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*Farley, Smith & Denis Surveying Ltd.*

ONTARIO LAND SURVEYORS  
CANADA LANDS SURVEYORS

Since 1908



S. E. FARLEY, O.L.S., Q.L.S. (1886-1980)  
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File No. 594-22

**Simon Saab**

11 Oakland Avenue  
Unit #2  
Ottawa, Ontario  
K1S 2T1  
Cell: 613-240-7320  
Email: s.saab@live.com

**Committee of Adjustment**  
Received | Reçu le

2023-03-21

City of Ottawa | Ville d'Ottawa  
**Comité de dérogation**

**SURVEYOR'S CERTIFICATE**

RE: **#65(63) Acacia Avenue**  
Lot 11  
Registered Plan 189537  
City of Ottawa  
(Being PIN 04225-0274)

I, Daniel Robinson an Ontario Land Surveyor registered under the Surveyors Act of Province of Ontario hereby certify the area of the above noted lands to be **285.7m<sup>2</sup>**. I also hereby certify the lot width to be **13.77m**, calculated at the 4.50m setback limit.

Date: November 15, 2022

Daniel Robinson O.L.S., O.L.I.P.  
President  
Farley Smith & Denis Surveying Ltd





APARTMENT  
BUILDING  
65 Acacia  
OTTAWA, ONT.

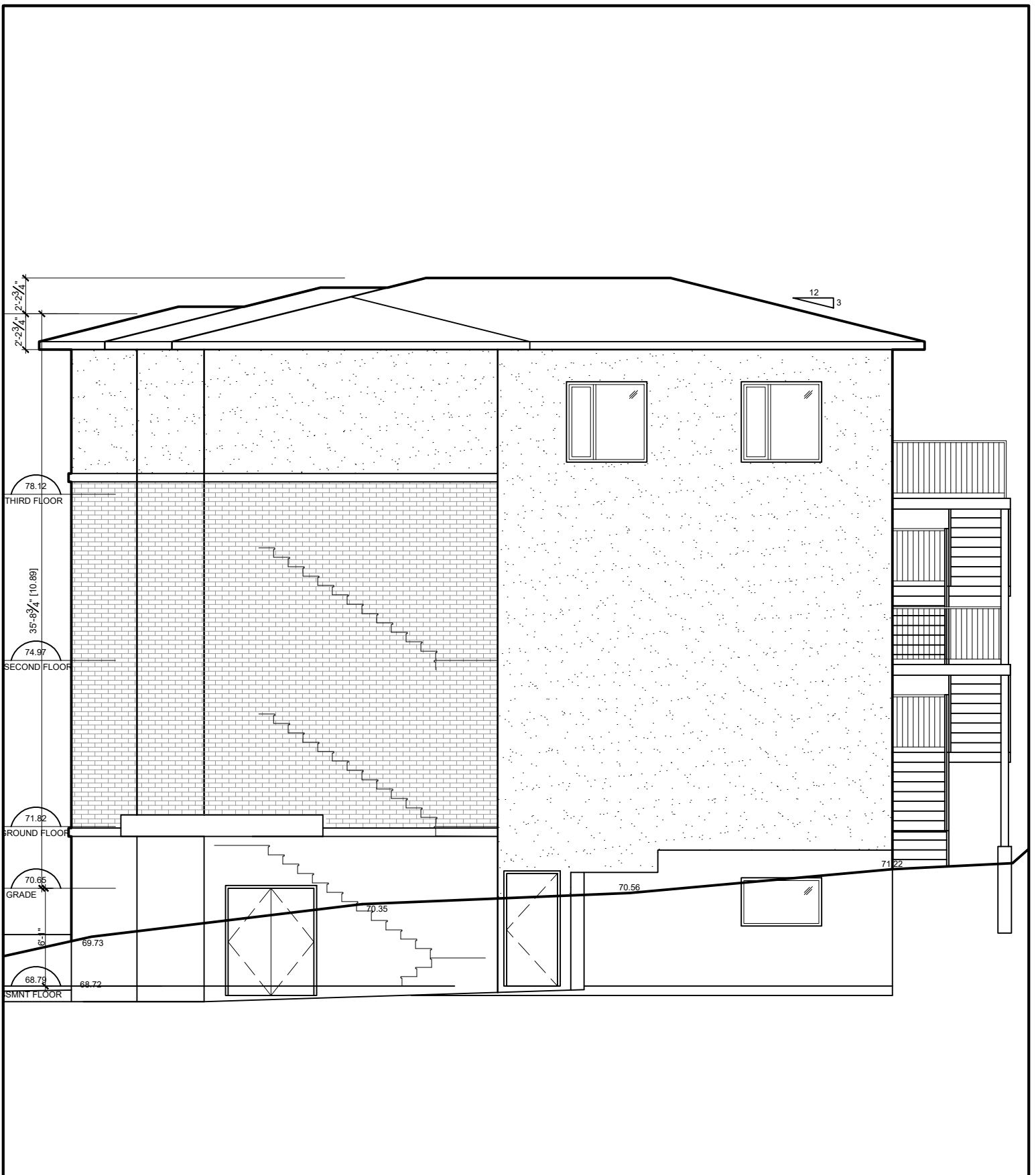
SUSAN D. SMITH ARCHITECT  
941 Merivale Ave  
Ottawa, Ontario  
K1Z 6A1  
613-722-5327  
s.smith@sdsarch.ca

