

2023-02-03

THOMPSON RESIDENCE

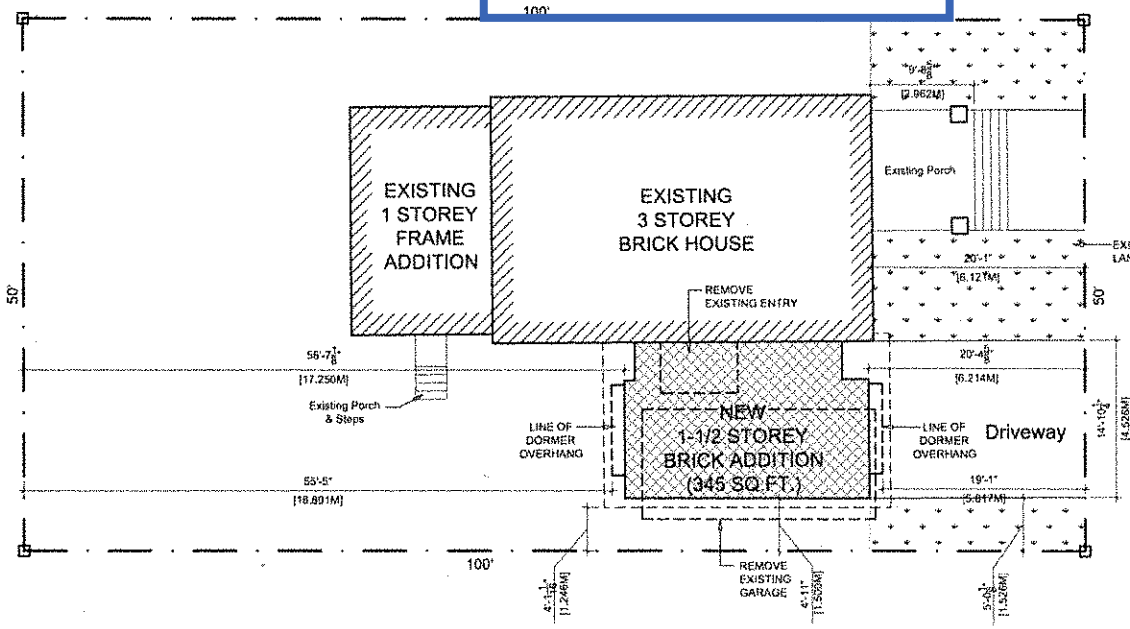
460 ATHLONE AVENUE, ONTARIO, ONTARIO

**CSV ARCHITECTS**  
sustainable design • conception • développement

17-263 4316 150 St. Catherine Street, Suite 102  
Ottawa, Ontario K2P 2G2

CONSULTANT  
name  
address  
address  
phone  
email

**SURVEY INFORMATION**  
PLAN OF LOT 106, REGISTERED PLAN 272,  
CITY OF OTTAWA  
PREPARED BY: FAIRHALL & MOFFATT LIMITED  
ONTARIO LAND SURVEYORS,  
ON APRIL 28, 1977



ATHLONE AVENUE

STAMP

REV DATE	ISSUE
04 2022/06/17	Reissued for Building Permit
03 2022/03/03	Issued for Building Permit
02 2022/02/07	Issued for Structural Review
01 2021/10/26	Issued for Structural Review

NOTES

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
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5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

SITE PLAN NOTES:

1. EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY
2. NEW ROOF DOWNSPOUTS SHALL NOT BE DIRECTED TOWARD ADJACENT PROPERTY
3. MATCH EXISTING ELEVATIONS WITH ABUTTING PRIVATE PROPERTY
4. SITE SLOPE & GRADING TO REMAIN AS EXISTING UNLESS OTHERWISE SPECIFIED. (IF RETIC CONTRACTOR TO ENSURE THAT HOUSE GRADE TO GROUND OR REAR OF LOT SHALL BE 2% MIN. AND 7% MAX. GRADING OVER 7% SHALL BE TERRACED.)
5. GRADING AROUND THE FOUNDATION SHOULD BE 0.15M MIN. BELOW TOP OF FOUNDATION GRADE.
6. TREES TO BE PROTECTED BEFORE AND AFTER CONSTRUCTION
7. EAVESTROUGHING TO BE INSTALLED AND DIRECTED TO THE FRONT OF THE PROPERTY
8. NO EXCESS DRAINAGE SHALL BE DIRECTED ONTO NEIGHBOURING PROPERTY
9. NO ALTERATION TO EXISTING GRADES ARE PERMITTED ON OR BEYOND THE PROPERTY LINE

RAINWATER DISCHARGE FROM EAVESTROUGH AND ROOF OVERFLOW (SCUPPERS) SHALL BE 1.5M FROM ALL PROPERTY LINES AND NOT DIRECTED TOWARDS ADJACENT PROPERTIES. ALL ROOF RUNOFF TO BE DIRECTED TOWARDS THE SHEET.

CLIENT

**THOMPSON**  
OTTAWA  
ONTARIO, CANADA

PROJECT

**THOMPSON ADDITION**

460 ATHLONE AVE.  
OTTAWA, ONTARIO

TITLE

SITE PLAN

PROJECT NO: 21-0650

DRAWN:  
APPROVED:  
SCALE: 1/8"=1'-0"  
DATE ISSUED: 2022.08.17

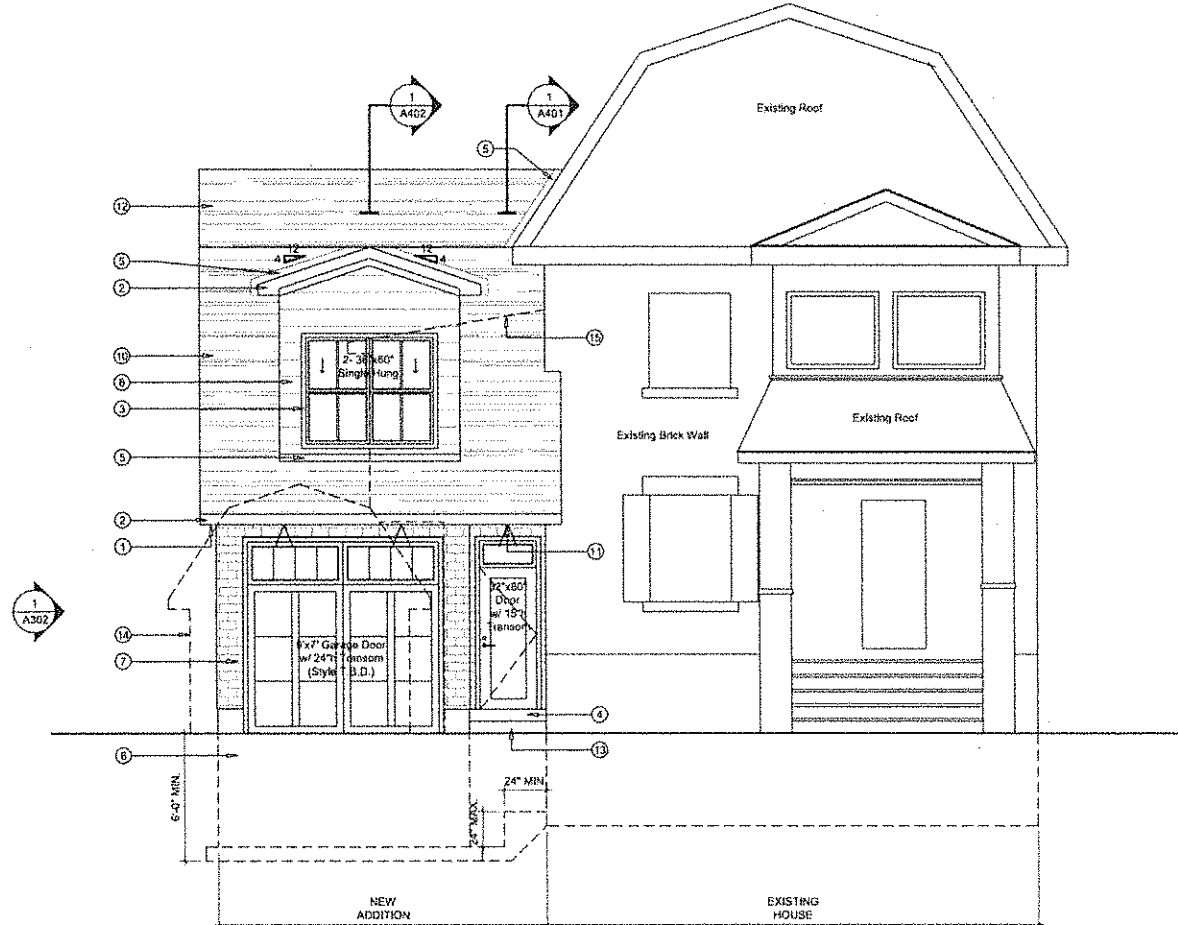
REV DRAWING NO.

Committee of Adjustment  
FEB 03 2023  
City of Ottawa



1 SITE PLAN  
SCALE: 1/8"=1'-0"

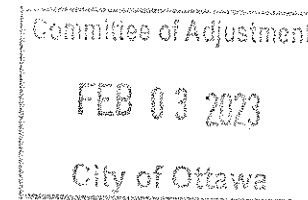
A100



**1 FRONT ELEVATION**  
 (A301) SCALE: 1/4"=1'-0"

**ELEVATION NOTES:**

- |   |  |   |
|---|--|---|
| <ul style="list-style-type: none"> <li>① ALUMINUM SOFFIT</li> <li>② ALUMINUM FASCIA</li> <li>③ PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL NEW WINDOW ROUGH OPENING. PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION.</li> <li>④ ENSURE A MIN. 5" UPSTAND AT EXT. DOOR SILL LOCATIONS</li> </ul> | <ul style="list-style-type: none"> <li>⑤ PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS. COLOUR T.B.D.</li> <li>⑥ 12" PARPING BELOW GRADE</li> <li>⑦ NEW BRICK FINISH (COLOUR T.B.D.)</li> <li>⑧ DORMER WALL WITH WOOD SIDING</li> <li>⑨ WOOD SINGLES</li> <li>⑩ ASPHALT SHINGLES</li> </ul> | <ul style="list-style-type: none"> <li>⑪ RECESSED LIGHT IN ROOF</li> <li>⑫ PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ.FT. OF VENTILATION FOR EVERY 300 SQ.FT. OF ROOF AREA. MIN. 25% @TOP, 25% BOTTOM UNIFORMLY DISTRIBUTED</li> <li>⑬ CONCRETE STEP</li> <li>⑭ REMOVE EXISTING GARAGE</li> <li>⑮ REMOVE EXISTING SIDE ENTRY</li> </ul> |
|---|--|---|



**CONSULTANT**  
 name  
 address  
 phone  
 email

**STAMP**

03 2022/03/03 Issued for Building Permit  
 02 2022/02/07 Issued for Structural Review  
 01 2021/10/28 Issued for Structural Review

REV DATE ISSUE

**NOTES**

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**CLIENT**

**THOMPSON**  
 OTTAWA  
 ONTARIO, CANADA

**PROJECT**

**THOMPSON ADDITION**

460 ATHLONE AVE.  
 OTTAWA, ONTARIO  
 TITLE  
**FRONT ELEVATION**

PROJECT NO: 21-0690  
 DRAWN:  
 APPROVED:  
 SCALE: 1/4"=1'-0"  
 DATE ISSUED: 2021.10.26

REV DRAWING NO.

