Committee of Adjustment Received | Recu le

2023-02-03

City of Ottawa | Ville d'Ottawa Comité de dérogation

THOMPSON RESIDENCE

City of Otlawa

SITE PLAN

460 ATHLONE AVENUE, ONTARIO, ONTARIO

This document is presented in the language it was provided. Ce document est présenté dans la langue dans laquelle il a été fourni.

SURVEY INFORMATION

PLAN OF LOT 106, REGISTERED PLAN 272,

MIN. BELOW TOP OF FOUNDATION GRADE

TREES TO BE PROTECTED BEFORE AND AFTER

EAVESTROUGHING TO BE INSTALLED AND DIRECTED TO THE FRONT OF THE PROPERTY 8. NO EXCESS DRAINAGE SHALL BE DIRECTED ONTO

9. NO ALTERATION TO EXISTING GRADES ARE PERMITTED ON

RAINWATER DISCHARGE FROM EAVESTROUGH AND ROOF OVERFLOW (SCUPPERS) SHALL BE 1.5M FROM ALL PROPERTY LINES AND NOT DIRECTED TOWARDS ADJACENT PROPERTIES.

ALL ROOF RUNOFF TO BE DIRECTED TOWARDS THE SHEET.

PREPARED BY: FAIRHALL & MOFFATT LIMITED ONTARIO LAND SURVEYORS. ON APRIL 28, 1977

CSV ARCHITECTS

1951 B. Constantioned, Suite 185

CONSULTANT name address address phone bears

- 04 2022/08/17 Reissued for Building Permit
- 01 2021/10/26 Issued for Structural Review

460 ATHLONE AVE. OTTAWA, ONTARIO

SITE PLAN

PROJECT NO: 21-0690 DRAWN: APPROVED: SCALE: 1/8"=1"-0" DATE (\$SUED: 2027.08.17

DRAWING NO. A100

ATHLONE AVENUE Existing Porch EXISTING **EXISTING** 1 STOREY 3 STOREY STAMP FRAME **BRICK HOUSE** EXISTING SOFT **ADDITION** 205-1" LANDSCAPE *16.12 TAS REMOVE EXISTING ENTRY 03 2022/03/03 Issued for Building Permit 55'-78 02 2022/02/07 Issued for Structural Review [17.250M] [6.214M] REV DATE 1681# Existing Parch DORMER Driveway LINE OF 1-1/2 STOREY DORMER OVERHANG BRICK ADDITION NOTES

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3. THE DRAWMOS OF THE SPECIFICATION

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WITH ALL OTHER PROJECT DRAWMOS AND

4. ON NOT SCALL DRAWMOS CONTRACTOR SHALL

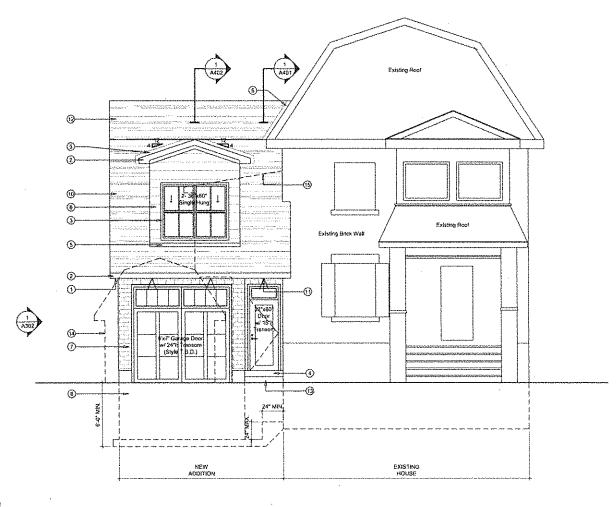
5. RESPONDENT OF VEHICLE OF THE CONTRACTOR

WITH ALL OTHER PROJECT DRAWMOS AND

CONTROL OF THE PROJECT DRAWMOS AND

AND APPLICABLE SEPTEMPAR REGISEATERN 55'-5" (345 SQ FT.) [18.601M] 1001 REMOVE EXISTING GARAGE **THOMPSON** 1. EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY Average Front Year Selands (i) 4 m + 3 m / 2 = a / m NEW ROOF DOWNSPOUTS SHALL NOT BE DIRECTED TOWARD ADJACENT PROPERTY **OTTAWA** ONTARIO, CANADA 3. MATCH EXISTING ELEVATIONS WITH ABUTTING PRIVATE 4. SITE SLOPE & GRADING TO REMIAN AS EXISTING LOS ESS OTHERWISE SPECIFIED, IF RECID CONTRACTOR TO ENSUITE THAT HOUSE GRADE TO GRONT OR REAR OF LOT THOMPSON ADDITION SHALL BE 2% MIN. AND 7% MAX. GRADING OVER 7% SHALL BE TERRACED.) Committee of Adjustment GRADING AROUND THE FOUNDATION SHOULD BE 0.15M

