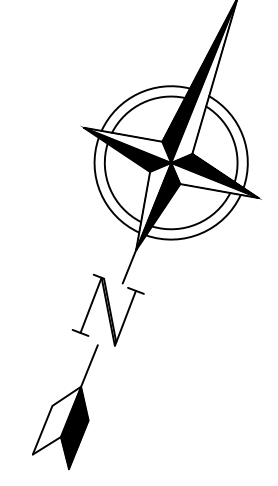
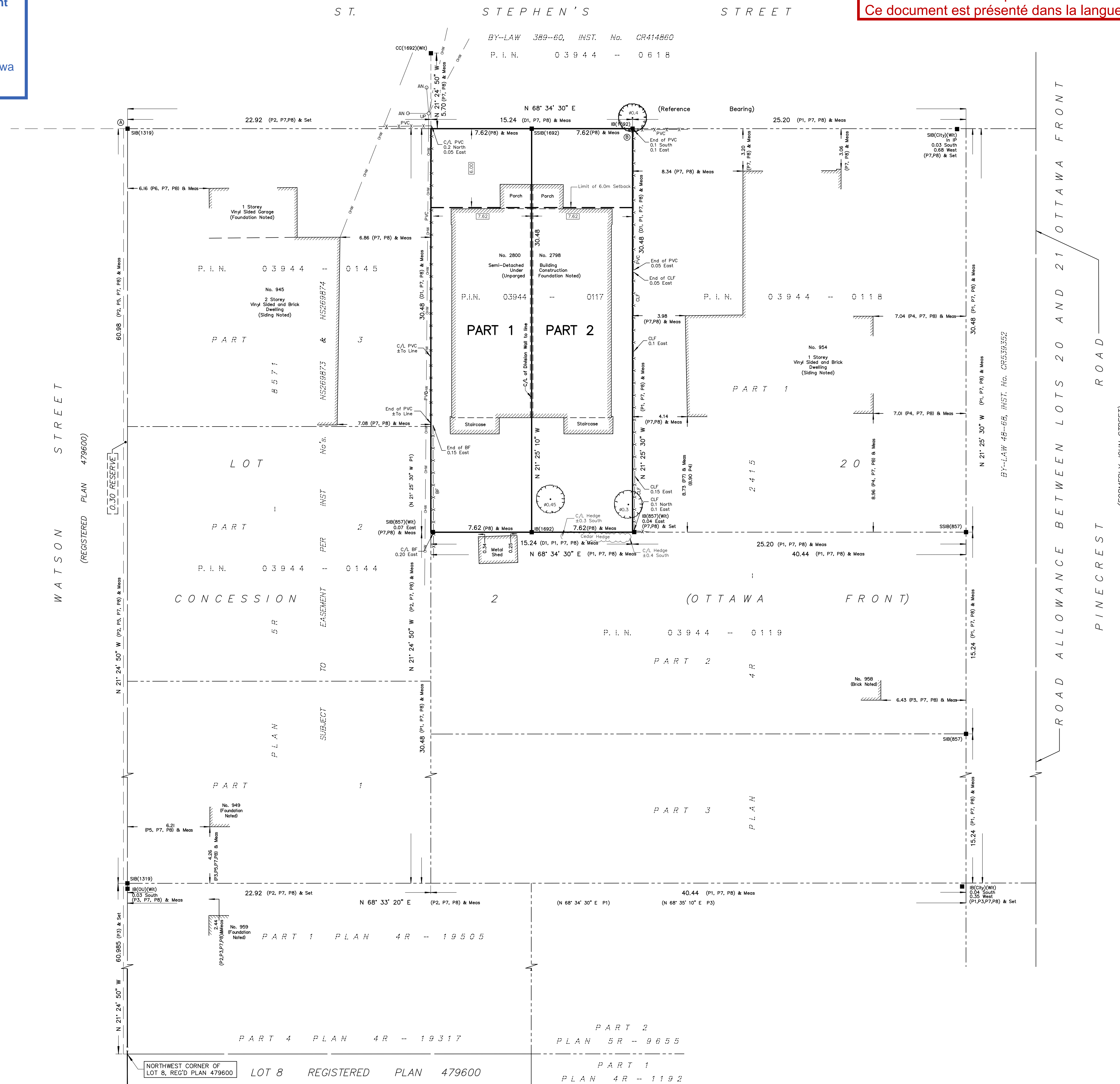
This plan of survey relates to AOLS Plan Submission Form Number V-XXXXXX.

FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS

Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
TEL: (613) 727-8226 E-mail: fdsurveys@bellnet.ca

FILE No.: 589-22



PLAN 24156

1. GENERAL
 - PROTECT ALL WORK FROM DAMAGE. KEEP ALL MATERIALS SECURE. ERECT ALL HOARDING, FENCING, BARRIERS, SCAFFOLDING, AND SIGNAGE AS REQUIRED.
 - WORKMANSHIP SHALL BE TO THE BEST STANDARD FOR EACH RESPECTIVE TRADE. ERECT ALL WORK ACCURATELY, SQUARE, SECURE, PLUMB, STRAIGHT, TRUE AND TO ACCEPTED TOLERANCES.
 - PROVIDE AND COMPLY WITH MANUFACTURER'S PRINTED INSTRUCTIONS. CARRY ON WORK ONLY IN WEATHER, TEMPERATURE OR ENVIRONMENTAL CONDITIONS ACCEPTABLE TO INDUSTRY STANDARDS. MAKE GOOD ALL EXISTING CONDITIONS AS REQUIRED FOR A COMPLETE JOB. CLEAN ALL WORK AND WORK AREAS ON AN ONGOING BASIS.
 - WHERE FILLING AND PATCHING IS REQUIRED TO MAKE GOOD SUBSTRATE MATERIALS, THIS WORK MUST BE AT LEAST THE SAME QUALITY AS EXISTING AND MUST PROVIDE A FULLY ACCEPTABLE BACKING FOR OVERLAYING FINISHES.
 - WHERE EXISTING FINISHES ARE EXTENDED OR PATCHED, THE EXISTING FINISHES SHALL BE CUT BACK OR REMOVED AS REQUIRED SO THAT THE JUNCTION BETWEEN NEW AND EXISTING WORK IS NOT APPARENT.
 - CO-ORDINATE WITH THE PROJECT MANAGER FOR ALL REQUIREMENTS FOR TEMPORARY SERVICES AND FACILITIES.
 - ALL NEW OR RELOCATED WORK SHALL MATCH ALL EXISTING WORK IN ALL RESPECTS INCLUDING QUALITY, MATERIALS, DETAILS, FINISHES, COLOURS, ETC.
 - CONTRACTORS ARE TO ENSURE THAT THE CONSTRUCTION IS NOT TO INTERFERE WITH THE NORMAL OPERATION OF THE BUILDING.
 - TAKE PROPER CARE TO AVOID UNNECESSARY NOISE. ADVISE THE PROJECT MANAGER OF TIME AND MAKE SUITABLE ARRANGEMENTS WHEN EXCESSIVE NOISE OR OBSTRUCTION IS UNAVOIDABLE.

2. CO-ORDINATE
 - GENERAL NOTES: FURNITURE AND EQUIPMENT SHOWN IS FOR GUIDANCE ONLY. THE CLIENT / CONTRACTOR SHALL PROVIDE ALL CABINETS, FURNITURE AND EQUIPMENT AND ITS FINAL LAYOUT.
 - CO-ORDINATE THE LOCATION AND REQUIREMENTS OF ALL MECHANICAL & ELECTRICAL ITEMS WITH THE CLIENT / CONTRACTOR, SUCH AS SINKS, PLUMBING, DRAINS, VENTS, FANS, TELEPHONE, DATA LINES, RECEPTACLES, SWITCHES, SECURITY SYSTEMS, TELEVISIONS, COMPUTERS, ETC.
 - REPAIR ALL HOLES, ROUGH AREAS, ETC. OF ALL EXISTING GYP. WALLS.
 - PAINT - AS SELECTED BY CLIENT / CONTRACTOR. PAINT ALL EXPOSED DRYWALL & WOOD DOORS - ALL SIDES & EDGES
 - CERAMIC TILE (CT) AND CT BASEBOARDS AS SELECTED BY THE CLIENT / CONTRACTOR.
 - ENSURE BUILDING ENVELOPE CONTINUITY FROM EXISTING TO NEW CONSTRUCTION.
 - ATTIC HATCH MIN SIZE 21 5/8" x 35" EXCEPT THAT WHERE THE HATCH SERVES A SINGLE DWELLING UNIT, THE HATCH MAY BE REDUCED TO 3'-4 1/2" IN AREA WITH NO DIMENSION LESS THAN 21 1/2" x 3" SHALL BE LOCATED WITH UNOBSTRUCTED ACCESS AS PER OBC 9.19.2.1 (2).
 - ALL PRE-ENGINEERED JOISTS SHOP DWGS WILL BE SUBMITTED TO BUILDING INSPECTOR UPON INSTALLATION.
 - WINDOWS ARE NUMBERED AND SIZES ARE NOTED ON PLAN DRAWINGS.
 - 10 EXTERIOR AND INTERIOR DOORS ARE NUMBERED AND SIZES ARE NOTED ON PLAN DRAWINGS.