FRONT — EAST ELEVATION

JOB # 1755 DRAWING BY SC

DATE MAR.3,2023 SCALE: 3/16=1'-0"

A1



APARTMENT  
BUILDING  
65 Acacia  
OTTAWA, ONT.

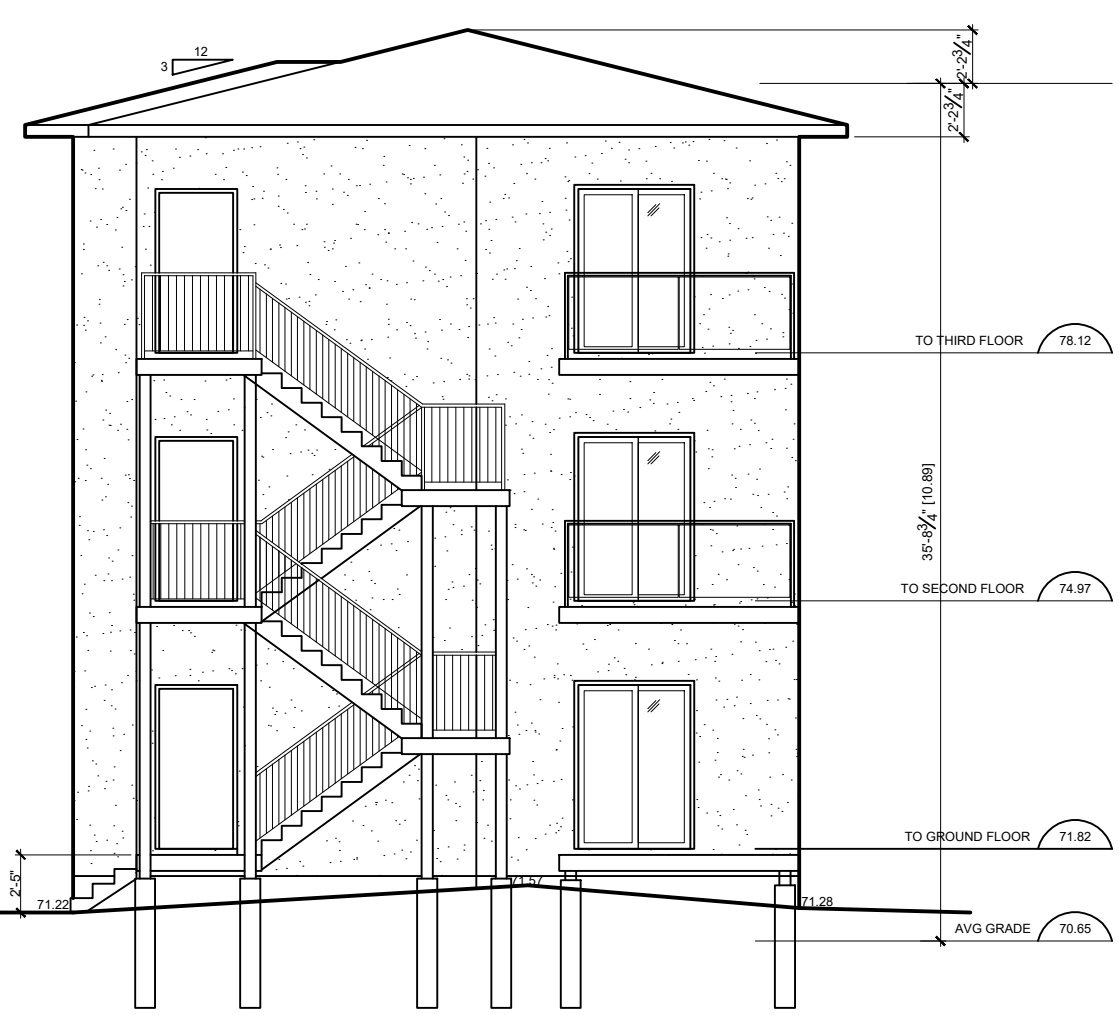
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SIDE — NORTH ELEVATION