**A301**

CONSULTANT  
 name  
 address  
 address  
 phone  
 email

STAMP

REV	DATE	ISSUE
03	2022/03/03	Issued for Building Permit
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CLIENT

**THOMPSON**  
 OTTAWA  
 ONTARIO, CANADA

PROJECT

**THOMPSON ADDITION**

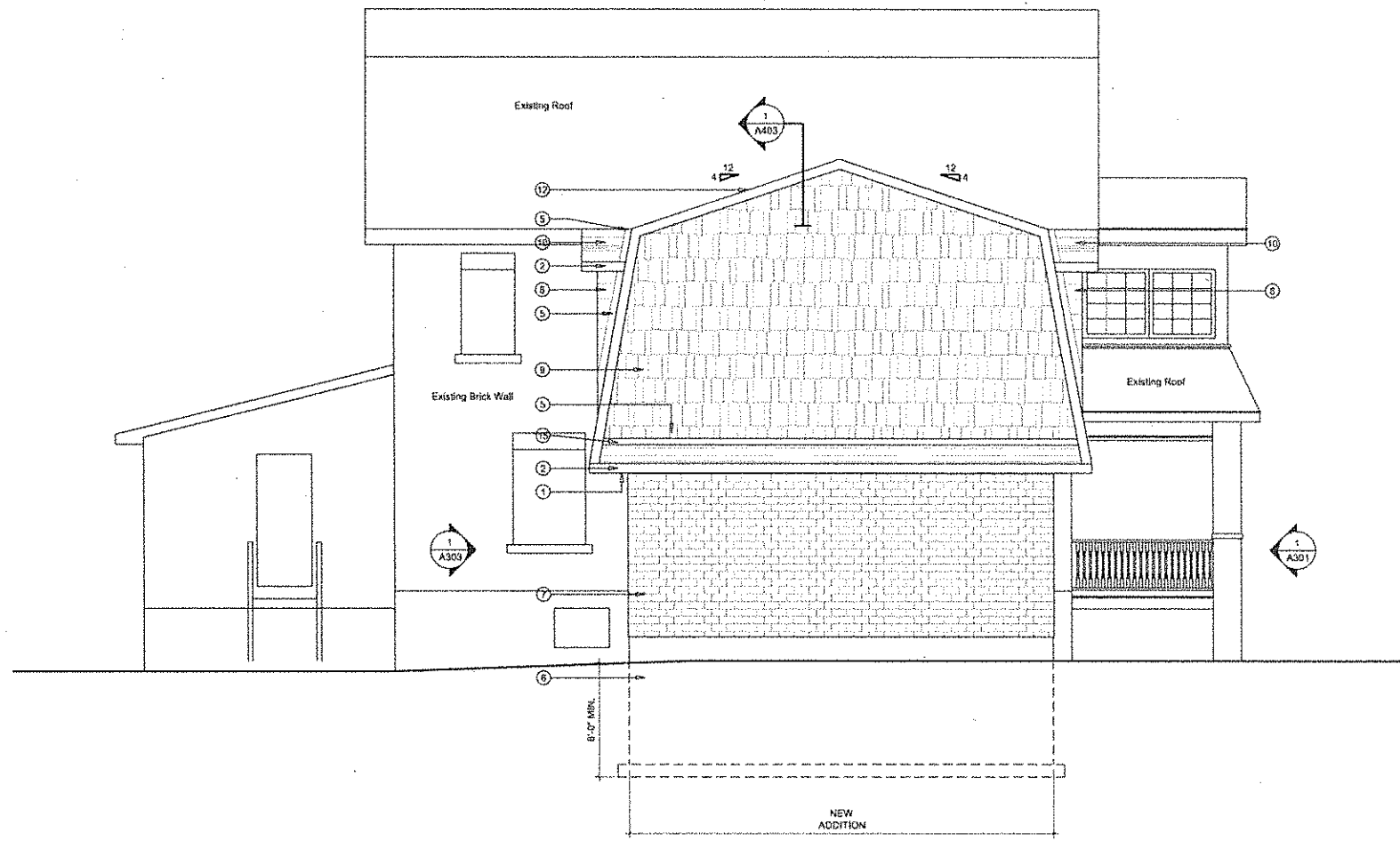
460 ATHLONE AVE.  
 OTTAWA, ONTARIO

TITLE  
 SIDE ELEVATION

PROJECT NO: 21-0630  
 DRAWN:  
 APPROVED:  
 SCALE: 1/4"=1'-0"  
 DATE ISSUED: 2021.10.26

REV \_\_\_\_\_ DRAWING NO. \_\_\_\_\_

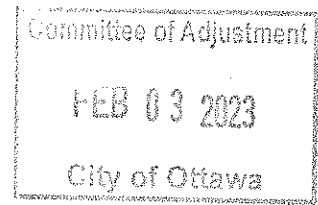
**A302**



**1 SIDE ELEVATION**  
 A302 SCALE: 1/4"=1'-0"

ELEVATION NOTES:

- |  |   |  |
|--|---|--|
| 1 ALUMINUM SOFFIT  | 5 PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS. COLOUR T.B.D. | 11 RECESSED LIGHT IN ROOF  |
| 2 ALUMINUM FASCIA  | 6 12" PARGING BELOW GRADE   | 12 PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ.FT. OF VENTILATION FOR EVERY 300 SQ.FT. OF ROOF AREA. MIN. 25% @ TOP. 25% BOTTOM UNIFORMLY DISTRIBUTED |
| 3 PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL NEW WINDOW ROUGH OPENING. PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION. | 7 NEW BRICK FINISH (COLOUR T.B.D.)  | 13 CONCRETE STEP   |
| 4 ENSURE A MIN. 5" UPSTAND AT EXT. DOOR SILL LOCATIONS   | 8 DORMER WALL WITH WOOD SIDING  | 14 REMOVE EXISTING GARAGE  |
|  | 9 WOOD SHINGLES   | 15 REMOVE EXISTING SIDE ENTRY  |
|  | 10 ASPHALT SHINGLES   |  |



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 address  
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**STAMP**

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**CLIENT**

**THOMPSON**

OTTAWA  
 ONTARIO, CANADA

**PROJECT**

**THOMPSON ADDITION**

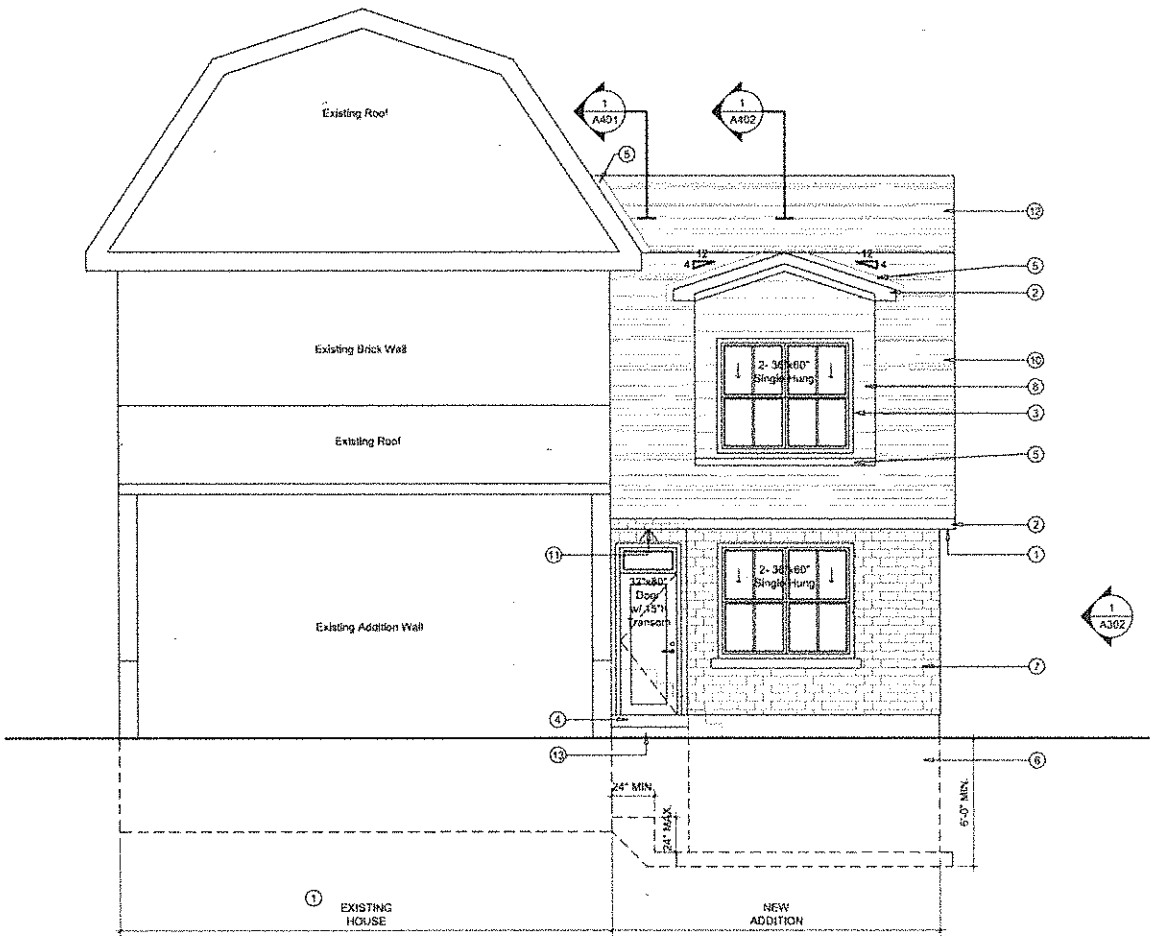
460 ATHLONE AVE.  
 OTTAWA, ONTARIO

**TITLE**

**REAR ELEVATION**

PROJECT NO: 21-0690  
 DRAWN:  
 APPROVED:  
 SCALE: 1/4"=1'-0"  
 DATE ISSUED: 2021.10.26

REV DRAWING NO.



**1 REAR ELEVATION**  
 A303 SCALE: 1/4"=1'-0"

**ELEVATION NOTES:**

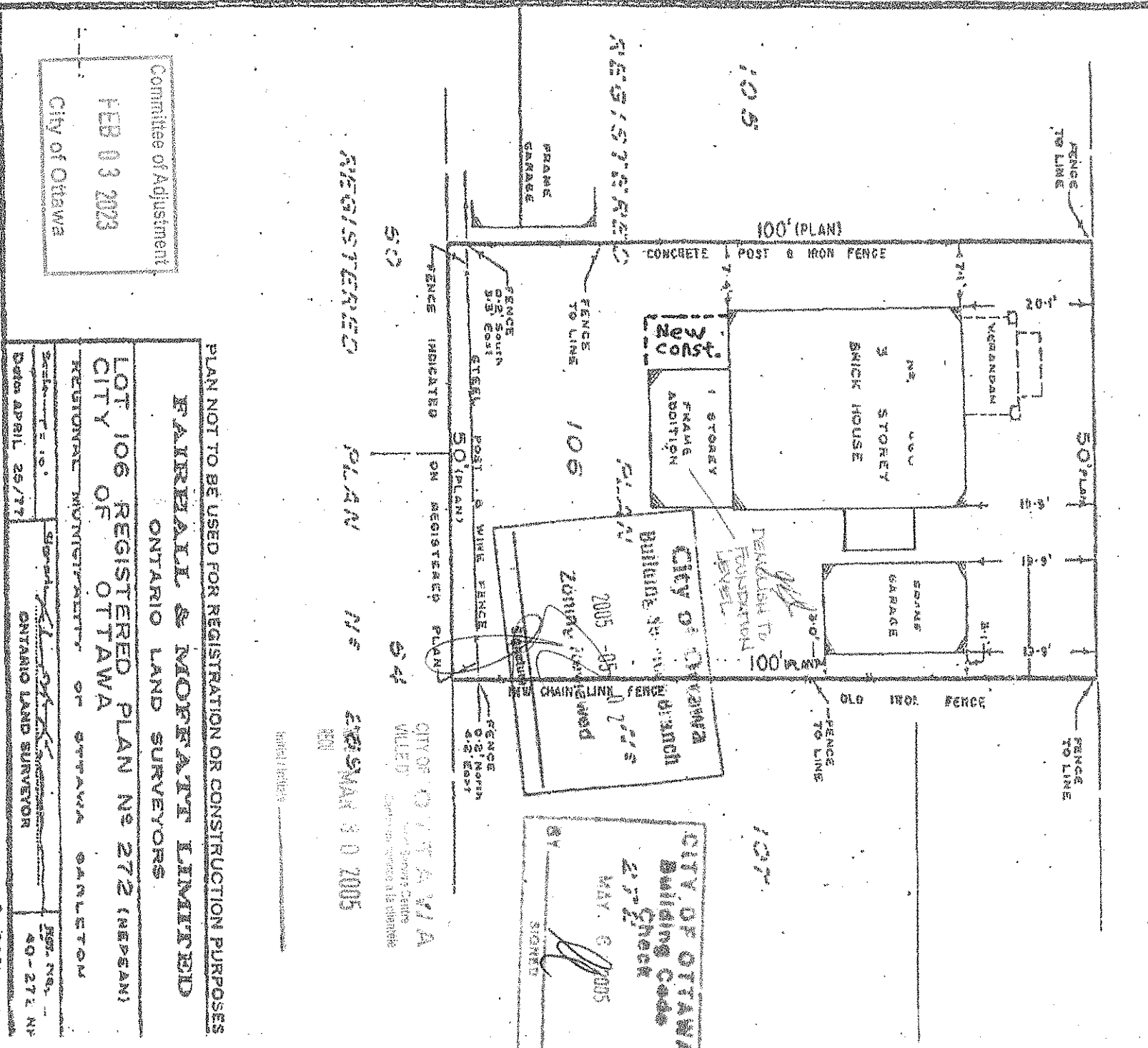
- |  |   |  |
|--|---|--|
| ① ALUMINUM SOFFIT  | ⑤ PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS. COLOUR T.B.D. | ⑪ RECESSED LIGHT IN ROOF   |
| ② ALUMINUM FASCIA  | ⑥ 12" PARING BELOW GRADE  | ⑫ PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ. FT. OF VENTILATION FOR EVERY 300 SQ. FT. OF ROOF AREA. |
| ③ PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL NEW WINDOW ROUGH OPENING. PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION. | ⑦ HEW BRICK FINISH (COLOUR T.B.D.)  | MIN. 25% @TOP, 25% BOTTOM UNIFORMLY DISTRIBUTED  |
| ④ ENSURE A MIN. 5" UPSTAND AT EXT. DOOR SILL LOCATIONS   | ⑧ DORMER WALL WITH WOOD SIDING  | ⑬ CONCRETE STEP  |
|  | ⑨ WOOD SINGLES  | ⑭ REMOVE EXISTING GARAGE   |
|  | ⑩ ASPHALT SHINGLES  | ⑮ REMOVE EXISTING SIDE ENTRY   |