3. DEMOLITION/REPAIRS/SITING
 - LEGALLY DISPOSE OFF-SITE ALL ITEMS REQUIRING REMOVAL.
 - DO NOT COVER UP ANY WORK UNTIL PROPERLY INSPECTED BY THE PERTINENT CONSULTANT AND/OR AUTHORITY.
 - REPAIR ANY FLOORS, WALLS, CEILINGS, ETC. LEFT ROUGH OR DAMAGED BY DEMOLITION. NEW FINISHES TO BE FLUSH AND SMOOTH UNLESS NOTED OTHERWISE.
 - INSPECT ALL INTERIOR FLOORS, BASES, WALLS AND CEILING AND REPORT ANY DEFECTS OR DAMAGE. ENSURE ALL SURFACES ARE SMOOTH, FREE FROM PROTRUSIONS, LEVEL, PLUMB, ETC.
 - EXISTING DOORS, HARDWARE, FURNITURE, EQUIPMENT, MECHANICAL & ELECTRICAL FIXTURES ETC. REMAIN THE PROPERTY OF THE CLIENT. CO-ORDINATE WITH THE PROJECT MANAGER ON THE DISPOSITION OF SAID OBJECTS.
 - CO-ORDINATE ALL STRUCTURAL, MECHANICAL & ELECTRICAL REQUIREMENTS, PIPING, VENTS, DUCTS, WIRES, ETC. CO-ORDINATE ALL ROUTES WITH THE PROJECT MANAGER. MAKE GOOD ALL BUILDING ELEMENTS.
 - CONCRETE - N/A

4. MASONRY
 - MASONRY VENEER TIES ARE REQUIRED TO HAVE A MAXIMUM VERTICAL SPACING CONFORMING TO OBC TABLE 9.20.9.5.
 - FLASHING ON MASONRY WALLS MUST BE INSTALLED BENEATH JOINTED MASONRY SILLS, OVER THE BACK AND TOP OF PARAPET WALLS, OVER THE HEADS OF GLASS BLOCK PANELS, BENEATH WEEP HOLES, AND OVER THE HEADS OF DOORS AND WINDOWS IF THE DISTANCE BETWEEN THE TOP OF THE OPENING AND THE BOTTOM OF THE EAWE EXCEEDS 1/4 OF THE EAWE OVERHANG (OBC 9.20.13.3).
 - THROUGH WALL FLASHING SHALL BE PROVIDED IN MASONRY VENEER WALLS IN SUCH THAT ANY MOISTURE THAT ACCUMULATES IN THE AIR SPACE WILL BE DIRECTED TO THE EXTERIOR OF THE BUILDING (OBC 9.20.13.3.(2)).
 - WEEP HOLES MUST NOT BE SPACED MORE THAN 27" APART AND BE PROVIDED AT THE BOTTOM OF EVERY MASONRY VENEER CAVITY (OBC 9.20.13.8)

5. METALS - N/A

6. CARPENTRY
 - SUPPLY & INSTALL ROUGH AND FINISHED CARPENTRY AS REQUIRED FOR A COMPLETE PROJECT, INCLUDING ALL FRAMING, PLYWOOD, SHEATHING, SETTING OF ROUGH BUCKS, CANTS, CURBS, SLEEPERS, VAPOUR BARRIER, HATCHWAYS, STRAPPING, FURRING, METER EQUIPMENT BOARDS, DOORS AND TRIM, HARDWARE, FLASHING, INSULATION, CABINETS & MILLWORK, ETC. INSTALL NAILS, SCREWS, BOLTS AND SUNDRY ANCHORS AS REQUIRED FOR SOUND CONSTRUCTION. USE APPROVED NON-CORROSIVE FASTENERS WHEREVER THERE IS THE POSSIBILITY OF STAINING OR CORROSION. EXAMINE THE DRAWINGS TO DETERMINE THE TOTAL SCOPE OF THIS WORK.
 - TAPE AND FILL JOINTS IN GYPSUM WALL BOARD (GWB), WITH 3 COATS APPROVED JOINT COMPOUND. SAND IN ACCORDANCE WITH QUALITY CONTROL STANDARDS ESTABLISHED ON SITE
 - PARTITIONING TO INCLUDE ALL INSULATION, CAULKING, ETC. AS SHOWN.
 - ALL PAINTING ONE PRIMER COAT AND TWO FINISH COATS. PAINT BRAND AS APPROVED BY THE PROJECT MANAGER. ALL DOORS, FRAMES, TRIM, CASINGS, BASEBOARD SEMI-GLOSS; ALL OTHER PAINT FLAT. ACCEPTABLE PRODUCTS AS PER ONTARIO PAINTING CONTRACTORS' ASSOCIATION MANUAL, CHAPTER 5.
 - WATER EFFICIENCY AS PER 7.6.4
 - WATER TEMP. CONTROL AS PER 7.6.5
 - ALL NEW PLUMBING FIXTURES TO BE CAN/CSA-B45 CERTIFIED W/ MAX FLUSH CYCLE OF 4.8 LITRES OR DUAL-FLUSH MECHANISM. TEMPERATURE CONTROL VALVE REQ'D TO MAXIMIZE HOT WATER @ 49C
 - CO-ORDINATE WITH THE ELECTRICAL CONTRACTORS AS REQUIRED.
 - 16. ELECTRICAL
 - TAKE OUT AND PAY FOR ANY PERMITS REQUIRED. PRESENT FINAL HYDRO INSPECTION CERTIFICATE UPON COMPLETION.
 - GUARANTEE ALL WORK AND MATERIAL FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
 - THE RULES AND REGULATIONS OF THE ELECTRICAL SAFETY CODE AND THE ONTARIO BUILDING CODE (LATEST EDITION) SHALL FORM PART OF THE WORK.
 - HOOK-UP ALL MECHANICAL EQUIPMENT, VENTILATION FANS, ETC. AS REQUIRED.
 - PROVIDE ALL LIGHT FIXTURES AS REQUIRED. INCLUDE LAMPS FOR ALL LIGHT FIXTURES; LAYOUTS TO PROJECT MANAGER'S APPROVAL.
 - AN EXTERIOR LIGHTING OUTLET WITH FIXTURE CONTROLLED BY A SWITCH LOCATED WITHIN THE BUILDING SHALL BE PROVIDED AT EVERY ENTRANCE TO BUILDING OF RESIDENTIAL OCCUPANCY. (OBC 9.34.2.1)
 - PROVIDE 3 WAY LIGHT SWITCH IN A STAIRCASE IN ACCORDANCE TO 9.34.2.3
 - ALL WIRING SHALL BE CONCEALED. COPPER. ALL SWITCHES SHALL BE SILENT.
 - ALL COVER PLATES TO MATCH EXISTING. ALL MATERIALS TO BE CSA APPROVED.
 - ALL EXISTING LIGHT FIXTURES AND DEVICES IN THIS CONTRACT AREA TO BE CHECKED, REPAIRED IF REQUIRED (INCLUDING NEW LENSES AND NEW BALLASTS IF REQUIRED) AND RELAMP WITH NEW LAMPS WHERE MISSING OR DEFECTIVE.
 - AT COMPLETION ALL LIGHTS TO BE OPERATING.
 - ENSURE ALL EXISTING RECEPTACLES IN THIS CONTRACT AREA ARE OPERATIONAL. PROVIDE NEW RECEPTACLES, ELECTRICAL DEVICES AS SHOWN & AS REQUIRED FOR A COMPLETE JOB.
 - PROVIDE ALL NECESSARY CIRCUITS AND SWITCHING FOR EACH SUBDIVIDED AREA
 - REMOVE ALL REDUNDANT WIRING DEVICES, ETC.
 - SMOKE ALARMS SHALL BE PROVIDED ON ALL LEVELS. IT IS RECOMMENDED THAT THE EXISTING FIRE ALARM BE INTERCONNECTED (AC, NOT BATTERY)
 - (9.10.19) SMOKE ALARMS SHALL BE INSTALLED SUCH THAT THEY ARE LOCATED WITHIN 16'-5" OF ANY BEDROOM DOOR ON THE SAME LEVEL AND WITHIN 49'-3" OF ANY OTHER SMOKE ALARM ON THE SAME LEVEL (9.10.19.3)
 - CARBON MONOXIDE MONITORS ARE REQUIRED ADJACENT TO SLEEPING AREAS (9.33.4.2) IT IS RECOMMENDED THAT MONITORS BE INSTALLED DURING RENOVATION AND INTERCONNECTED.
 - 12. ROOFS
 - EAVE PROTECTION REQUIRED ON SHINGLE, SHAKE OR TILE ROOFS EXTENDING FROM THE EDGE OF THE ROOF A MINIMUM OF 2'-11" UP THE ROOF SLOPE TO A LINE NOT LESS THAN 11 3/4" INSIDE THE INNER FACE OF THE EXTERIOR WALL (9.26.5.1)
 - 2'-11" WHEN SLOPE IS GREATER THAN 4:12
 - COVER ENTIRE ROOF WHEN SLOPE IS LESS THAN 4:12
 - PROVIDE UNOBSTRUCTED VENT AREA NOT LESS THAN 1/300 OF INSULATED CEILING AREA
 - WHERE ROOF SLOPE IS LESS THAN 1 IN 6, THE UNOBSTRUCTED VENT AREA NOT LESS THAN 1/150 OF INSULATED CEILING AREA
 - ROOF VENTS ARE TO BE UNIFORM ON OPPOSITE SIDES OF THE BUILDING WITH NOT LESS THAN 25% AT THE TOP AND NOT LESS THAN 25% AT THE BOTTOM (9.19.1.2)