*9.8 [2.96214]





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- ELEVATION NOTES:

 ① ALUMINUM SOFFIT
- ② ALUMINUM FASCIA
- PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL NEW WINDOW ROUGH OPENING, PROVIDE 4 VOYELAP, INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURED S RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION.
- ENSURE A MIN. 5" UPSTAND AT EXT. DOOR SILL LOCATIONS
- (\$) PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS, COLOUR T.B.D.
- 6 12 PARGING BELOW GRADE
- (7) NEW BRICK FINISH (COLOUR T.B.D.)
- (8) DORMER WALL WITH WOOD SIDING
- WOOD SINGLES
- (1) ASPHALT SHINGLES

- (1) RECESSED LIGHT IN ROOF
- (7) PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ.FT.
 OF VENTRATION FOR EVERY 300 SQ.FT. OF
 ROOF AREA.
 MIN. 25% (\$70P, 25% BOTTOM UNIFORMLY
 DISTRIBUTED
- (13) CONCRETE STEP
- (1) REMOVE EXISTING GARAGE
- REMOVE EXISTING SIDE ENTRY

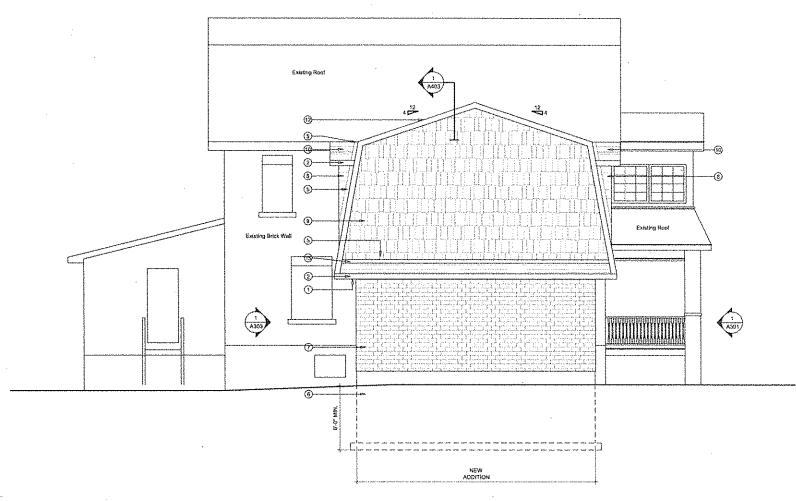
Committee of Adjustment
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City of Ottawa

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46	0 ATHLONE AVE. TAWA, ONTARIO	

FRONT ELEVATION

PROJECT NO: 21-0690 DRAWN: APPROVED: SCALE: 144"×1"-0" DATE ISSUED: 2021.10.26

DRAWING NO.





- (1) ALUMINUM SOFFIT
- ② ALUMINUM FASCIA
- 3) PROVIDE SELF ADHESIVE FLASHING MEMBRANE PROVIDE SELF ADHESIVE PLASHING MEMBRANE FULL PERINETER OF ALL NEW WINDOW ROUGH OPENING, PROVIDE 4* OVERLAP INSIDE AND CUTSIDE OF FRANING (RIK), REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION.
- ENSURE A MIN. 5" UPSTAND AT EXT, DOOR SILL LOCATIONS
- (5) PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS, COLOUR T.B.D.
- (6) 12" PARGING BELOW GRADE
- NEW BRICK FINISH (COLOUR T.B.O.)
- DORMER WALL WITH WOOD SIDING
- (9) WOOD SINGLES
- (1) ASPHALT SHINGLES

- (1) RECESSED LIGHT IN ROOF
- PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ.FT. OF VENTILATION FOR EVERY 300 SQ.FT. OF MIN, 25% @TOP, 25% BOTTOM UNIFORMLY
- (1) CONCRETE STEP
- (1) REMOVE EXISTING GARAGE
- (6) REMOVE EXISTING SIDE ENTRY