EXHIBIT "A"

ATHLONE

AVENUE

(FORMERLY MASSEE AVENUE)



Committee of Adjustment

FEB 03 2023

CITY OF OTTAWA

PLAN NOT TO BE USED FOR REGISTRATION OR CONSTRUCTION PURPOSES

FAIRBANK & MORFITT LIMITED  
ONTARIO LAND SURVEYORS

LOT 106 REGISTERED PLAN N<sup>o</sup> 272 (NEPSAN)  
CITY OF OTTAWA

REGIONAL MUNICIPALITY OF OTTAWA GANLETTON

Scale: 1" = 100'	Drawn: [Signature]	Checked: [Signature]
Date: APRIL 25/77	ONTARIO LAND SURVEYOR	40-272 NP



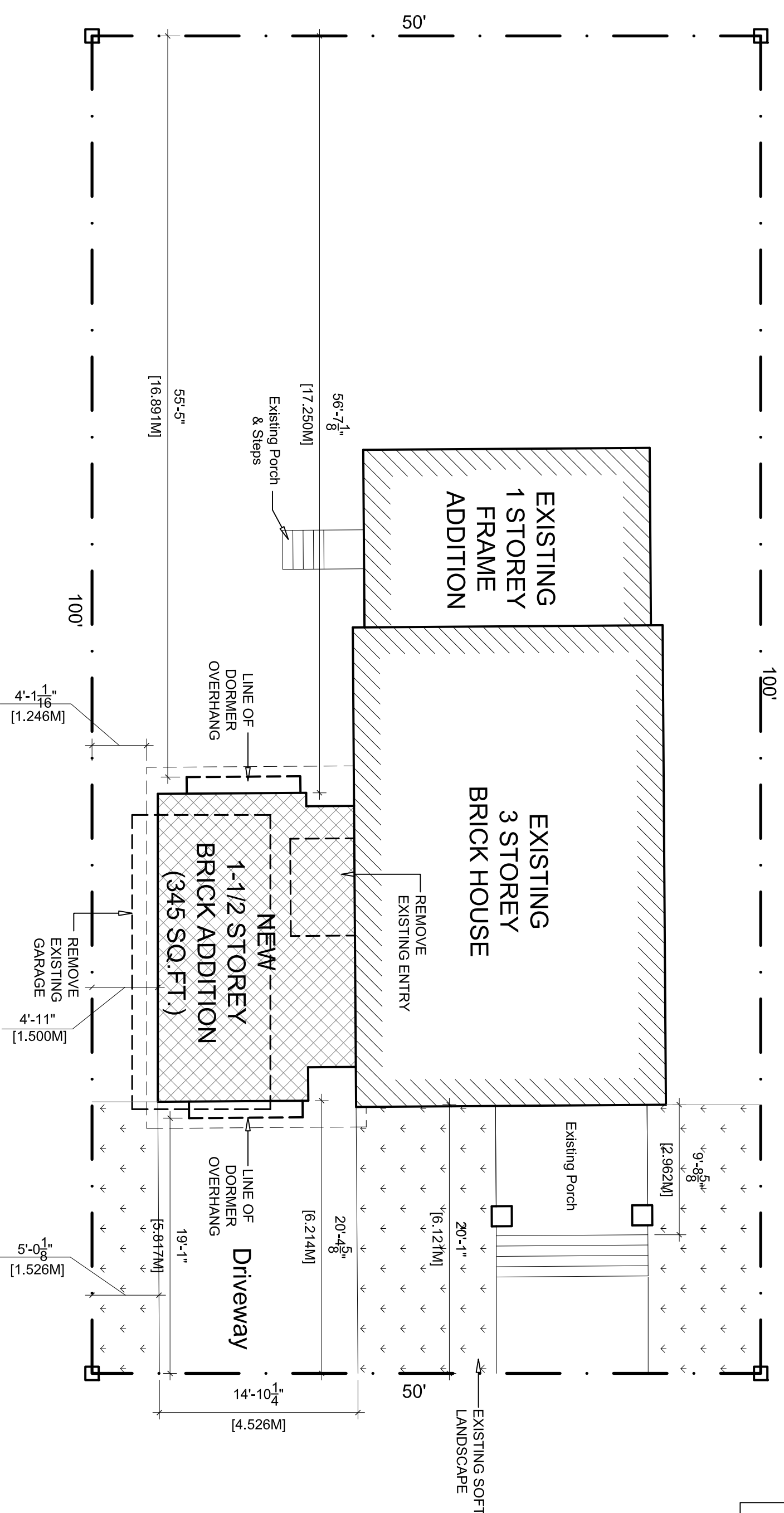
# THOMPSON RESIDENCE

460 ATHLONE AVENUE, ONTARIO, ONTARIO

**SURVEY INFORMATION**  
PLAN OF LOT 106, REGISTERED PLAN 272,  
CITY OF OTTAWA  
PREPARED BY: FAIRHALL & MOFFATT LIMITED  
ONTARIO LAND SURVEYORS,  
ON APRIL 28, 1977

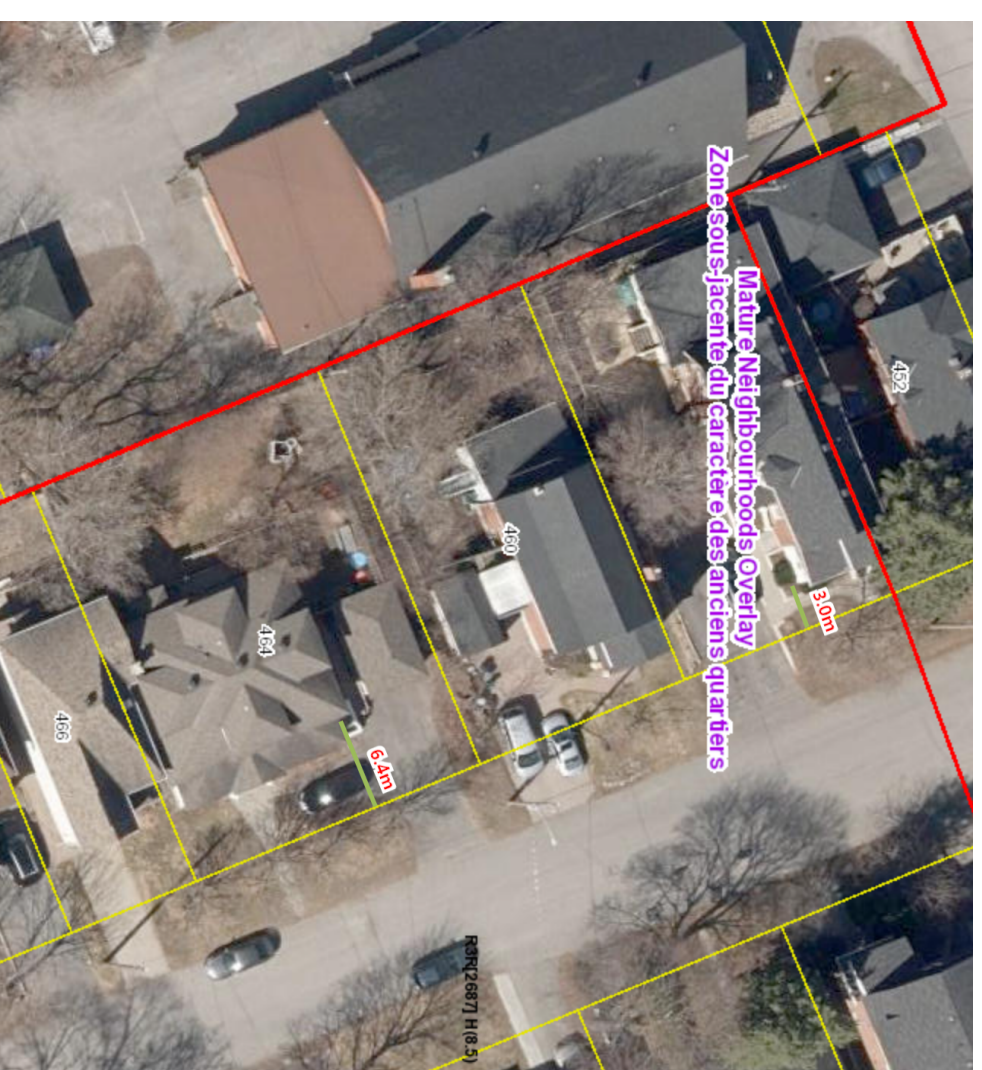
**CONSULTANT**  
name  
address  
address  
phone  
email

**CSV ARCHITECTS**  
sustainable design · conception écologique  
413.544.8118 190 O'Connor Street, Suite 100  
www.csv.ca Ottawa, Ontario, K2P 2R3



ATHLONE AVENUE

Average Front Yard Setback  
 $6.4\text{ m} + 3\text{ m} / 2 = 4.7\text{ m}$



#### SITE PLAN NOTES:

- EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY
  - NEW ROOF DOWNSPOUTS SHALL NOT BE DIRECTED TOWARD ADJACENT PROPERTY
  - MATCH EXISTING ELEVATIONS WITH ADJUTING PRIVATE PROPERTY
  - SITE SLOPE & GRADING TO REMAIN AS EXISTING UNLESS OTHERWISE SPECIFIED. (IF REOP CONTRACTOR TO ENSURE THAT HOUSE GRADE TO FRONT OR REAR OF LOT SHALL BE 2% MIN. AND 7% MAX. GRADING OVER 7% SHALL BE TERRACED.)
  - GRADING AROUND THE FOUNDATION SHOULD BE 0.15M MIN. BELOW TOP OF FOUNDATION GRADE.
  - TREES TO BE PROTECTED BEFORE AND AFTER CONSTRUCTION
  - EAVESTROUGHING TO BE INSTALLED AND DIRECTED TO THE FRONT OF THE PROPERTY
  - NO EXCESS DRAINAGE SHALL BE DIRECTED ONTO NEIGHBOURING PROPERTY
  - NO ALTERATION TO EXISTING GRADES ARE PERMITTED ON OR BEYOND THE PROPERTY LINE
- RAINWATER DISCHARGE FROM EAVESTROUGH AND ROOF OVERFLOW (SCUPPERS) SHALL BE 1.5M FROM ALL PROPERTY LINES AND NOT DIRECTED TOWARDS ADJACENT PROPERTIES. ALL ROOF RUNOFF TO BE DIRECTED TOWARDS THE SHEET.