13. BASEMENTS
 - ENSURE ONE WINDOW IN BASEMENT IS:
 - OPERABLE WITH USE OF TOOLS (INSIDE)
 - AS PER 9.9.10.1 BEDROOM WINDOW PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 3.8 FT2 WITH NO DIMENSION LESS THAN 15"
 - FOUNDATION WALL FINISHING USING HEATED SPACE SHALL BE INSULATED FROM UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm ABOVE FINISH FLOOR LEVEL OF BASEMENT AS PER OBC SB-12 - 2.1.1.6.1)
 - 15. MECHANICAL
 - TAKE OUT ANY PERMITS REQUIRED
 - GUARANTEE ALL WORK AND MATERIAL FOR ONE YEAR FROM DATE OF COMPLETION.
 - CONFORM TO ALL APPLICABLE CODES AND STANDARDS INCLUDING BUT NOT LIMITED TO PART 6 & PART 7 OF THE BUILDING CODE OF ONTARIO, CITY BYLAWS AND STANDARDS. GOVERNMENT OF ONTARIO PLUMBING CODE, ONTARIO GAS UTILIZATION CODE, NFPA 13, C.G.A. SMACNA AND ASHRAE STANDARDS.
 - MECHANICAL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL ROOF PENETRATIONS, VENTS, STACKS, AND TRAPS.
 - ALL STEEL JOIST @ 16" O.C. AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - MAKE ALL ADJUSTMENTS TO THE EXISTING HEATING AND VENTILATING SYSTEM TO PROVIDE PROPER HEATING, VENTILATION, CONTROLS TO ALL AREAS.
 - PROVIDE WARM AIR SUPPLY GRILLE IN W.I.C. WHEN EXTERIOR WALL IS USED
 - HEATING SYSTEM TO BE DETERMINED BY HVAC INSTALLER. WALL CHASES TO BE DETERMINED PRIOR TO AND DURING DEMOLITION. ANY CHANGES TO PLAN FOR WALLS AND BULKHEADS ARE TO BE DISCUSSED WITH CONTRACTOR. R-VALUED & U-VALUED TO BE UPGRADED IF THE ADDITION IS HEATED WITH ELECTRIC AS PER OBC SB-12 TABLE 3.1.1.3. OR 3.1.1.11.
 - WATER EFFICIENCY AS PER 7.6.4
 - WATER TEMP. CONTROL AS PER 7.6.5
 - ALL NEW PLUMBING FIXTURES TO BE CAN/CSA-B45 CERTIFIED W/ MAX FLUSH CYCLE OF 4.8 LITRES OR DUAL-FLUSH MECHANISM. TEMPERATURE CONTROL VALVE REQ'D TO MAXIMIZE HOT WATER @ 49C
 - CO-ORDINATE WITH THE ELECTRICAL CONTRACTORS AS REQUIRED.
 - 16. ELECTRICAL
 - TAKE OUT AND PAY FOR ANY PERMITS REQUIRED. PRESENT FINAL HYDRO INSPECTION CERTIFICATE UPON COMPLETION.
 - GUARANTEE ALL WORK AND MATERIAL FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
 - THE RULES AND REGULATIONS OF THE ELECTRICAL SAFETY CODE AND THE ONTARIO BUILDING CODE (LATEST EDITION) SHALL FORM PART OF THE WORK.
 - HOOK-UP ALL MECHANICAL EQUIPMENT, VENTILATION FANS, ETC. AS REQUIRED.
 - PROVIDE ALL LIGHT FIXTURES AS REQUIRED. INCLUDE LAMPS FOR ALL LIGHT FIXTURES; LAYOUTS TO PROJECT MANAGER'S APPROVAL.
 - AN EXTERIOR LIGHTING OUTLET WITH FIXTURE CONTROLLED BY A SWITCH LOCATED WITHIN THE BUILDING SHALL BE PROVIDED AT EVERY ENTRANCE TO BUILDING OF RESIDENTIAL OCCUPANCY. (OBC 9.34.2.1)
 - PROVIDE 3 WAY LIGHT SWITCH IN A STAIRCASE IN ACCORDANCE TO 9.34.2.3
 - ALL WIRING SHALL BE CONCEALED. COPPER. ALL SWITCHES SHALL BE SILENT.
 - ALL COVER PLATES TO MATCH EXISTING. ALL MATERIALS TO BE CSA APPROVED.
 - ALL EXISTING LIGHT FIXTURES AND DEVICES IN THIS CONTRACT AREA TO BE CHECKED, REPAIRED IF REQUIRED (INCLUDING NEW LENSES AND NEW BALLASTS IF REQUIRED) AND RELAMP WITH NEW LAMPS WHERE MISSING OR DEFECTIVE.
 - AT COMPLETION ALL LIGHTS TO BE OPERATING.
 - ENSURE ALL EXISTING RECEPTACLES IN THIS CONTRACT AREA ARE OPERATIONAL. PROVIDE NEW RECEPTACLES, ELECTRICAL DEVICES AS SHOWN & AS REQUIRED FOR A COMPLETE JOB.
 - PROVIDE ALL NECESSARY CIRCUITS AND SWITCHING FOR EACH SUBDIVIDED AREA
 - REMOVE ALL REDUNDANT WIRING DEVICES, ETC.
 - SMOKE ALARMS SHALL BE PROVIDED ON ALL LEVELS. IT IS RECOMMENDED THAT THE EXISTING FIRE ALARM BE INTERCONNECTED (AC, NOT BATTERY)
 - (9.10.19) SMOKE ALARMS SHALL BE INSTALLED SUCH THAT THEY ARE LOCATED WITHIN 16'-5" OF ANY BEDROOM DOOR ON THE SAME LEVEL AND WITHIN 49'-3" OF ANY OTHER SMOKE ALARM ON THE SAME LEVEL (9.10.19.3)
 - CARBON MONOXIDE MONITORS ARE REQUIRED ADJACENT TO SLEEPING AREAS (9.33.4.2) IT IS RECOMMENDED THAT MONITORS BE INSTALLED DURING RENOVATION AND INTERCONNECTED.
 - 1/2" RESILIENT METAL CHANNELS @16" O.C.
 - 1/2" GYPSUM BOARD (TAPE)

FLOOR ASSEMBLY NOTES:

F1 BASEMENT SLAB ON GRADE
 - FLOOR FINISH (AS PER OWNER'S INSTRUCTION)
 - 3" POURED CONC. SLAB - MIN 15 MPa
 - 0.6 MIL POLY VAPOUR BARRIER
 - 2" SM EXTRUDED RIGID INSULATION - MIN R10
 - 8" #3/4" COMPACTED CRUSHED STONE TO 95% PROCTOR DENSITY
 - UNDISTURBED SOIL

F2 GARAGE SUSPENDED CONCRETE SLAB - FR 1.5 HR / STC 57 / IIC 36 (SB-3, EIC) BY P.ENG
 - FLOOR FINISH (AS PER OWNER'S INSTRUCTION)
 - 6" COMPOSITE SLAB
 - C/W 3" STEEL DECK W/ 152 x 152 x MW3.8 x MW3.8 WIRE MESH (2% SLOPE FOR DRAINAGE)
 - 1/2" RESILIENT METAL CHANNELS @16" O.C.
 - 2 LAYERS 5/8" TYPE 'X' GYPSUM (CONTINUOUS)
 - 10" STEEL JOIST @16" O.C. AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 1/2" RESILIENT METAL CHANNELS @16" O.C.
 - 2 LAYERS 5/8" TYPE 'X' GYPSUM (CONTINUOUS)

F3 PORCH SLAB ON GRADE
 - FLOOR FINISH (AS PER OWNER'S INSTRUCTION)
 - 4" POURED CONC. SLAB REINFORCED W/ MW6/MW6/6x6
 - 0.6 MIL POLY VAPOUR BARRIER
 - 2" SM EXTRUDED RIGID INSULATION - MIN R10
 - 8" #3/4" CRUSHED STONE (OR FILL CAVITY AS REQ'D)
 - UNDISTURBED SOIL

F4 10" STEEL JOIST FLOOR - FR 1HR - STC 52 (SB3 - F45d)
 - NEW FLOOR FINISH (AS PER OWNER'S INSTRUCTION)
 - NEW 5/8" T&G, G15 OSB SUBFLOOR
 - 10" STEEL WEB JOIST @16" O.C. AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 1/2" RIGID INSULATION AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 1/2" RESILIENT METAL CHANNELS @16" O.C.
 - 2 LAYERS 5/8" TYPE 'X' GYPSUM (CONTINUOUS)

F5 10" STEEL JOIST FLOOR
 - NEW FLOOR FINISH (AS PER OWNER'S INSTRUCTION)
 - NEW 5/8" T&G, G15 OSB SUBFLOOR
 - 10" STEEL WEB JOIST @16" O.C. AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 1/2" RIGID INSULATION AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 1/2" RESILIENT METAL CHANNELS @16" O.C.
 - 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD

F6 10" STEEL JOIST FLOOR - INSULATED
 - NEW FLOOR FINISH (AS PER OWNER'S INSTRUCTION)
 - NEW 5/8" T&G, G15 OSB SUBFLOOR
 - 10" STEEL WEB JOIST @16" O.C. AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 10" RIGID INSULATION AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - AIR BARRIER (GARAGE SIDE) TO PREVENT THE PASSAGE OF FUMES
 - 1/2" RESILIENT METAL CHANNELS @16" O.C.
 - 1/2" GYPSUM BOARD (TAPE)

WALL ASSEMBLY NOTES:

W1 POURED CONCRETE FOUNDATION WALL ASSEMBLY
 - CEMENT PARGING TO EXTEND 6" BELOW GRADE
 - PLATON AIR GAP MEMBRANE
 - BITUMINOUS DAMPROOFING
 - 8" POURED CONC. WALL (20 MPa AT 28 DAYS) (SEE PLANS FOR THICKNESS/SCHEDULE) BY P.ENG
 - 2" RIGID INSULATION - FROST PROTECTION BY P.ENG
 - CEMENT PARGING TO EXTEND 6" BELOW GRADE

W2 POURED CONCRETE FOUNDATION WALL ASSEMBLY
 - 2" RIGID INSULATION - FROST PROTECTION BY P.ENG
 - CEMENT PARGING TO EXTEND 6" BELOW GRADE
 - PLATON AIR GAP MEMBRANE
 - BITUMINOUS DAMPROOFING
 - 8" POURED CONC. WALL (20 MPa AT 28 DAYS) (SEE PLANS FOR THICKNESS/SCHEDULE) BY P.ENG
 - 2" RIGID INSULATION - FROST PROTECTION BY P.ENG

W3 POURED CONCRETE FOUNDATION WALL
 - 2" RIGID INSULATION - FROST PROTECTION BY P.ENG
 - CEMENT PARGING TO EXTEND 6" BELOW GRADE
 - PLATON DAMPROOFING SYSTEM BELOW GRADE
 - 8" POURED CONC. WALL (20 MPa AT 28 DAYS) (SEE PLANS FOR THICKNESS/SCHEDULE) BY P.ENG
 - #15 BUILDING PAPER FROM FINISHED GRADE TO SLAB
 - 1/2" RIGID INSULATION - MIN R10
 - 3 5/8" STEEL STUDS @24" O.C. AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 1/2" RIGID INSULATION AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 1/2" RESILIENT METAL CHANNELS @16" O.C.
 - 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD

W4 SEPARATION WALL POURED CONCRETE FOUNDATION WALL - FR 3 HR / STC 71 (SB-3, B7a)
 - 5/8" TYPE 'X' GYPSUM BOARD
 - 0.6 MIL POLY VAPOUR BARRIER SEALED TO FOUNDATION WALL
 - 3 1/2" RIGID FIBRE-GLASS BATT INSULATION - MIN R12
 - 3 5/8" STEEL STUDS @24" O.C. AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 8" RIGID INSULATION AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 8" TO 10" POURED CONC. WALL (20 MPa AT 28 DAYS) (SEE PLANS FOR THICKNESS/SCHEDULE) BY P.ENG
 - 3 5/8" STEEL STUDS @24" O.C. AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 3 1/2" RIGID FIBRE-GLASS BATT INSULATION - MIN R12
 - 0.6 MIL POLY VAPOUR BARRIER SEALED TO FOUNDATION WALL
 - 5/8" TYPE 'X' GYPSUM BOARD

W5 8" SIDING EXTERIOR WALL
 - FINISHED SIDING (AS PER OWNER'S INSTRUCTIONS)
 - 1x3 VERTICAL STRAPPING @16" O.C. FASTENED TO STUDS
 - TYVEK WEATHER BARRIER
 - 8" DOUBLE STEEL STUDS @24" O.C. AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 8" RIGID INSULATION AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 0.6 MIL POLY VAPOUR BARRIER
 - 1/2" GYPSUM BOARD

W6 8" BRICK VENEER EXTERIOR WALL
 - 3 1/2" BRICK VENEER (AS PER OWNER'S INSTRUCTIONS) C/W BRICK TIES PROVIDE WEEP/VENT HOLES AT 24" O.C.
 - 1" AIR SPACE
 - TYVEK WEATHER AIR BARRIER
 - 8" DOUBLE STEEL STUDS @24" O.C. AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 8" RIGID INSULATION AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 0.6 MIL POLY VAPOUR BARRIER
 - 1/2" GYPSUM BOARD