JOB # 1755 DRAWING BY SC

DATE MAR.3,2023 SCALE: 1/8"=1'-0"

A2



APARTMENT  
BUILDING  
65 Acacia  
OTTAWA, ONT.

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REAR – WEST ELEVATION

JOB # 1755	DRAWING BY SC	A3
DATE MAR.3,2023	SCALE: 1/8"=1'-0"	

# NEW LOW RISE APARTMENT BUILDING

AT  
63 ACACIA AVENUE  
OTTAWA, ONTARIO

CLIENT: **SIMON SAAB**  
1296 KILBORN AVE  
OTTAWA, ONTARIO  
K1H 6L3  
TEL: 613-240-7320

CONSULTANTS:  
SURVEYOR:  
FARLEY SMITH & DENIS SURVEYING LTD  
10-190 Colonnade Rd, Nepean, ON K2E 7J5

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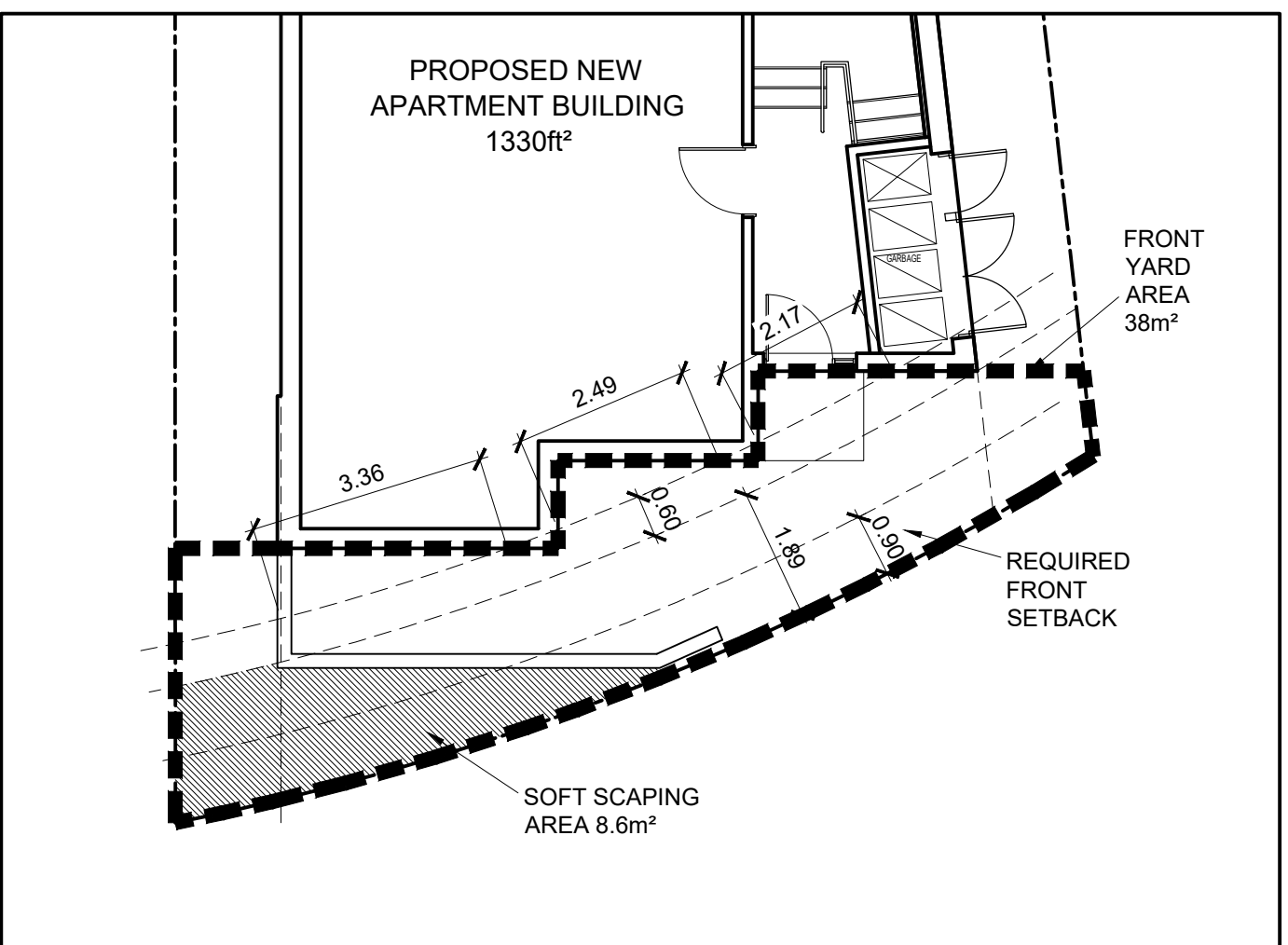
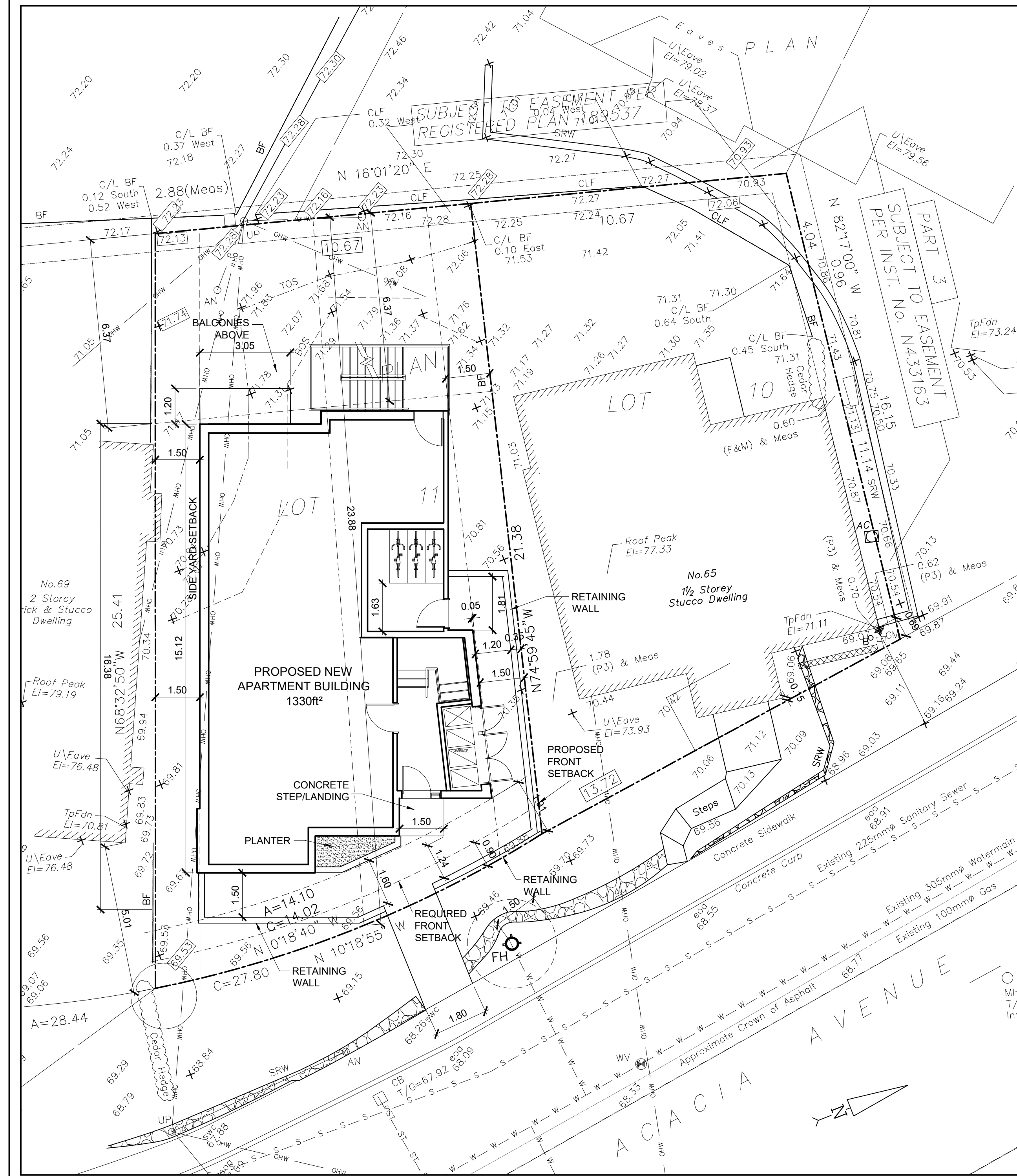
NO.	REVISION	DATE
08		
07		
06		
05		
04		
03	ISSUED FOR REVIEW	28/02/2023
02	ISSUED FOR REVIEW	26/01/2023
01	ISSUED FOR REVIEW	03/11/2022