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03 2022/03/03 Issued for Building Permit  
02 2022/02/07 Issued for Structural Review  
01 2021/10/26 Issued for Structural Review

REV DATE ISSUE

STAMP

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#### CLIENT

**THOMPSON**  
OTTAWA  
ONTARIO, CANADA

#### PROJECT

**THOMPSON ADDITION**

460 ATHLONE AVE.  
OTTAWA, ONTARIO

#### TITLE

SITE PLAN

PROJECT NO.: 21-0690

DRAWN:

APPROVED:

SCALE: 1/8"=1'-0"

DATE ISSUED: 2022.08.17

REV DRAWING NO.

1 SITE PLAN

A100 SCALE: 1/8"=1'-0"

A100

## CONSULTANT

name  
address  
address  
phone  
email

## STAMP

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## THOMPSON

OTTAWA  
ONTARIO, CANADA

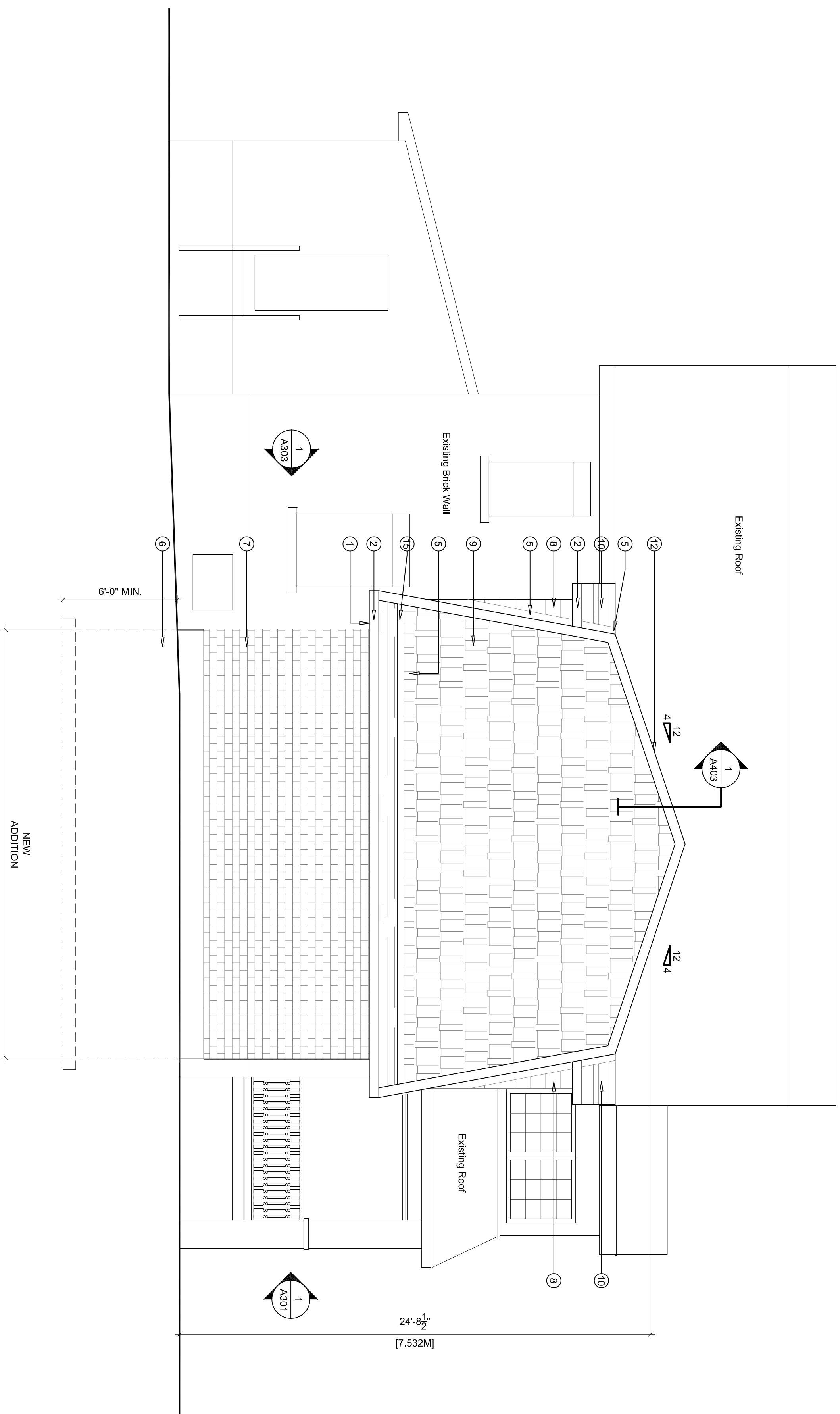
## PROJECT

## THOMPSON ADDITION

460 ATHLONE AVE.  
OTTAWA, ONTARIO

## TITLE

## SIDE ELEVATION



## 1 SIDE ELEVATION

A302 SCALE: 1/4"=1'-0"

## ELEVATION NOTES:

- 1 ALUMINUM SOFFIT
- 2 ALUMINUM FASCIA
- 3 PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL NEW WINDOW ROUGH OPENING. PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION.
- 4 ENSURE A MIN. 5" UPSTAND AT EXT. DOOR SILL LOCATIONS
- 5 PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS. COLOUR T.B.D.
- 6 12" PARGING BELOW GRADE
- 7 NEW BRICK FINISH (COLOUR T.B.D.)
- 8 DORMER WALL WITH WOOD SIDING
- 9 WOOD SINGLES
- 10 ASPHALT SHINGLES
- 11 RECESSED LIGHT IN ROOF
- 12 PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ.FT. OF VENTILATION FOR EVERY 300 SQ.FT. OF ROOF AREA. MIN. 25% @TOP, 25% BOTTOM UNIFORMLY DISTRIBUTED
- 13 CONCRETE STEP
- 14 REMOVE EXISTING GARAGE
- 15 REMOVE EXISTING SIDE ENTRY

PROJECT NO: 21-0690  
DRAWN:  
APPROVED:  
SCALE: 1/4"=1'-0"  
DATE ISSUED: 2022.08.17

DRAWING NO.

A302

## CONSULTANT

name  
address  
address  
phone  
email

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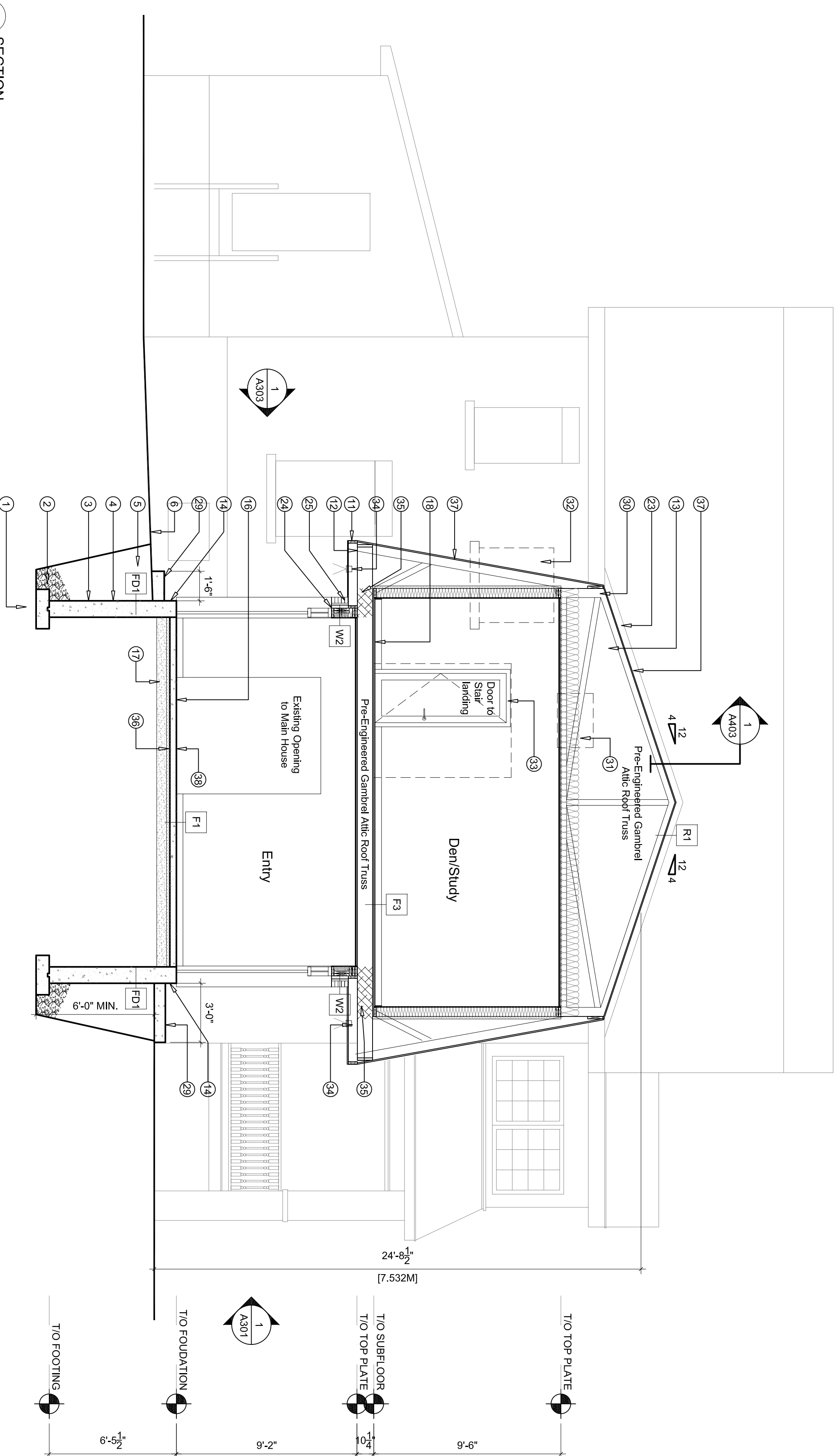
REV DATE ISSUE