W7 8" STUCCO EXTERIOR WALL
 - FINISHED STUCCO (AS PER OWNER'S INSTRUCTIONS)
 - 1x3 VERTICAL STRAPPING @16" O.C. FASTENED TO STUDS
 - TYVEK WEATHER AIR BARRIER
 - 7/16" O.S.B. SHEATHING
 - 8" DOUBLE STEEL STUDS @24" O.C. AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
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 - 1" AIR SPACE
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 - 7/16" O.S.B. SHEATHING
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 - 1/2" GYPSUM BOARD

W9 DOUBLE 2x4 WD SEPARATION WALL - FR 1.5 HR / STC 66 (SB-3, W5A)
 - 2 LAYERS OF 5/8" TYPE 'X' GYPSUM BOARD
 - NEW 3 1/2" FIBRE-GLASS BATT ROXUL INSULATION
 - NEW 2x4 STUDS @16" O.C.
 - 1" AIR GAP
 - NEW 2x4 STUDS @16" O.C.
 - NEW 3 1/2" FIBRE-GLASS BATT ROXUL INSULATION
 - 2 LAYERS OF 5/8" TYPE 'X' GYPSUM BOARD

W10 8" DOUBLE STEEL STUD INTERIOR GARAGE WALL
 - 1/2" GYPSUM BOARD (TAPE)
 - AIR BARRIER (GARAGE SIDE) TO PREVENT THE PASSAGE OF FUMES
 - 8" DOUBLE STEEL STUDS @24" O.C. AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
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 - 0.6 MIL POLY VAPOUR BARRIER
 - 1/2" GYPSUM BOARD

W11 2 1/2" INTERIOR NON-LOAD BEARING WALL - FR 2 HR / STC 54 (SB-3, B7a)
 - 2 LAYERS OF 5/8" TYPE 'X' GYPSUM BOARD
 - 1 1/4" x 2 1/2" STEEL STUDS @24" O.C. AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 2 1/2" RIGID INSULATION AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 2 LAYERS OF 5/8" TYPE 'X' GYPSUM BOARD

W12 3 1/2" INTERIOR WALL
 - 1/2" GYPSUM BOARD
 - 3 1/2" STEEL STUDS @24" O.C. AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR

DUSTIN DESIGN & DRAFTING

BAEUMLER APPROVED

BBB ACCREDITED

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LAYOUT PAGE TABLE

LABEL	TITLE
A0	CONSTRUCTION NOTES, ASSEMBLIES & SITE PLAN
A3.0	PROPOSED BASEMENT FLOOR PLAN
A3.1	PROPOSED GROUND FLOOR PLAN
A3.2	PROPOSED SECOND FLOOR PLAN
A3.3	PROPOSED ROOF PLAN
A4.0	EXTERIOR FRONT & REAR ELEVATIONS & PERSP.
A4.1	EXTERIOR SIDE ELEVATIONS
A5.0	BUILDING SECTION & DETAILS

FRONT YARD SOFT LANDSCAPING AREA CALCULATION:
 2800 ST STEPHEN'S ST - UNIT A:
 FRONT YARD SETBACK CALCULATION FROM EXISTING BUILDINGS:
 LEFT PROPERTY : 6.16 M (AS PER SURVEY)
 RIGHT PROPERTY : 7.04 M (AS PER SURVEY)
 AVG FRONT YARD LINE : 6.6 M
 AS PER SECTION 144 1) d), THE FRONT YARD SETBACK WILL REMAIN 6 METERS

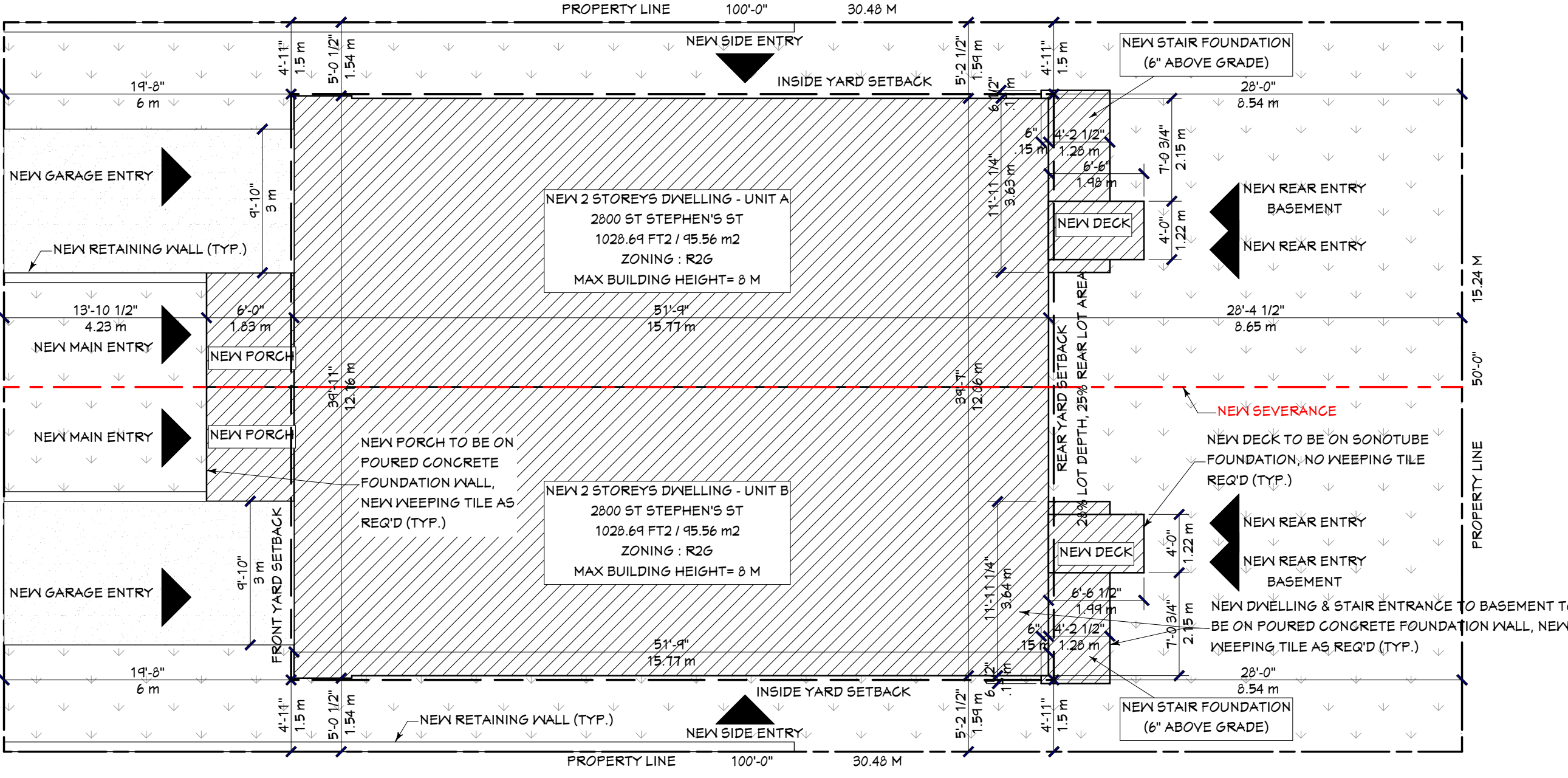
MATURED NEIGHBORHOOD:
 FRONT YARD SETBACK CALCULATION FROM EXISTING BUILDINGS:
 LEFT PROPERTY : 6.16 M (AS PER SURVEY)
 RIGHT PROPERTY : 7.04 M (AS PER SURVEY)
 AVG FRONT YARD LINE : 6.6 M
 AS PER SECTION 144 1) d), THE FRONT YARD SETBACK WILL REMAIN 6 METERS

LEGEND:

- HARD LANDSCAPING WALKWAY
- HARD LANDSCAPING DRIVEWAY
- SOFT LANDSCAPING - GRASS/ GARDEN

NOTES:

- PROPERTY LIMITS AND EXISTING BUILDING LOCATION FROM FARLEY & SMITH & DENIS SURVEYING LTD
- ZONING INFORMATION FROM THE CITY OF OTTAWA



ROOF ASSEMBLY NOTES:

R1 13" CATHEDRAL ROOF JOIST ASSEMBLY - INSULATED
 - 25 OR 30 YEAR SELF SEALING ASPHALT SHINGLES (AS PER OWNER'S INSTRUCTION)
 - 15 LBS. ASPHALT ROOF FELT OVER LAPPED 16"
 - ICE / WATER SHIELD TO EXTEND 30" PAST OUTER WALL
 - 7/16" O.S.B. SHEATHING INSTALLED WITH "H CLIPS" BETWEEN ROOF JOISTS
 - 13" PRE ENGINEERED STRUCTURAL ROOF JOIST HARMONIC SYSTEM/ SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - 13" RIGID INSULATION AS PER HARMONIC SYSTEM BY MANU. / SUPPLIER TO PROVIDE ENGINEERED SHOP DRAWING TO ARCHITECT AND CITY INSPECTOR
 - INSULATION DEPRESSORS TO PROVIDE 2 1/2" OF VENTILATION ON ALL ROOF SLOPES
 - 6 MIL. POLYETHYLENE VAPOUR BARRIER
 - 2x3 PERPENDICULAR STRAPPING @16" O.C. FASTENED TO JOISTS
 - 1/2" GYPSUM BOARD - FINISHED WITH A 3 COAT PROCESS, SANDED SMOOTH
 - PRIME PAINT FINISH WHERE REQ'D

R2 13" CATHEDRAL ROOF JOIST ASSEMBLY
 - 25 OR 30 YEAR SELF SEALING ASPHALT SHINGLES (AS PER OWNER'S INSTRUCTION)
 - 15 LBS. ASPHALT ROOF FELT OVER LAPPED 16"
 - ICE / WATER SHIELD TO EXTEND 30" PAST OUTER WALL
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AS PER P.ENG (SEE ATTACHED)

B1 - DROPPED STEEL BEAM SUPPORTING FLOOR SYSTEM - BY P.ENG - BASEMENT FLR
B2 - DROPPED STEEL BEAM SUPPORTING FLOOR SYSTEM - BY P.ENG - BASEMENT FLR