NOTE:  
1. ALL DIMENSIONS ARE TO BE CHECKED ON SITE. DISCREPANCIES OR AMBIGUITIES SHOULD BE REPORTED PRIOR TO WORK ON SITE OR ORDERING MATERIALS.  
2. ALL WORK TO COMPLY WITH ONTARIO BUILDING CODE.  
3. ALL DIMENSIONS INCLUDE THICKNESS OF GYPSUM BOARD ON STUD WALLS.

## SITE PLAN

JOB# 1755  
DATE SEPT 2022  
DRAWN BY L.T  
SCALE AS NOTED

SP-1



3 KEY PLAN  
SCALE: NTS

### SITE PLAN OF SURVEY LOT 11 REGISTERED PLAN 189537, CITY OF OTTAWA

P.I.N.: 04225 - 0274, 04225 - 0273

R4UD(2648) - RESIDENTIAL FOURTH DENSITY ZONE (SEC. 161-162) CITY OF OTTAWA;  
DWELLING TYPE: 4 STOREY LOW RISE APARTMENT BUILDING

ZONING MECHANISMS	REQUIREMENT	PROVIDED	NOTES
A) MINIMUM LOT AREA	300.0 m <sup>2</sup>	285.7 m <sup>2</sup>	MV
B) MINIMUM LOT WIDTH	10.0 m	13.77 m	
MINIMUM LOT WIDTH @ 3m	N/A	N/A	
C) LOT DEPTH	N/A	23.876 m	
D) MINIMUM FRONT YARD SET BACK	AVERAGE	0.9 m	1.89 m
E) MINIMUM INTERIOR SIDE YARD SETBACK		2.0 m	1.5 m
G) *MINIMUM REAR YARD SET BACK (SEE BY-LAW PROVISION AMENDMENTS OUTLINED BELOW)	SEE ZONE PROVISIONS ACCORDING TO OMB ORDER FILE NO. PL150797	DEPTH	4.6 m
MINIMUM REAR YARD AREA			6.37 m
H) ** MAXIMUM BUILDING HEIGHT			116 m <sup>2</sup>
			70 m <sup>2</sup>
I) SOFT SCAPING			11.0 m
			10.89 m
J) VEHICLE PARKING			102 m <sup>2</sup> IN THE REAR YARD
			56 m <sup>2</sup> IN THE REAR YARD
			6.4m <sup>2</sup> (20%) OF 32m <sup>2</sup> FRONT YARD
			8.66m <sup>2</sup> (27%) OF 32m <sup>2</sup> FRONT YARD
K) BICYCLE PARKING	0.5 PER UNIT		0
			3