T/O TOP PLATE

T/O SUBFLOOR  
T/O TOP PLATE

T/O FOUNDATION

T/O FOOTING



1 SECTION  
A401 / SCALE: 1/4"=1'-0"

## SECTION NOTES:

- 1 UNDISTURBED SOIL OR BEDROCK
- 2 6" CRUSHED STONE (TYP.)
- 3 WATERPROOFING SYSTEM TO EXTEND TO BOTTOM OF FOOTING
- 4 12" PARGING BELOW GRADE
- 5 GRANULAR FILL
- 6 GRADE TO SLOPE AWAY FROM FOUNDATION WALL 1/4" IN 12"
- 7 ENSURE MIN 8" BETWEEN TOP OF FOUNDATION AND GRADE
- 8 1/2" DIA. ANCHOR BOLT @5'-0" O.C.
- 9 CLOSED CELL FOAM SILL GASKET BETWEEN TOP OF FOUNDATION AND SILL PLATE
- 10 PROVIDE CONTINUOUS VAPOUR BARRIER AROUND HEADER
- 11 ALUMINUM FASCGA (COLOUR T.B.D.)
- 12 ALUMINUM SOFFIT (COLOUR T.B.D.)
- 13 PRE-ENGINEERED GAMBREL ATTIC ROOF TRUSSES W/ INSULATION (R-60)
- 14 PROVIDE 5" MIN. UPSTAND @DOOR SILL LOCATION
- 15 SEALED CONCRETE FINISH FLOOR
- 16 TILE FLOOR (TILE SPEC. & LAYOUT T.B.D.)
- 17 6" GRANULAR FILL COMPACTED TO 95% S.P.D.
- 18 HARDWOOD FLOOR (SPEC T.B.D.)
- 19 WINDOW BENCH MILLWORK T.B.D.
- 20 THRESHOLD T.B.D.
- 21 SPRAY FORM INSULATION (R-31)
- 22 PROVIDE WEATHER STRIPPING IN ALL OPENING BETWEEN GARAGE AND DWELLING UNIT. DOOR SHALL BE FITTED AND WITH A SELF CLOSING DEVICE TO PROVIDE A BARRIER AGAINST EXHAUST GASES.
- 23 PREFINISHED METAL FLASHING AT ALL ROOF TO WALL / TO ROOF CONNECTIONS. COLOUR TO BE SELECTED.
- 24 PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL WINDOW ROUGH OPENING. PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION. (TYP.)
- 25 NEW BRICK FINISH (COLOUR T.B.D.)
- 26 WOOD SIDING (COLOUR AND STYLE T.B.D.)
- 27 WOOD SHINGLES (COLOUR T.B.D.)
- 28 NOTCHED FOUNDATION WALL
- 29 CONCRETE STEP
- 30 PROVIDE A MINIMUM 2-1/2" AIRSPACE BETWEEN THE UNDERSIDE OF THE ROOF SHEATHING AND THE TOP OF THE INSULATION ALONG THE FULL LENGTH OF THE TRUSSES.
- 31 CLOSE EXISTING STAIR WINDOW
- 32 CLOSE EXISTING WINDOW, INFILL OPENING WITH EXISTING BRICK. CW R-24 INSULATION.
- 33 REMOVE EXISTING SLIDING DOOR AND INFILL OPENING W/ A NEW DOOR
- 34 RECESSED POT-LIGHT
- 35 INSULATE OVERHANG FLOOR WITH SPRAY FOAM INSULATION (MIN. R-31)
- 36 2" RIGID INSULATION UNDER CONCRETE SLAB
- 37 ASPHALT SHINGLES
- 38 NEW FLOOR HEIGHT TO MATCH EXISTING
- 39 WINDOW SILL TO MATCH EXISTING
- 40 ALINE FLOOR LEVEL FROM EXISTING LANDING TO NEW STUDY

NOTES  
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## CLIENT

**THOMPSON**  
OTTAWA  
ONTARIO, CANADA

## PROJECT

**THOMPSON ADDITION**

460 ATHLONE AVE.  
OTTAWA, ONTARIO

## TITLE

## SECTION

PROJECT NO.: 21-0690  
DRAWN:  
APPROVED:  
SCALE: 1/4"=1'-0"  
DATE ISSUED: 2022.08.17

REV DRAWING NO.  
**A401**



**CONSULTANT**  
 name  
 address  
 address  
 phone  
 email

STAMP

04 2022/08/17 Reissued for Building Permit  
 03 2022/03/03 Issued for Building Permit  
 02 2022/02/07 Issued for Structural Review  
 01 2021/10/26 Issued for Structural Review

REV DATE ISSUE

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**CLIENT**

**THOMPSON**  
 OTTAWA  
 ONTARIO, CANADA

**PROJECT**

**THOMPSON ADDITION**

460 ATHLONE AVE.  
 OTTAWA, ONTARIO

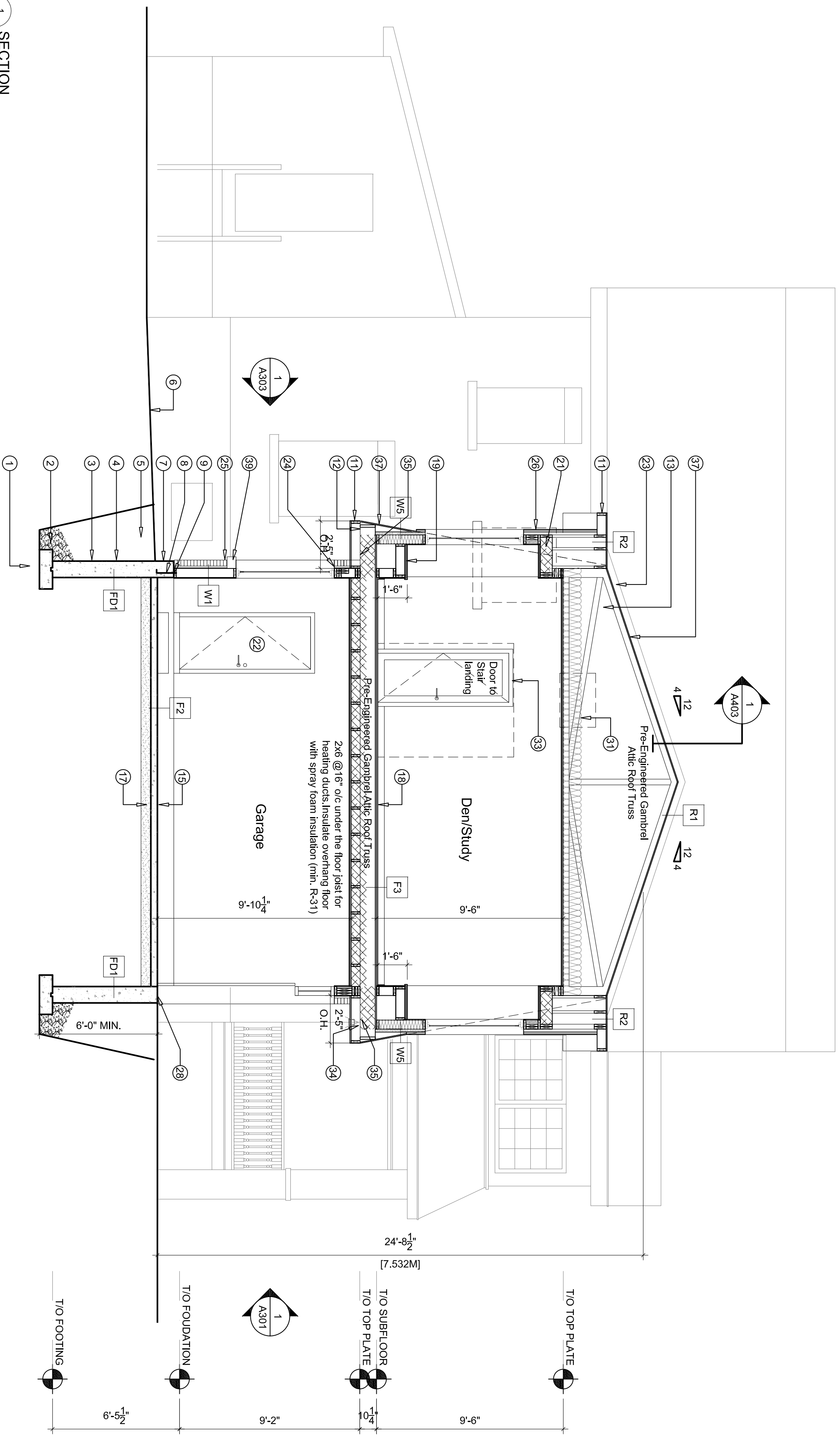
**TITLE**

**SECTION**

PROJECT NO.: 21-0690  
 DRAWN:  
 APPROVED:  
 SCALE: 1/4"=1'-0"  
 DATE ISSUED: 2022.08.17

REV DRAWING NO.

**A402**



**1 SECTION**  
 SCALE: 1/4"=1'-0"

**SECTION NOTES:**

- 1 UNDISTURBED SOIL OR BEDROCK
- 2 6" CRUSHED STONE (TYP.)
- 3 WATERPROOFING SYSTEM TO EXTEND TO BOTTOM OF FOOTING
- 4 12" PARGING BELOW GRADE
- 5 GRANULAR FILL
- 6 GRADE TO SLOPE AWAY FROM FOUNDATION WALL 1/4" IN 12"
- 7 ENSURE MIN 8" BETWEEN TOP OF FOUNDATION AND GRADE
- 8 1/2" DIA. ANCHOR BOLT @5'-0" O.C.
- 9 CLOSED CELL FOAM SILL GASKET BETWEEN TOP OF FOUNDATION AND SILL PLATE
- 10 PROVIDE CONTINUOUS VAPOUR BARRIER AROUND HEADER
- 11 ALUMINUM FASCIA (COLOUR T.B.D.)
- 12 ALUMINUM SOFFIT (COLOUR T.B.D.)
- 13 PRE-ENGINEERED GAMBREL ATTIC ROOF TRUSSES W/ INSULATION (R-60)
- 14 PROVIDE 5" MIN. UPSTAND @DOOR SILL LOCATION
- 15 SEALED CONCRETE FINISH FLOOR
- 16 TILE FLOOR (TILE SPEC. & LAYOUT T.B.D.)
- 17 6" GRANULAR FILL COMPACTED TO 95% S.P.D.
- 18 HARDWOOD FLOOR (SPEC T.B.D.)
- 19 WINDOW BENCH MILLWORK T.B.D.
- 20 THRESHOLD T.B.D.
- 21 SPRAY FORM INSULATION (R-31)
- 22 PROVIDE WEATHER-STRIPPING IN ALL OPENING BETWEEN GARAGE AND DWELLING UNIT. DOOR SHALL BE FITTED AND WITH A SELF CLOSING DEVICE TO PROVIDE A BARRIER AGAINST EXHAUST GASES.
- 23 PREFINISHED METAL FLASHING AT ALL ROOF TO WALL / TO ROOF CONNECTIONS. COLOUR TO BE SELECTED.
- 24 PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL WINDOW ROUGH OPENING. PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION. (TYP.)
- 25 NEW BRICK FINISH (COLOUR T.B.D.)
- 26 WOOD SIDING (COLOUR AND STYLE T.B.D.)
- 27 WOOD SHINGLES (COLOUR T.B.D.)
- 28 NOTCHED FOUNDATION WALL
- 29 CONCRETE STEP
- 30 PROVIDE A MINIMUM 2-1/2" AIRSPACE BETWEEN THE UNDERSIDE OF THE ROOF SHEATHING AND LENGTH OF THE TRUSSES.
- 31 CLOSE EXISTING STAIR WINDOW
- 32 CLOSE EXISTING WINDOW. INFILL OPENING WITH EXISTING BRICK. C/W R-24 INSULATION.
- 33 REMOVE EXISTING SLIDING DOOR AND INFILL OPENING W/ A NEW DOOR
- 34 RECESSED POT-LIGHT
- 35 INSULATE OVERHANG FLOOR WITH SPRAY FOAM INSULATION (MIN. R-31)
- 36 2" RIGID INSULATION UNDER CONCRETE SLAB
- 37 ASPHALT SHINGLES
- 38 NEW FLOOR HEIGHT TO MATCH EXISTING
- 39 WINDOW SILL TO MATCH EXISTING
- 40 ALINE FLOOR LEVEL FROM EXISTING LANDING TO NEW STUDY

# THOMPSON RESIDENCE

460 ATHLONE AVENUE, ONTARIO, ONTARIO

**CSV ARCHITECTS**  
 sustainable design · conception · development  
 17, 241 4th Avenue, Suite 102  
 Ottawa, Ontario K1P 2G2

**SURVEY INFORMATION**  
 PLAN OF LOT 106, REGISTERED PLAN 272,  
 CITY OF OTTAWA  
 PREPARED BY: FAIRHALL & MOFFATT LIMITED  
 ONTARIO LAND SURVEYORS,  
 ON APRIL 28, 1977

**CONSULTANT**  
 name  
 address  
 address  
 phone  
 email

**STAMP**

REV DATE	ISSUE
04 2022/06/17	Reissued for Building Permit
03 2022/03/03	Issued for Building Permit
02 2022/02/07	Issued for Structural Review
01 2021/10/26	Issued for Structural Review