OTHERS
FLOOR SYSTEM - SEE F2 FLOOR ASSEMBLY. PLEASE CONTACT ARCHITECT BEFORE CHANGING OBC FLOOR SYSTEM. - BY P.ENG - BASEMENT FLR
CONC. STAIR - 10m AT NOSING, 15M EACH WAY AT 18" O.C., 15M DOWELS FROM WALL TO STAIRCASE @ 18" O.C. DEVELOP AT LEAST 24" INTO WALL AND 24" INTO STAIRCASE. 32 MPa W/ 5-8% AIR, BACKFILLED WITH CRUSH STONE COMPACTED TO 98% PROCTOR - BY P.ENG - GROUND FLR

BRICK LINTELS
B1.1 - BY P.ENG - BASEMENT FLR

FROST PROTECTION
F1 - FOUNDATION WALLS @ EXTERIOR STAIRS TO BASEMENT - BY P.ENG - BASEMENT FLR
F2 - FOUNDATION WALLS & FOOTING @ PERIMETER OF BUILDING & SEPARATION WALL. - BY P.ENG - BASEMENT FLR
F3 - EXTEND FOOTING 4'-0" AS PER PERMITS 11/51 - BY P.ENG - BASEMENT FLR
F4 - UNDERNEATH THE POST, THE FOOTING SIZE SHALL BE 36"x36"x10" FOOTING W/ 4-15 M EACH WAY - BY P.ENG - BASEMENT FLR
F5 - UNDERNEATH THE POST, THE FOOTING SIZE SHALL BE 42"x42"x10" FOOTING W/ 5-15 M EACH WAY - BY P.ENG - BASEMENT FLR
WINDOW WELL - BY P.ENG - BASEMENT FLR

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Dustin Poole
 BCIN# 37560
 FIRM# 100988
 613-795-2860

Dustin Poole

QUALIFICATION INFO:
 SMALL BUILDINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

FINAL CONSTRUCTION PLANS AND PERMIT PLANS MAY BE ALTERED TO REPRESENT BUILDING CODE REQUIREMENTS AND ON-SITE CONDITIONS.

#	DESCRIPTION	YY/MM/DD
02	ISSUED FOR DEFICIENCY LETTER	22/03/08
01	ISSUED FOR BUILDING PERMIT	21/12/20
#	DESCRIPTION	YY/MM/DD

PROJECT
 2800 ST STEPHEN'S STREET

RESIDENTIAL DRAWING
 OTTAWA ONTARIO

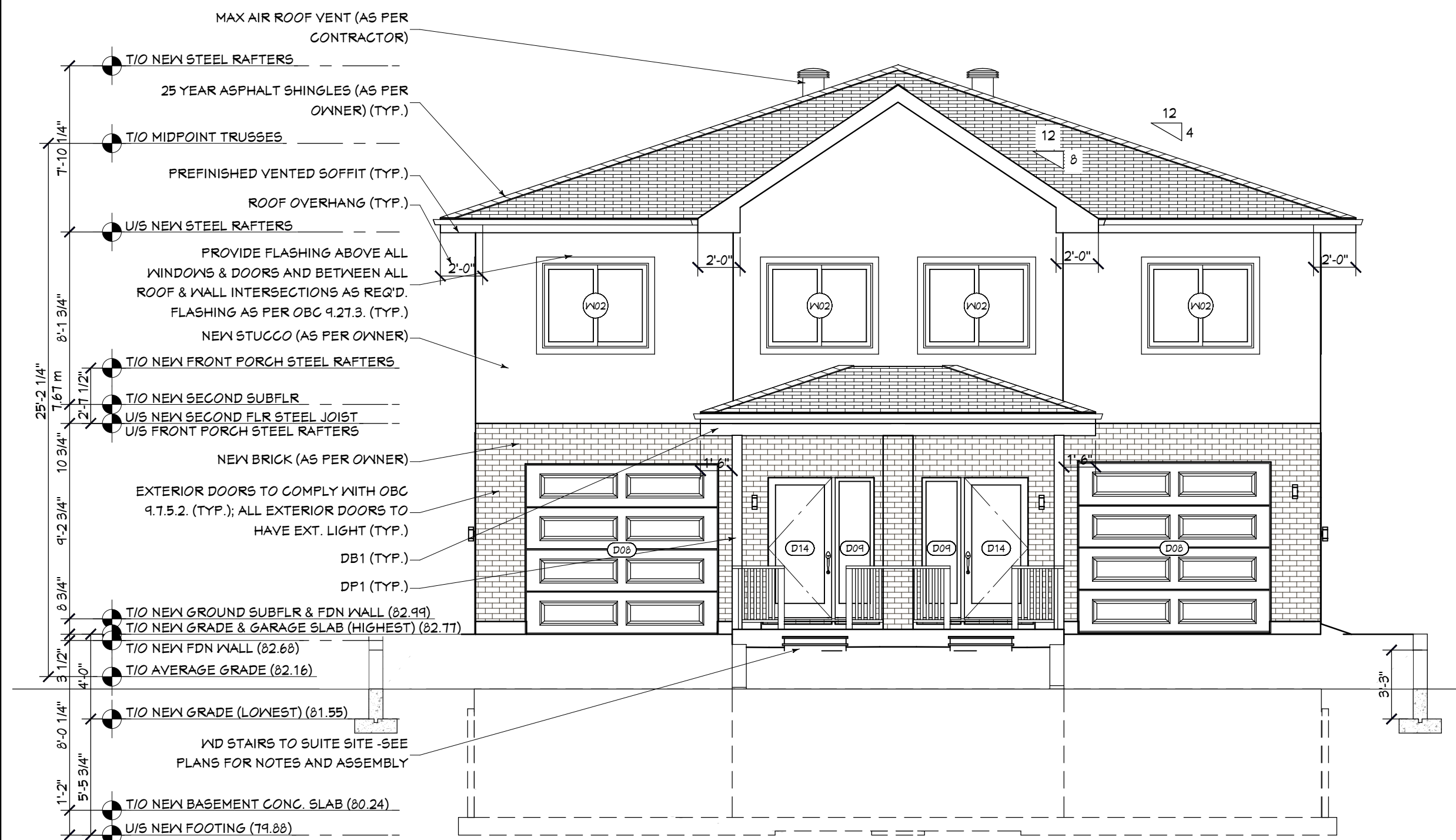
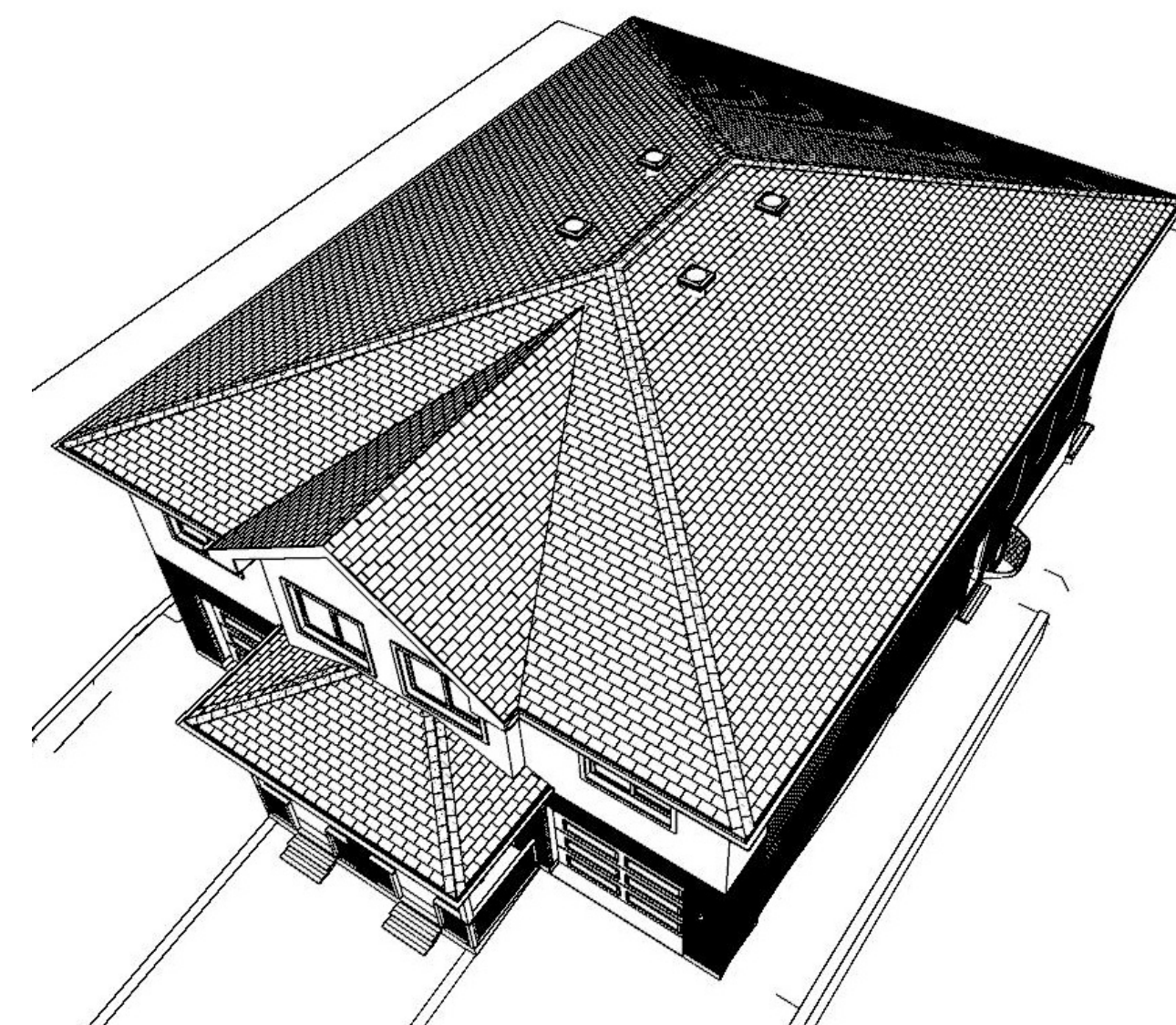
CONSTRUCTION NOTES, ASSEMBLIES & SITE PLAN