SURVEY INFO		
SURVEY INFO TAKEN FROM LOT 11		
REGISTERED PLAN 189537		
CITY OF OTTAWA		
PREPARED BY FARLEY, SMITH & DENIS SURVEYING LTD.		
FIELD WORK COMPLETED AUG. 23, 2017		
GARBAGE REQUIREMENT		
	REQUIREMENT	PROVIDED
GARBAGE	0.231 CUBIC YARDS PER UNIT: 6x0.231=1.386	2 YARD
RECYCLING	FOR EVERY 6 UNITS, PROVIDE ONE 360L BLUE CART AND ONE 360L BLACK CART	ONE 360L BLUE CART & 1-360L BLACK CART
ORGANICS	*"KITCHEN CATCHER" CONTAINER FOR EACH DWELLING UNIT AND ONE COMMUNAL 240L GREEN CONTAINER PER 50 UNITS	*"KITCHEN CATCHER" CONTAINER FOR EACH DWELLING UNIT AND ONE COMMUNAL 240L GREEN CONTAINER
GARBAGE, RECYCLING AND COMPOSTING ARE TO BE STORED IN A SPECIFIC ROOM. IT WILL BE COLLECTED BY A PRIVATE COMPANY		
SNOW REMOVAL REQUIREMENT		
PROPERTY OWNER WILL BE RESPONSIBLE FOR THE REMOVAL AND STORAGE OF SNOW FOR ALL WALKWAYS THROUGHOUT THE WINTER		

- PROPOSED TREE
- EX. TREE TO BE REMOVED
- EX. TREE TO REMAIN
- DENOTES SOFT LANDSCAPING (SOD)
- DENOTES HARD LANDSCAPING (PERMEABLE PAVER)
- PROPOSED RIVERWASH STONE
- PROPOSED BUILDING FOOTPRINT
- PROPOSED SHRUB (SEE LANDSCAPE PLAN)
- PROPOSED RETAINING WALL
- TREE PROTECTION FENCING
- PROPOSED/EXISTING ENTRY/EXIT
- EX. UTILITY POLE
- EX. CHAINED LINK/BOARD FENCE
- PROPERTY LINE
- OVERHEAD HYDRO LINES
- PROPOSED STORM MANHOLE
- PROPOSED CATCH BASIN MANHOLE

\* Alternative Setbacks for Urban Areas (OMB Order File No: PL150797, issued July 25, 2016 - By-law 2015-228)

\*\* Alternative Height Limits for Urban Areas (OMB Order File No: PL150797, issued July 25, 2016 - By-law 2015-228)