Committee of Adjustment HEB 03 2023 City of Ottawa

CSV ARCHITECTS

sustamable design - conception écologique 190 th Control Model, Nobel 100 (Model, District Res 200

CONSULTANT name addrass addrass

phone email

STAMP

03 2022/03/03 issued for Building Permit

02 2022/02/07 Issued for Structural Review 01 2021/10/26 Issued for Structural Review

REV DATE ISSUE

NOTES

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CLIENT

THOMPSON

OTTAWA ONTARIO, CANADA

PROJECT

THOMPSON ADDITION

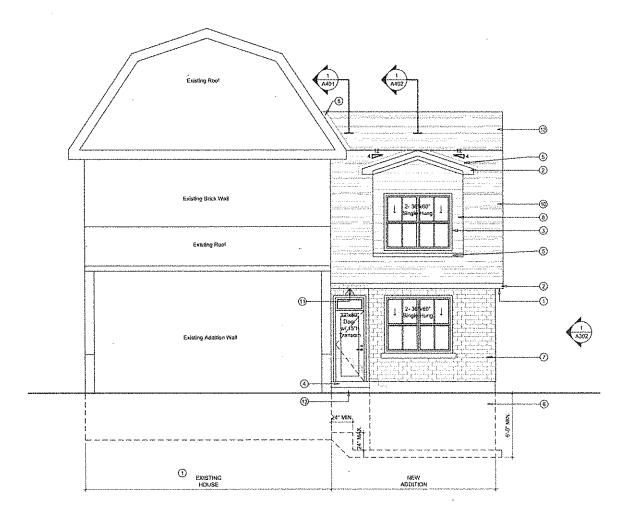
460 ATHLONE AVE. OTTAWA, ONTARIO

SIDE ELEVATION

PROJECT NO: 2142690 DRAWN APPROVED:

SCALE: 1/4"=1"-0" DATE ISSUED: 2021,10.26

DRAWING NO.





- 1) ALUMINUM SOFFIT
- ② ALUMINUM FASCIA
- ③ PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL NEW WINDOW ROUGH OPENING, PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION,
- (a) ENSURE A MIN, 5" UPSTAND AT EXT, OOOR SELL LOCATIONS
- (5) PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS, COLOUR T.B.D.
- (6) 12" PARGING BELOW GRADE
- (7) NEW BRICK FINISH (COLOUR T.B.D.)
- (8) DORMER WALL WITH WOOD SIDING
- (9) WOOD SINGLES
- (10) ASPHALT SHINGLES

- (1) RECESSED LIGHT IN ROOF
- PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ.FT. OF VENTILATION FOR EVERY 300 SQ.FT. OF 1 ROOF AREA.
 MIN. 25% @TOP, 25% BOTTOM UNIFORMLY
 DISTRIBUTED
- (13) CONCRETE STEP
- (1) REMOVE EXISTING GARAGE
- (6) REMOVE EXISTING SIDE ENTRY

CSV ARCHITECTS

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Or us a few areas (PDP)

CONSULTANT กรกาช

address address phona email

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- 03 2022/03/03 Issued for Building Permit
- 02 2022/02/07 Issued for Structural Review
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REV DATE ISSUE

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CLIENT

THOMPSON

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PROJECT

THOMPSON ADDITION

460 ATHLONE AVE. OTTAWA, ONTARIO

TITLE

REAR ELEVATION

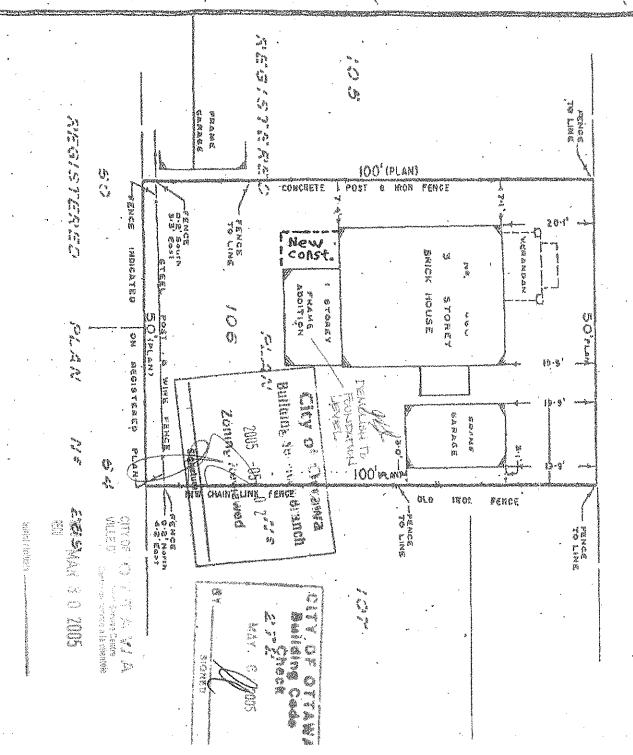
PROJECT NO; 21-0690 DRAWN: APPROVED: SCALE: 1/4"=1"-0" DATE ISSUED: 2021.10.26