TYPE: CUSTOM HOUSE
 DESIGNED BY: DRAWN BY: DWP
 SCALE: NTS
 SHEET: A0

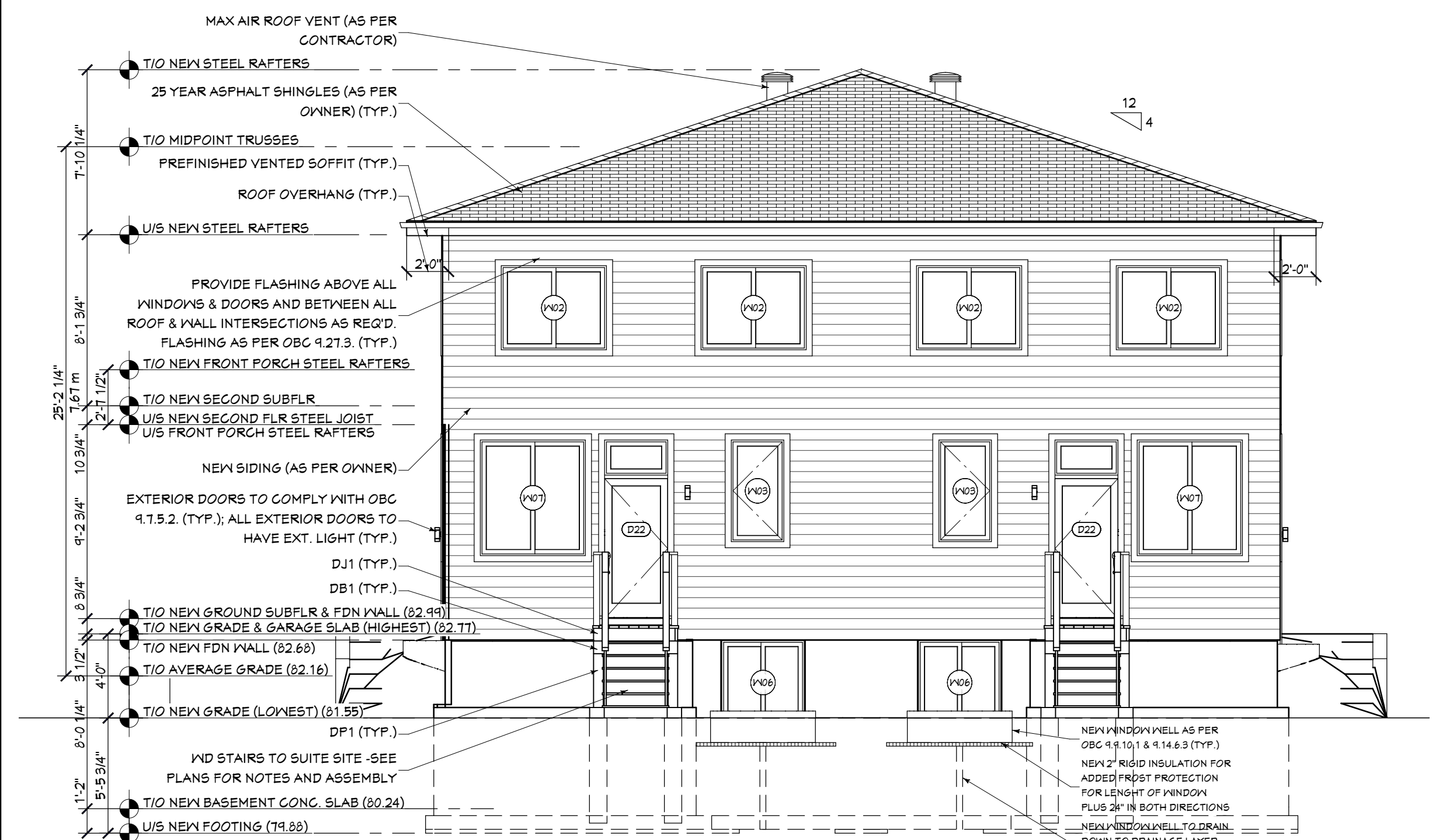
DATE: DEC 20, 2021

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01 EXTERIOR ELEVATION (FRONT)
A4.0 SCALE: 3/16"=1' 0"



02 EXTERIOR ELEVATION (REAR)
A4.0 SCALE: 3/16"=1' 0"

03 PERSPECTIVES
A4.0 SCALE: N/A

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FIRMM 100988
613-795-2860

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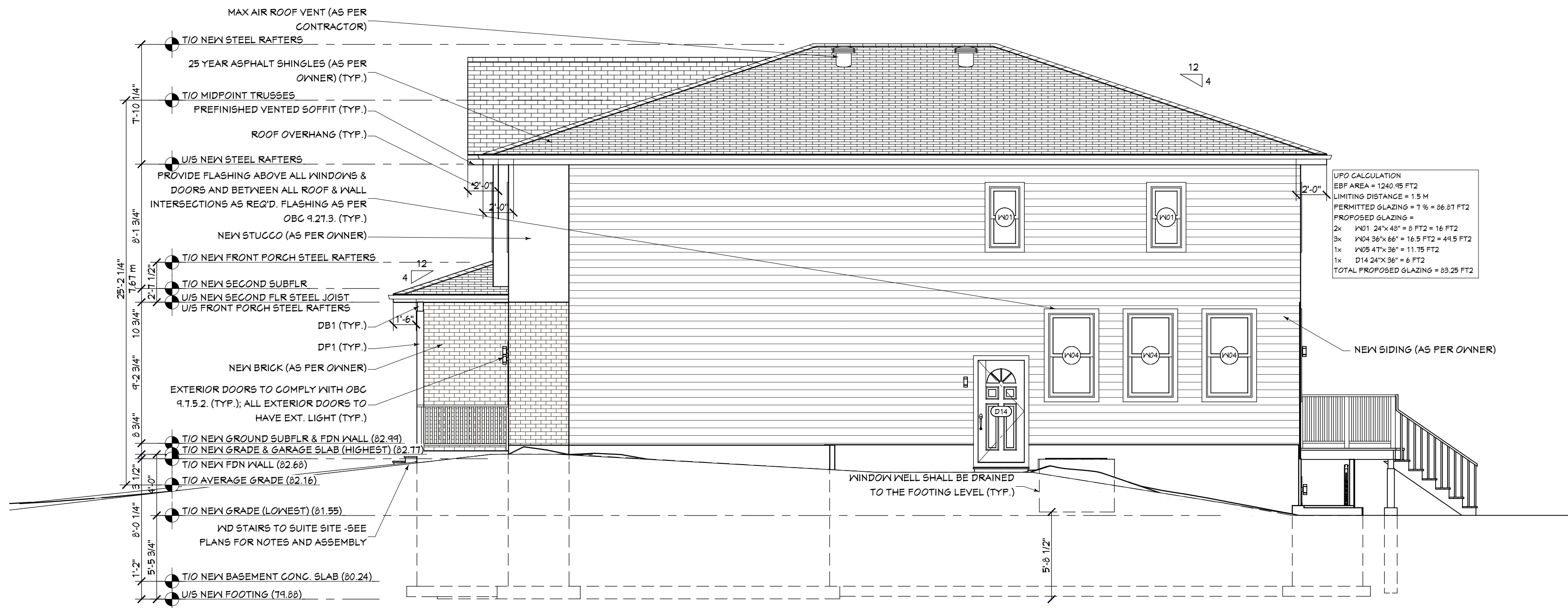
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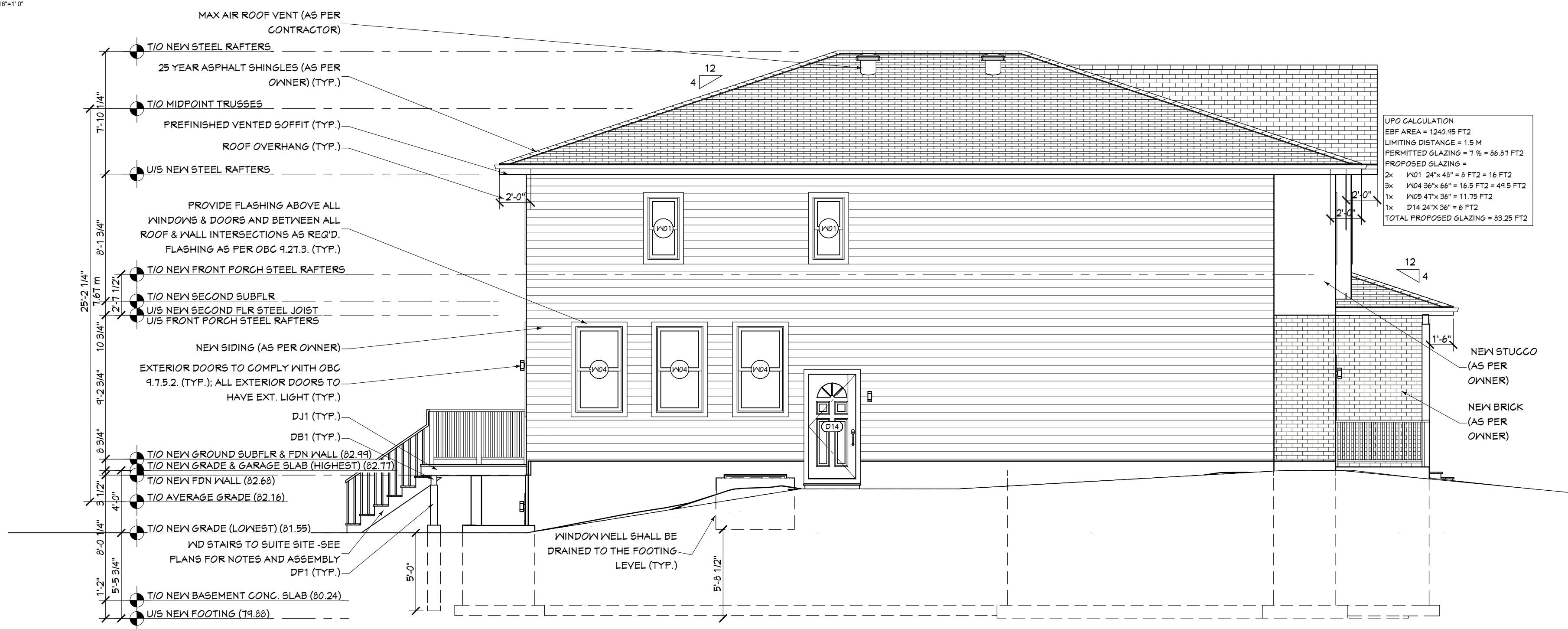
PROJECT		2800 ST STEPHEN'S STREET	
RESIDENTIAL DRAWING	OTTAWA ONTARIO	EXTERIOR FRONT & REAR ELEVATIONS & PERSP.	
TYPE	SCALE	DESIGNED BY	AS NOTED SHEET
CUSTOM HOUSE	DP	DATE	A4.0
DEC 20, 2021			

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01 EXTERIOR ELEVATION (RIGHT SIDE)
SCALE: 3/16"=1'-0"