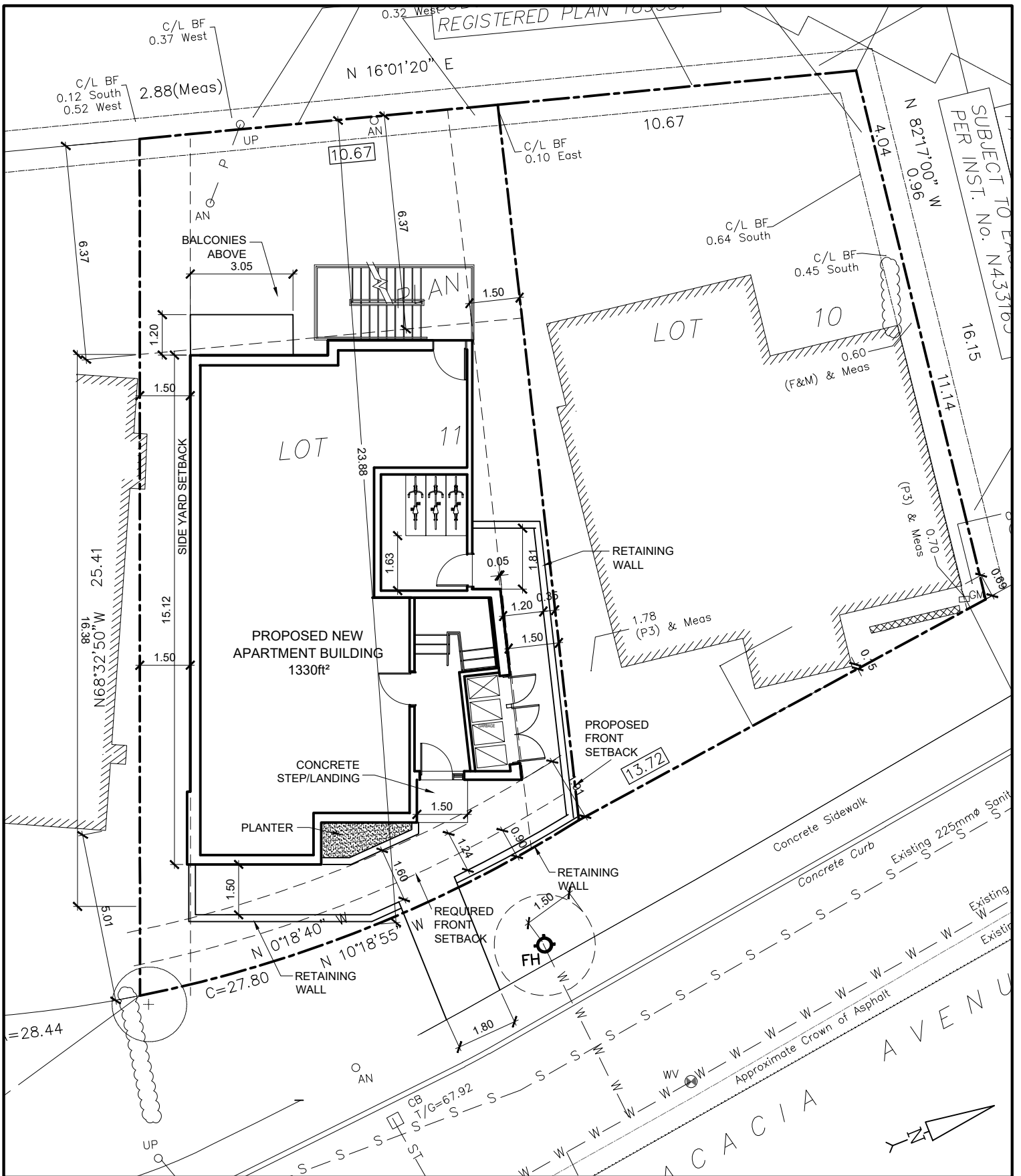
†(11) Despite the minimum rear yard setback provision in column IX of Table 162A, the minimum required rear yard setback on through lots or interior lots where the rear lot line abuts R1, R2, R3, and R4 zones, and where the minimum front yard setback is up to and including 4.5 metres in Area A on Schedule 342 are as follows:

(i) up to and including 23.5 metres, except for a lot containing a Planned Unit Development: a distance equal to 25 per cent of the lot depth which must comprise at least 25 per cent of the area of the lot,

(ii) greater than 23.5 metres and up to and including 25 metres, except for a lot containing a Planned Unit Development: a distance equal to the lot depth minus 17.5 metres which must comprise at least 25 per cent of the area of the lot...