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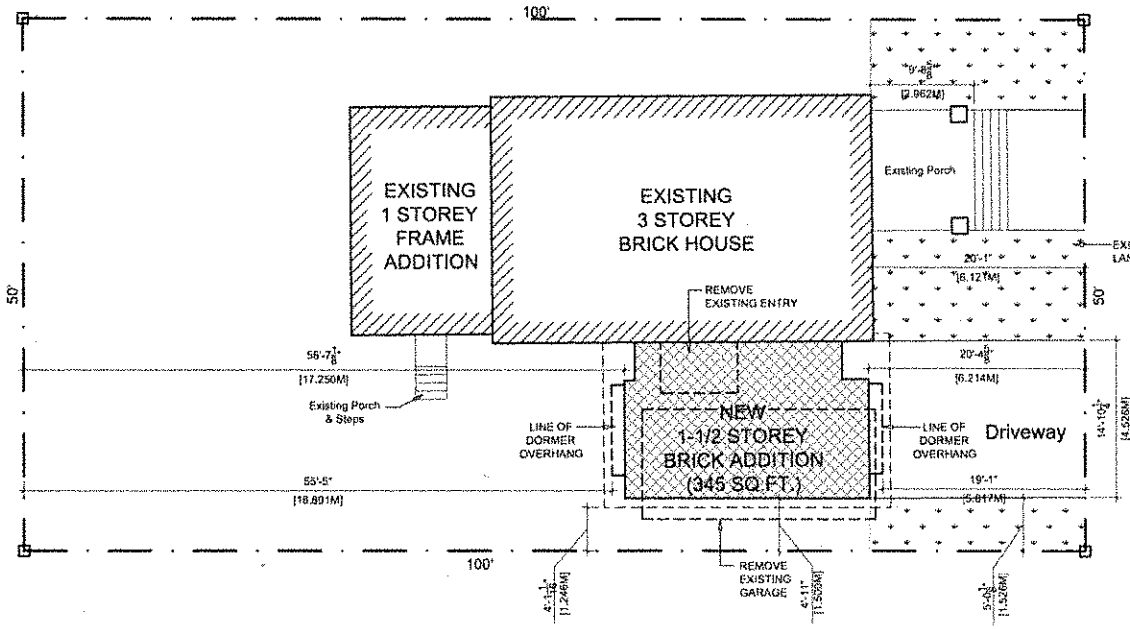
**CLIENT**  
**THOMPSON**  
 OTTAWA  
 ONTARIO, CANADA

**PROJECT**  
**THOMPSON ADDITION**

460 ATHLONE AVE.  
 OTTAWA, ONTARIO  
**TITLE**  
**SITE PLAN**

PROJECT NO: 21-0690  
 DRAWN:  
 APPROVED:  
 SCALE: 1/8"=1'-0"  
 DATE ISSUED: 2022.08.17

REV \_\_\_\_\_ DRAWING NO. \_\_\_\_\_



Average Front Yard Setback  
 8.9 m - 5 m (29.2 ft)



- SITE PLAN NOTES:**
1. EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY
  2. NEW ROOF DOWNSPOUTS SHALL NOT BE DIRECTED TOWARD ADJACENT PROPERTY
  3. MATCH EXISTING ELEVATIONS WITH ABUTTING PRIVATE PROPERTY
  4. SITE SLOPE & GRADING TO REMAIN AS EXISTING UNLESS OTHERWISE SPECIFIED. (IF FIELD CONTRACTOR TO ENSURE THAT HOUSE GRADE TO GROUND OR REAR OF LOT SHALL BE 2% MIN. AND 7% MAX. GRADING OVER 7% SHALL BE TERRACED.)
  5. GRADING AROUND THE FOUNDATION SHOULD BE 0.15M MIN. BELOW TOP OF FOUNDATION GRADE.
  6. TREES TO BE PROTECTED BEFORE AND AFTER CONSTRUCTION
  7. EAVESTROUGHING TO BE INSTALLED AND DIRECTED TO THE FRONT OF THE PROPERTY
  8. NO EXCESS DRAINAGE SHALL BE DIRECTED ONTO NEIGHBOURING PROPERTY
  9. NO ALTERATION TO EXISTING GRADES ARE PERMITTED ON OR BEYOND THE PROPERTY LINE
- RAINWATER DISCHARGE FROM EAVESTROUGH AND ROOF OVERFLOW (SCUPPERS) SHALL BE 1.5M FROM ALL PROPERTY LINES AND NOT DIRECTED TOWARDS ADJACENT PROPERTIES. ALL ROOF RUNOFF TO BE DIRECTED TOWARDS THE SHEET.

Committee of Adjustment  
 FEB 03 2023  
 City of Ottawa

**SITE PLAN**  
 SCALE: 1/8"=1'-0"

**A100**

**CONSULTANT**  
 name  
 address  
 phone  
 email

STAMP

03 2022/03/03 Issued for Building Permit  
 02 2022/02/07 Issued for Structural Review  
 01 2021/10/28 Issued for Structural Review

REV DATE ISSUE

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**CLIENT**

**THOMPSON**

OTTAWA  
 ONTARIO, CANADA

**PROJECT**

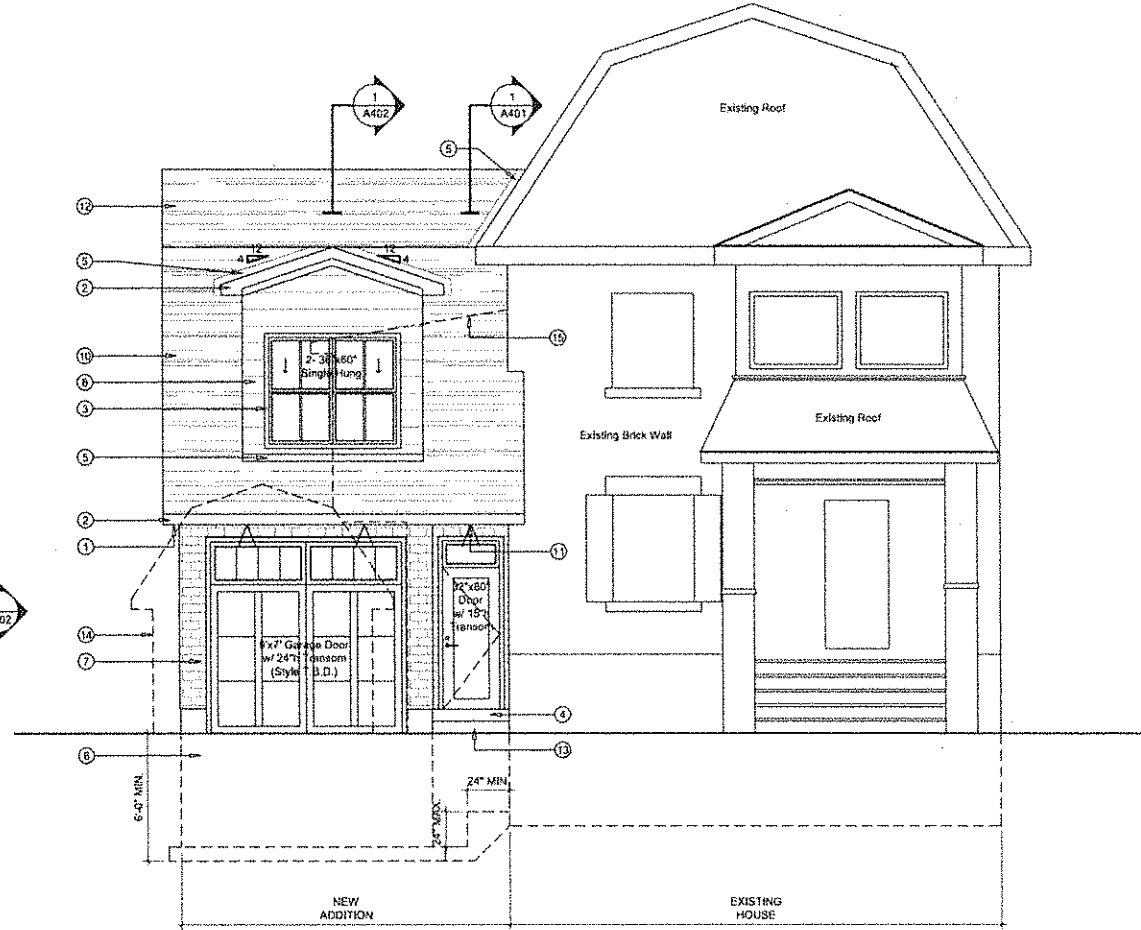
**THOMPSON ADDITION**

460 ATHLONE AVE.  
 OTTAWA, ONTARIO

TITLE  
**FRONT ELEVATION**

PROJECT NO: 21-0690  
 DRAWN:  
 APPROVED:  
 SCALE: 1/4"=1'-0"  
 DATE ISSUED: 2021.10.26

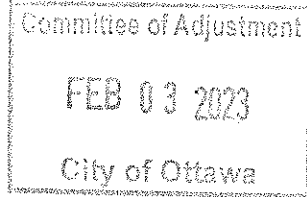
REV DRAWING NO.



**1 FRONT ELEVATION**  
 (A301) SCALE: 1/4"=1'-0"

**ELEVATION NOTES:**

- |  |  |   |
|--|--|---|
| <ul style="list-style-type: none"> <li>① ALUMINUM SOFFIT</li> <li>② ALUMINUM FASCIA</li> <li>③ PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL NEW WINDOW ROUGH OPENING. PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION.</li> <li>④ ENSURE A MIN. 5" UPSTAND AT EXT. DOOR SILL LOCATIONS</li> </ul> | <ul style="list-style-type: none"> <li>⑤ PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS. COLOUR T.B.D.</li> <li>⑥ 12" PARPING BELOW GRADE</li> <li>⑦ NEW BRICK FINISH (COLOUR T.B.D.)</li> <li>⑧ DORMER WALL WITH WOOD SIDING</li> <li>⑨ WOOD SINGLES</li> <li>⑩ ASPHALT SHINGLES</li> </ul> | <ul style="list-style-type: none"> <li>⑪ RECESSED LIGHT IN ROOF</li> <li>⑫ PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ.FT. OF VENTILATION FOR EVERY 300 SQ.FT. OF ROOF AREA. MIN. 25% @TOP, 25% BOTTOM UNIFORMLY DISTRIBUTED</li> <li>⑬ CONCRETE STEP</li> <li>⑭ REMOVE EXISTING GARAGE</li> <li>⑮ REMOVE EXISTING SIDE ENTRY</li> </ul> |
|--|--|---|



CONSULTANT  
 name  
 address  
 address  
 phone  
 email

STAMP

03	2022/03/03	Issued for Building Permit
02	2022/02/07	Issued for Structural Review
01	2021/10/26	Issued for Structural Review
REV DATE	ISSUE	