02 EXTERIOR ELEVATION (LEFT SIDE)
SCALE: 3/16"=1'-0"

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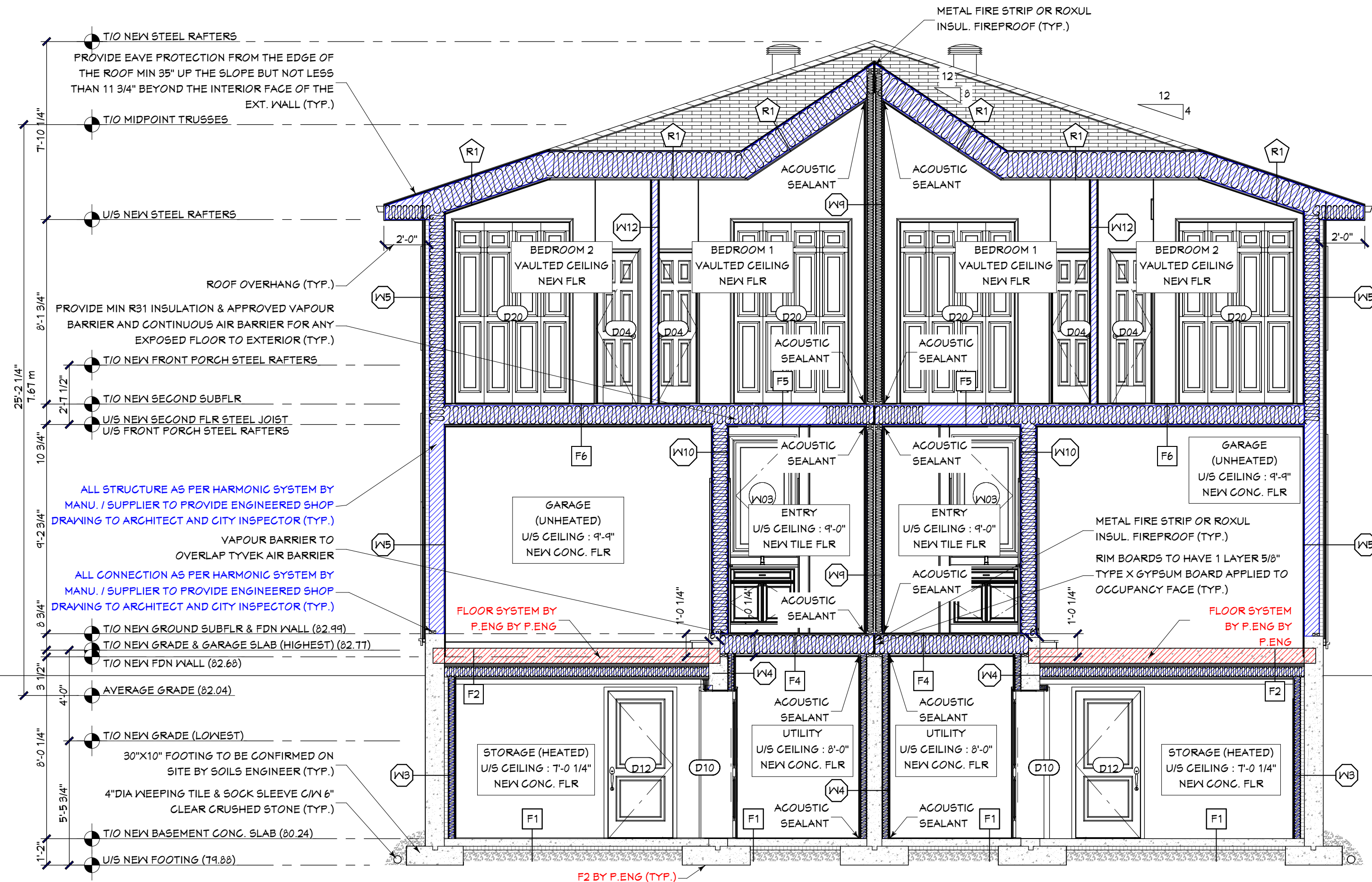
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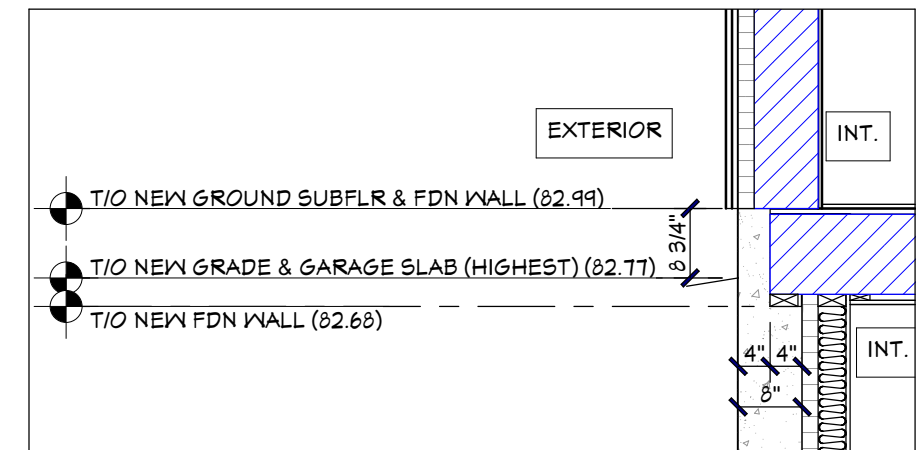
PROJECT		2800 ST STEPHEN'S STREET	
RESIDENTIAL DRAWING	OTTAWA ONTARIO		
EXTERIOR SIDE ELEVATIONS			
TYPE	CUSTOM HOUSE	SCALE	AS NOTED
DESIGNED BY	DP	DRAWN BY	DP
DATE	DEC 20, 2021		
			SHEET
			A4.1

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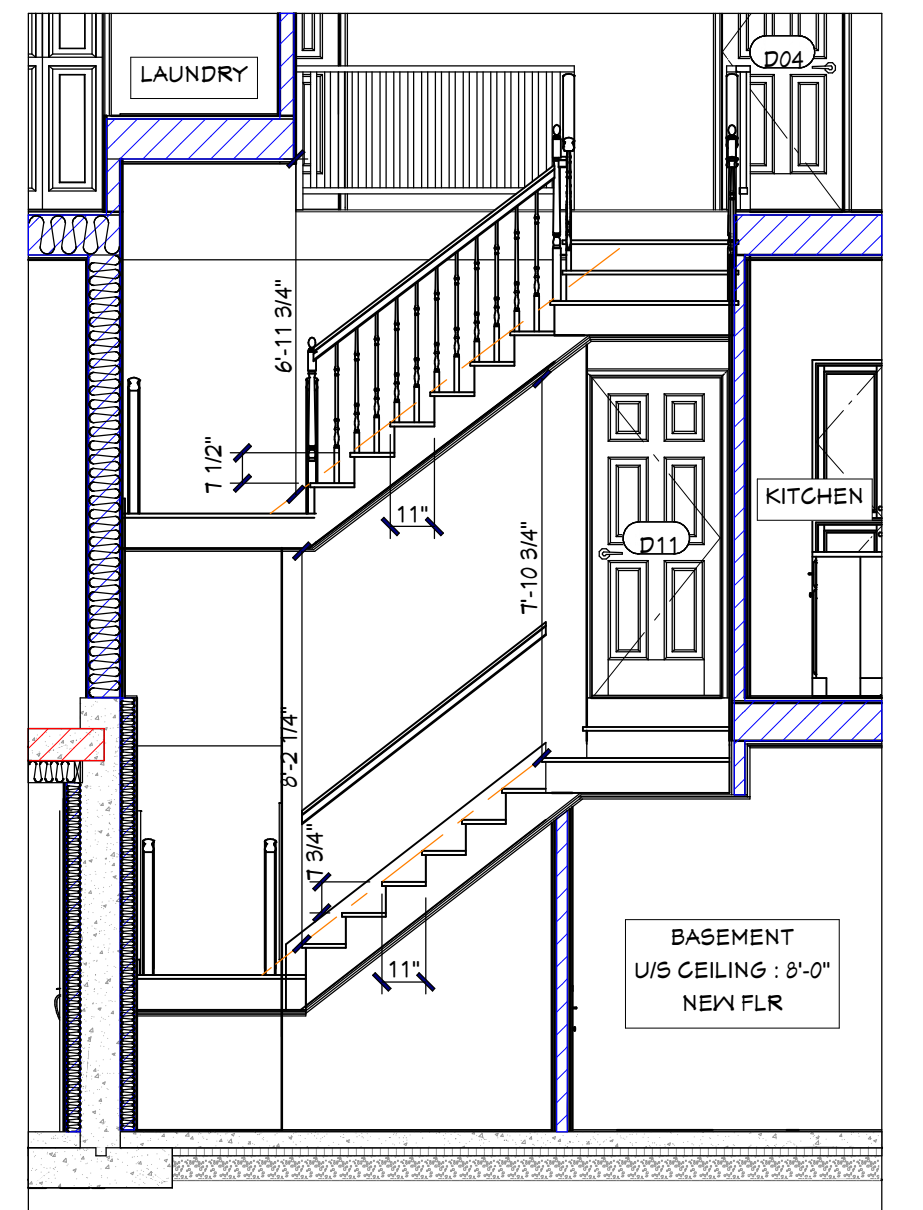
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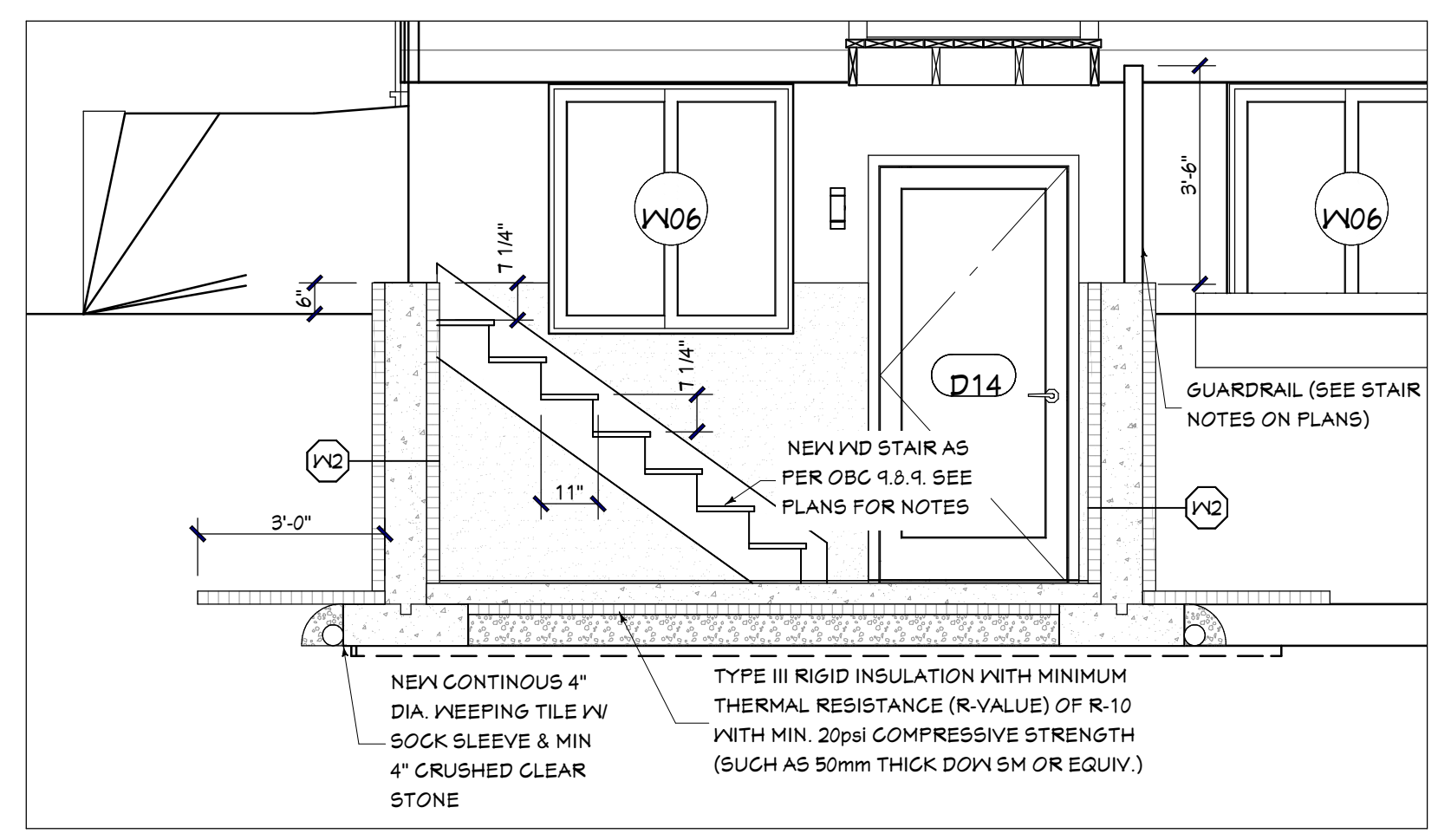
01 BUILDING SECTION
SCALE: 1/4"=1' 0"