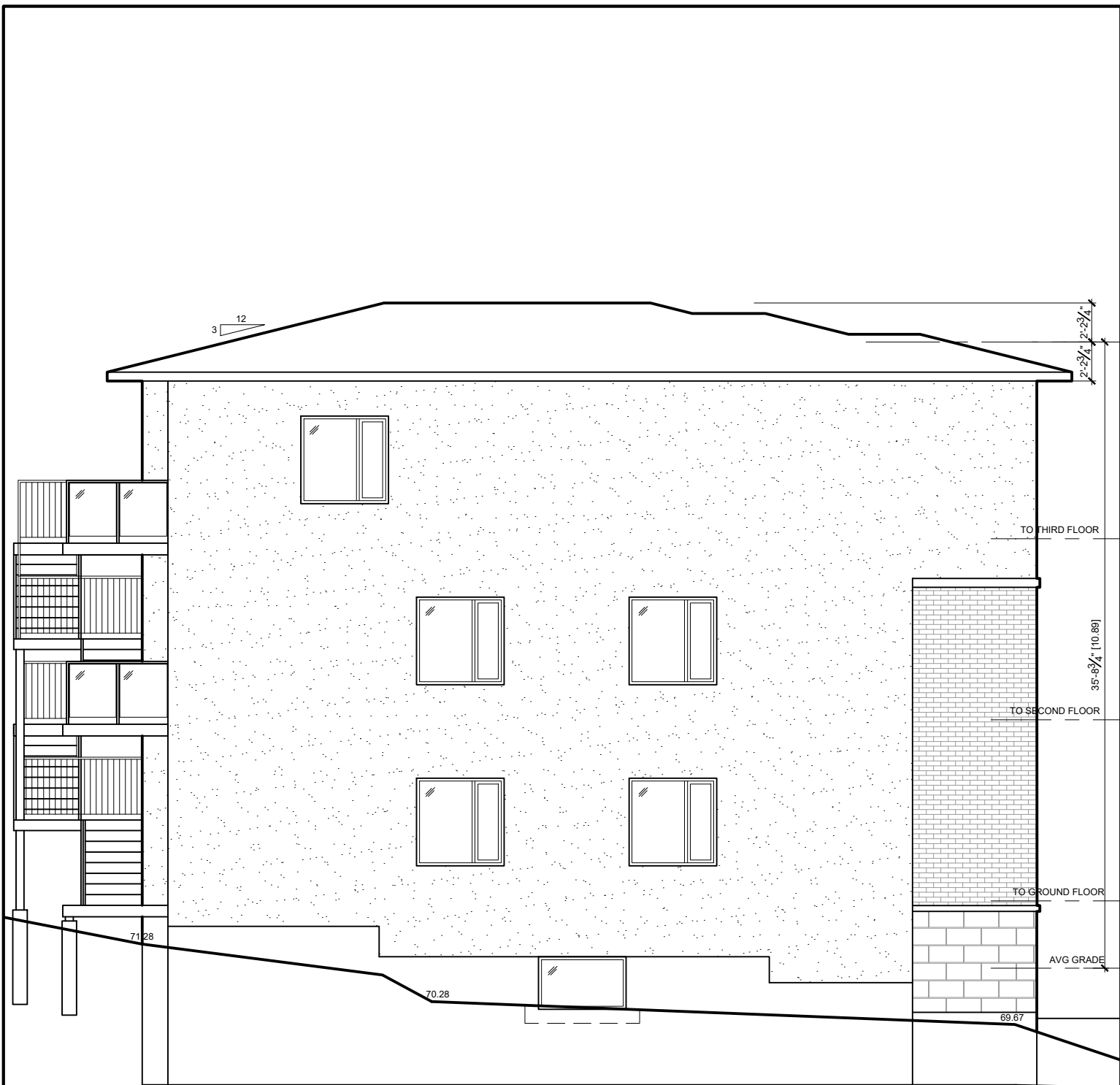
1 SITE PLAN  
SCALE: 1/100

D07-12-18-0023



APARTMENT BUILDING 65 Acacia OTTAWA, ONT.	SUSAN D. SMITH ARCHITECT 941 Merivale Ave Ottawa, Ontario K1Z 6A1 613-722-5327 s.smith@sdsarch.ca	SITE PLAN	
		JOB # 1755	DRAWING BY VN & SS
		DATE MAR.15,2023	SCALE: 1:150

A1



APARTMENT  
 BUILDING  
 65 Acacia  
 OTTAWA, ONT.

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SIDE – SOUTH ELEVATION

JOB # 1755 DRAWING BY SC

DATE MAR.3,2023 SCALE: 1/8"=1'-0"

A4