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CLIENT

**THOMPSON**  
 OTTAWA  
 ONTARIO, CANADA

PROJECT

**THOMPSON ADDITION**

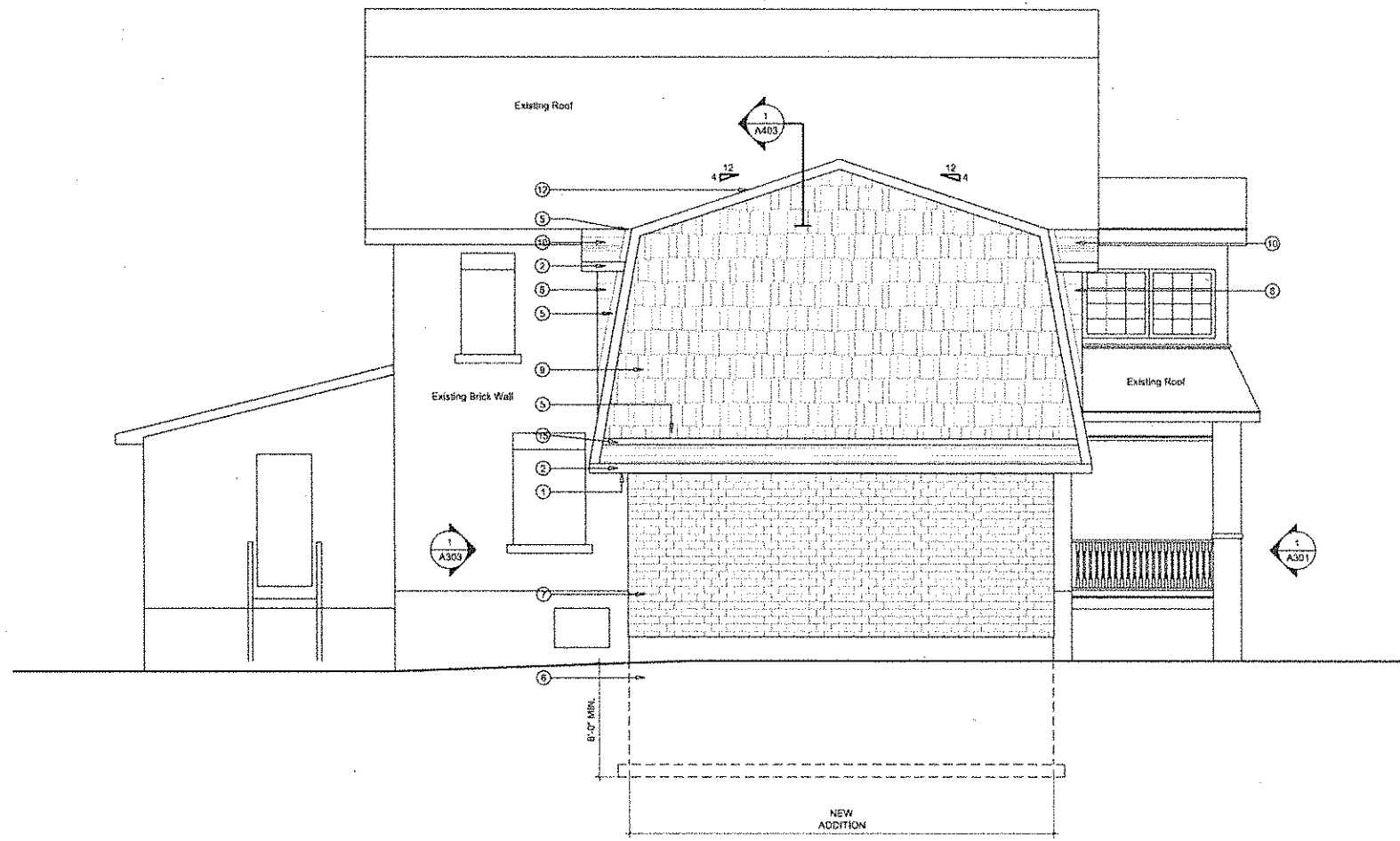
460 ATHLONE AVE.  
 OTTAWA, ONTARIO

TITLE  
 SIDE ELEVATION

PROJECT NO: 21-0630  
 DRAWN:  
 APPROVED:  
 SCALE: 1/4"=1'-0"  
 DATE ISSUED: 2021.10.26

REV \_\_\_\_\_ DRAWING NO. \_\_\_\_\_

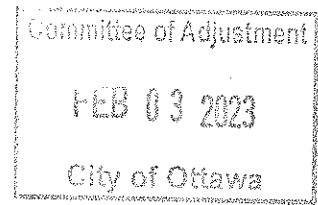
**A302**



**1 SIDE ELEVATION**  
 A302 SCALE: 1/4"=1'-0"

ELEVATION NOTES:

- |  |   |  |
|--|---|--|
| 1 ALUMINUM SOFFIT  | 5 PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS. COLOUR T.B.D. | 11 RECESSED LIGHT IN ROOF  |
| 2 ALUMINUM FASCIA  | 6 12" PARGING BELOW GRADE   | 12 PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ.FT. OF VENTILATION FOR EVERY 300 SQ.FT. OF ROOF AREA. MIN. 25% @ TOP. 25% BOTTOM UNIFORMLY DISTRIBUTED |
| 3 PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL NEW WINDOW ROUGH OPENING. PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION. | 7 NEW BRICK FINISH (COLOUR T.B.D.)  | 13 CONCRETE STEP   |
| 4 ENSURE A MIN. 5" UPSTAND AT EXT. DOOR SILL LOCATIONS   | 8 DORMER WALL WITH WOOD SIDING  | 14 REMOVE EXISTING GARAGE  |
|  | 9 WOOD SHINGLES   | 15 REMOVE EXISTING SIDE ENTRY  |
|  | 10 ASPHALT SHINGLES   |  |



**CONSULTANT**  
 name  
 address  
 phone  
 email

**STAMP**

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**CLIENT**

**THOMPSON**

OTTAWA  
 ONTARIO, CANADA

**PROJECT**

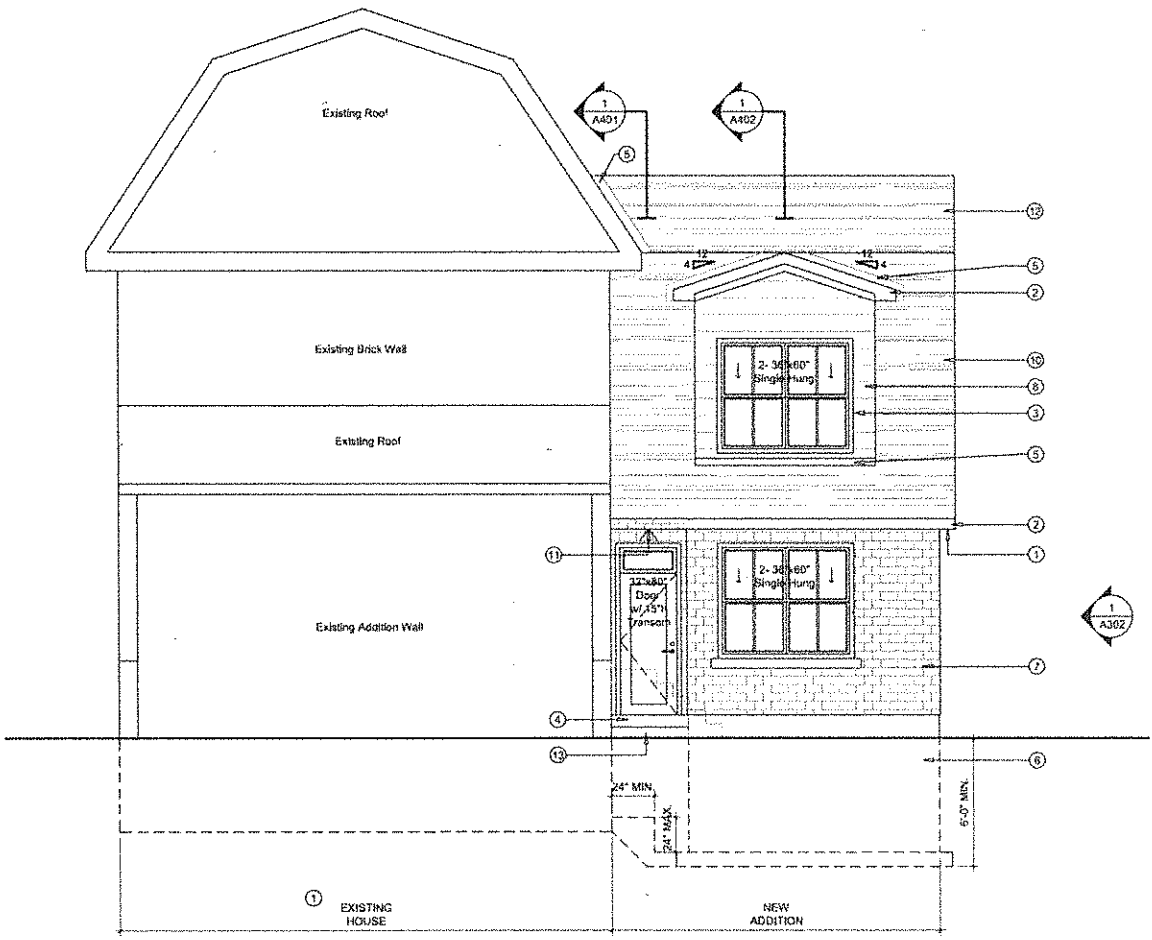
**THOMPSON ADDITION**

460 ATHLONE AVE.  
 OTTAWA, ONTARIO

**TITLE**  
 REAR ELEVATION

PROJECT NO: 21-0690  
 DRAWN:  
 APPROVED:  
 SCALE: 1/4"=1'-0"  
 DATE ISSUED: 2021.10.26

REV DRAWING NO.



**1 REAR ELEVATION**  
 A303 SCALE: 1/4"=1'-0"

**ELEVATION NOTES:**

- |  |   |  |
|--|---|--|
| ① ALUMINUM SOFFIT  | ⑤ PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS. COLOUR T.B.D. | ⑪ RECESSED LIGHT IN ROOF   |
| ② ALUMINUM FASCIA  | ⑥ 12" PARING BELOW GRADE  | ⑫ PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ. FT. OF VENTILATION FOR EVERY 300 SQ. FT. OF ROOF AREA. |
| ③ PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL NEW WINDOW ROUGH OPENING. PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION. | ⑦ HEW BRICK FINISH (COLOUR T.B.D.)  | MIN. 25% @TOP, 25% BOTTOM UNIFORMLY DISTRIBUTED  |
| ④ ENSURE A MIN. 5" UPSTAND AT EXT. DOOR SILL LOCATIONS   | ⑧ DORMER WALL WITH WOOD SIDING  | ⑬ CONCRETE STEP  |
|  | ⑨ WOOD SINGLES  | ⑭ REMOVE EXISTING GARAGE   |
|  | ⑩ ASPHALT SHINGLES  | ⑮ REMOVE EXISTING SIDE ENTRY   |



## CONSULTANT

name  
address  
address  
phone  
email

---

## STAMP

03 2022/03/03 Issued for Building Permit  
02 2022/02/07 Issued for Structural Review  
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REV DATE ISSUE

## NOTES

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## CLIENT

### THOMPSON

OTTAWA  
ONTARIO, CANADA

## PROJECT

### THOMPSON ADDITION

460 ATHLONE AVE.  
OTTAWA, ONTARIO

## TITLE

### FRONT ELEVATION

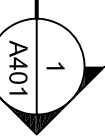
PROJECT NO: 21-0690  
DRAWN:  
APPROVED:  
SCALE: 1/4"=1'-0"  
DATE ISSUED: 2021.10.26

REV DRAWING NO.



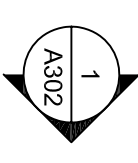
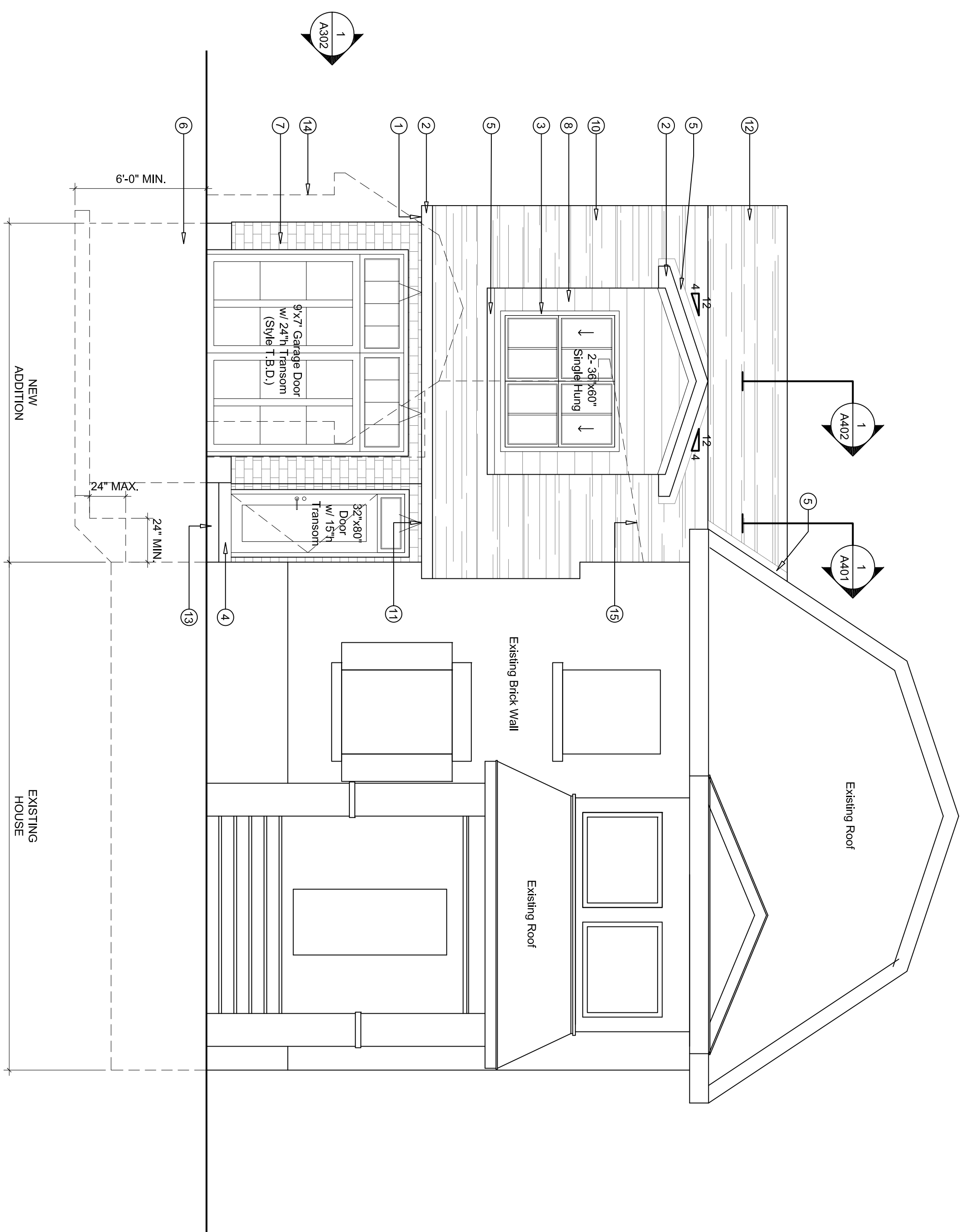
1