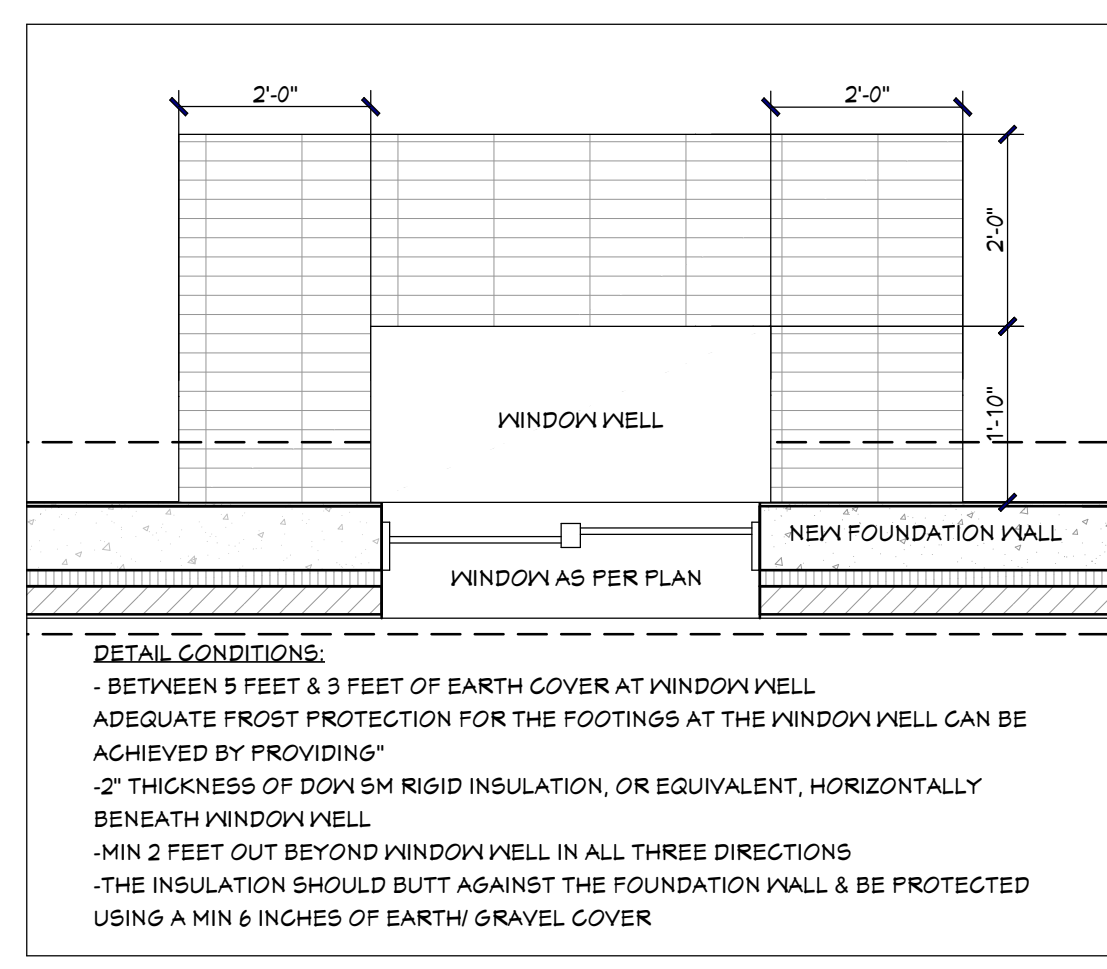
06 CONCRETE LIP DETAIL (FRONT & SIDES FDN WALLS)
SCALE: 1/2"=1' 0"



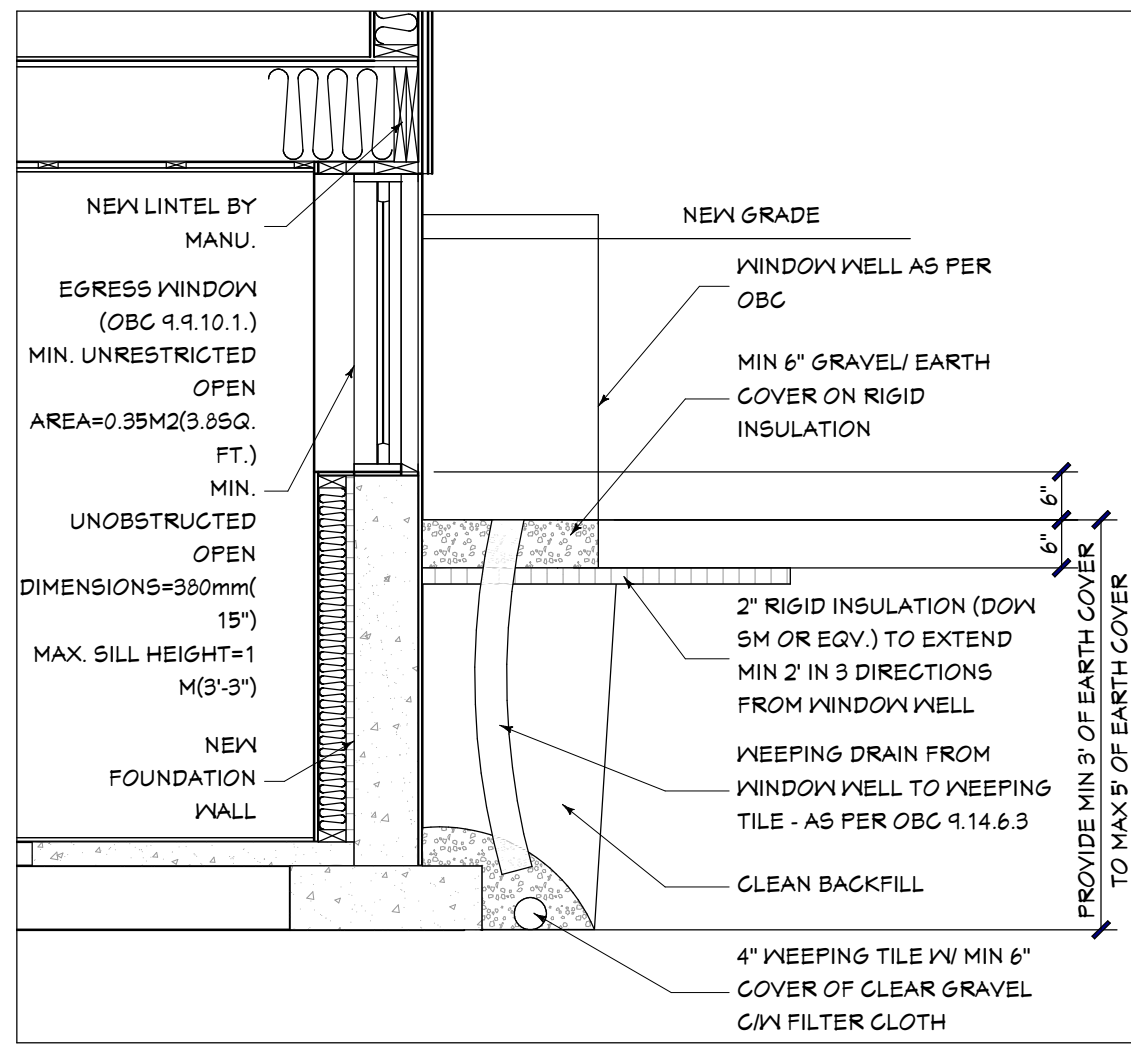
02 BUILDING SECTION - STAIRS
SCALE: 1/4"=1' 0"



03 F1 STAIR SECTION - FROST PROTECTION BY P.ENG
SCALE: 3/8"=1' 0"



04 TYP. FROST PROTECTION WINDOW WELL PLAN DETAIL
SCALE: 1/2"=1' 0"



05 TYP. FROST PROTECTION WINDOW WELL SECTION DETAIL
SCALE: 1/2"=1' 0"

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PROJECT
2800 ST STEPHEN'S STREET

RESIDENTIAL DRAWING
BUILDING SECTION & DETAILS

TYPE
CUSTOM HOUSE

DESIGNED BY
DP

SCALE
AS NOTED SHEET

DATE
DEC 20, 2021

A5.0