A402



1

A401



## 1 FRONT ELEVATION

A301 SCALE: 1/4"=1'-0"

## ELEVATION NOTES:

- 1 ALUMINUM SOFFIT
- 2 ALUMINUM FASCIA
- 3 PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL NEW WINDOW ROUGH OPENING. PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING. (MIN.) REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION.
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- 12 PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ.FT. OF VENTILATION FOR EVERY 300 SQ.FT. OF ROOF AREA. MIN. 25% @TOP, 25% BOTTOM UNIFORMLY DISTRIBUTED
- 13 CONCRETE STEP
- 14 REMOVE EXISTING GARAGE
- 15 REMOVE EXISTING SIDE ENTRY

## CONSULTANT

name  
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phone  
email

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ONTARIO, CANADA

## PROJECT

**THOMPSON ADDITION**

460 ATHLONE AVE.  
OTTAWA, ONTARIO

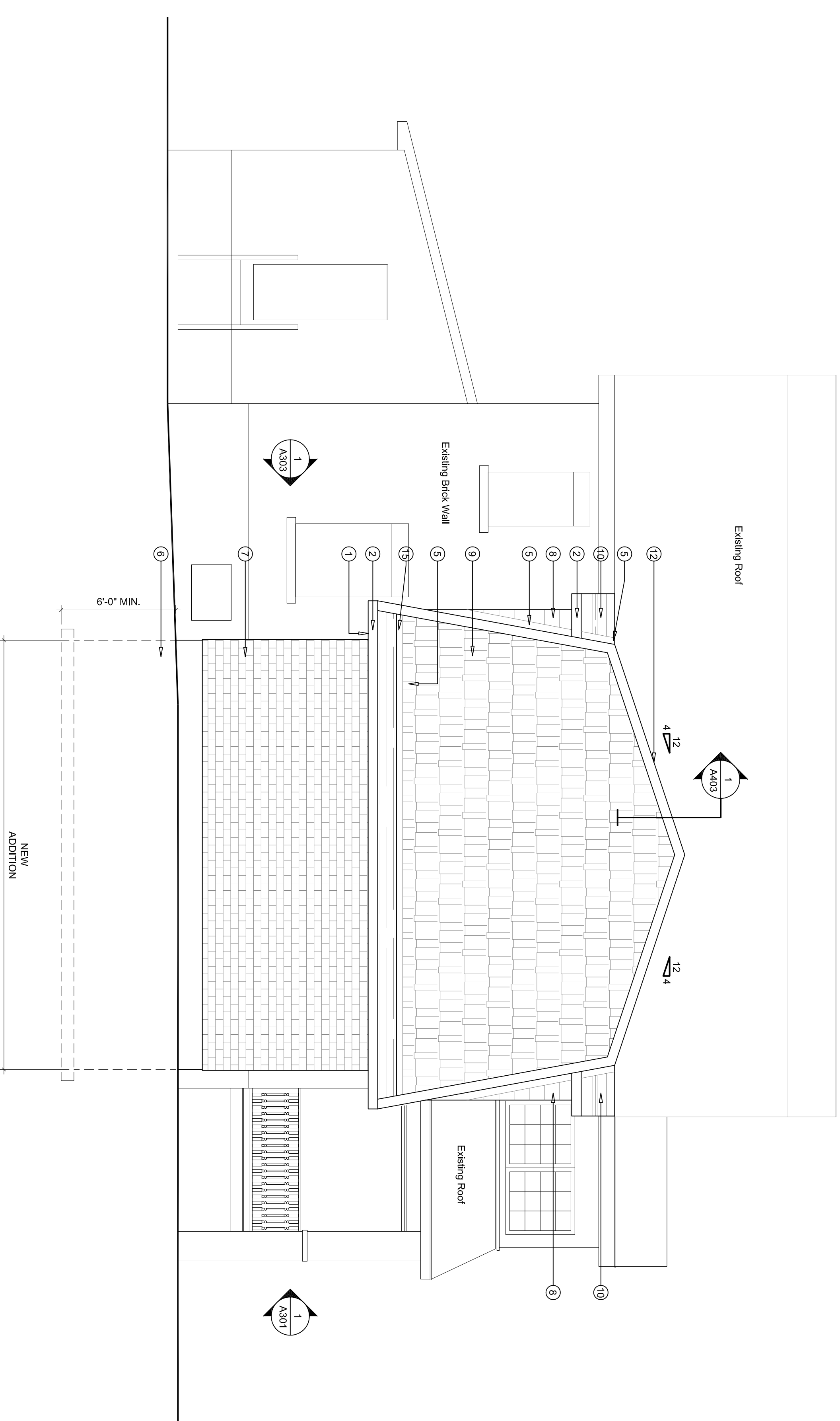
## TITLE

SIDE ELEVATION

1 SIDE ELEVATION  
A302 SCALE: 1/4"=1'-0"

## ELEVATION NOTES:

- 1 ALUMINUM SOFFIT
- 2 ALUMINUM FASCIA
- 3 PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL NEW WINDOW ROUGH OPENING. PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION.
- 4 ENSURE A MIN. 5" UPSTAND AT EXT. DOOR SILL LOCATIONS
- 5 PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS. COLOUR T.B.D.
- 6 12" PARING BELOW GRADE
- 7 NEW BRICK FINISH (COLOUR T.B.D.)
- 8 DORMER WALL WITH WOOD SIDING
- 9 WOOD SINGLES
- 10 ASPHALT SHINGLES
- 11 RECESSED LIGHT IN ROOF
- 12 PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ.FT. OF VENTILATION FOR EVERY 300 SQ.FT. OF ROOF AREA. MIN. 25% @TOP, 25% BOTTOM UNIFORMLY DISTRIBUTED
- 13 CONCRETE STEP
- 14 REMOVE EXISTING GARAGE
- 15 REMOVE EXISTING SIDE ENTRY



PROJECT NO.: 21-0690

DRAWN: APPROVED: SCALE: 1/4"=1'-0" DATE ISSUED: 2021.10.26

REV DRAWING NO. **A302**

## CONSULTANT

name  
 address  
 phone  
 email

STAMP

03 2022/03/03 Issued for Building Permit  
 02 2022/02/07 Issued for Structural Review  
 01 2021/10/26 Issued for Structural Review  
 REV DATE ISSUE

## NOTES

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS. AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
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3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

## CLIENT

### THOMPSON

OTTAWA  
 ONTARIO, CANADA

## PROJECT

### THOMPSON ADDITION

460 ATHLONE AVE.  
 OTTAWA, ONTARIO

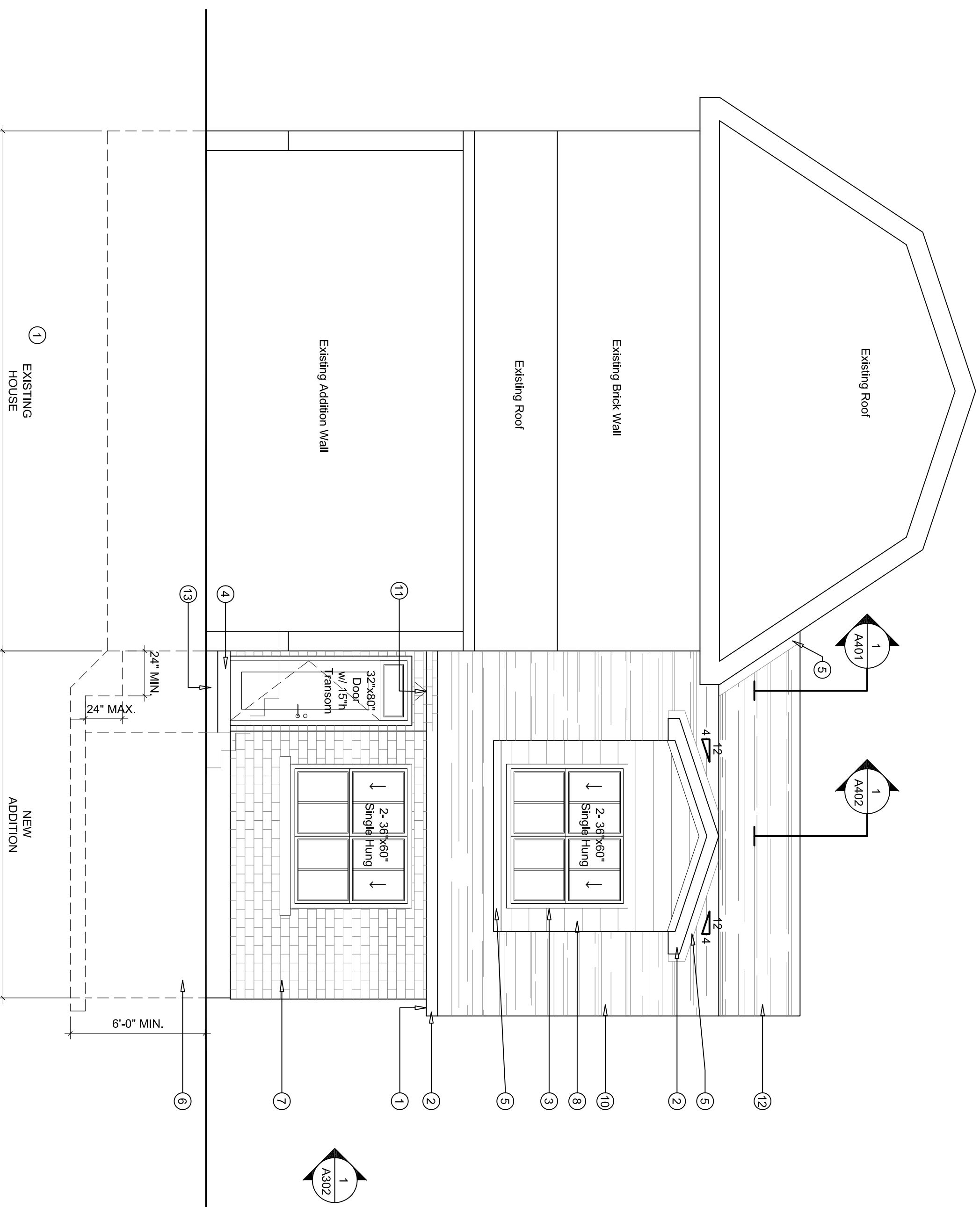
## TITLE

### REAR ELEVATION

PROJECT NO.: 21-0690  
 DRAWN:  
 APPROVED:  
 SCALE: 1/4"=1'-0"  
 DATE ISSUED: 2021.10.26

REV DRAWING NO.

A303



1 REAR ELEVATION  
 A303 SCALE: 1/4"=1'-0"

## ELEVATION NOTES:

- 1 ALUMINUM SOFFIT
- 2 ALUMINUM FASCIA
- 3 PROVIDE SELF-ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL NEW WINDOW ROUGH OPENING. PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION.
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- 15 REMOVE EXISTING SIDE ENTRY