DRAWING NO.

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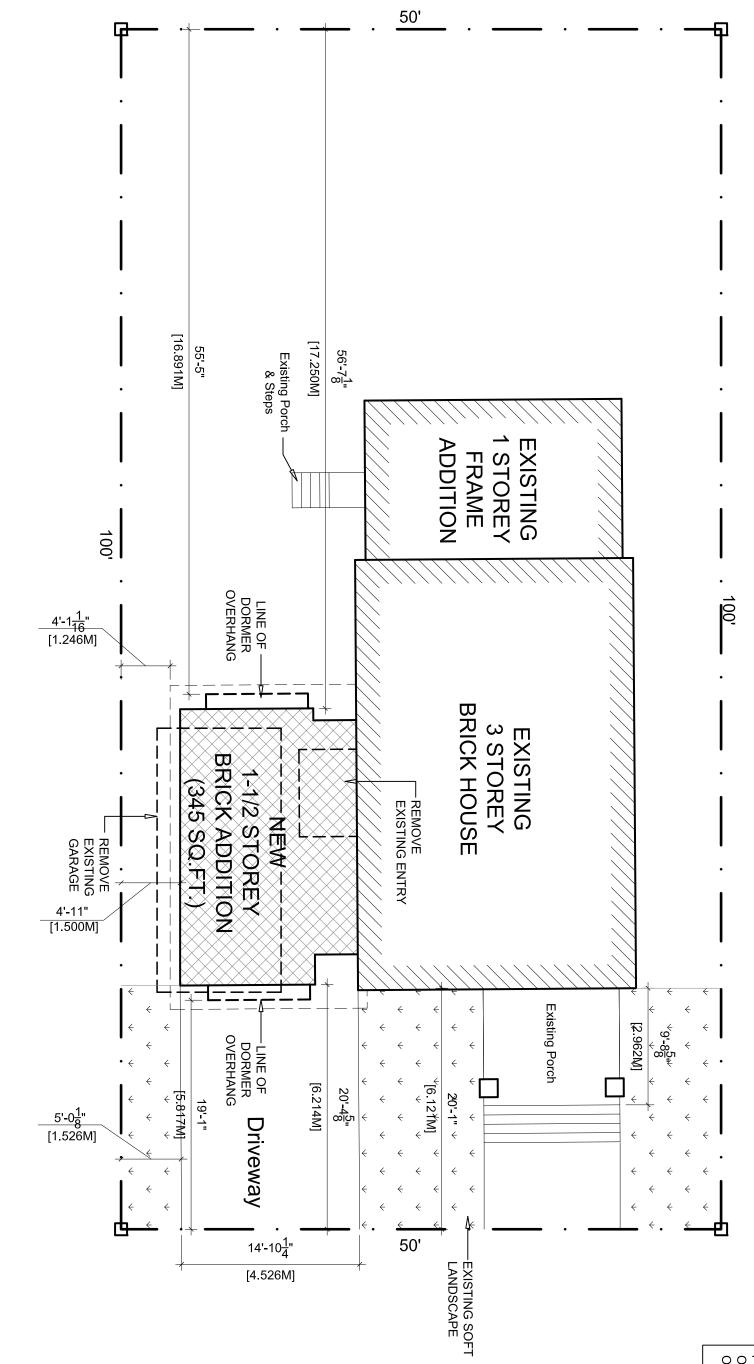
PLAN NOT TO BE USED FOR REGISTRATION OR CONSTRUCTION PURPOSES

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THOMPSON RESIDENCE

460 ATHLONE AVENUE, ONTARIO, ONTARIO

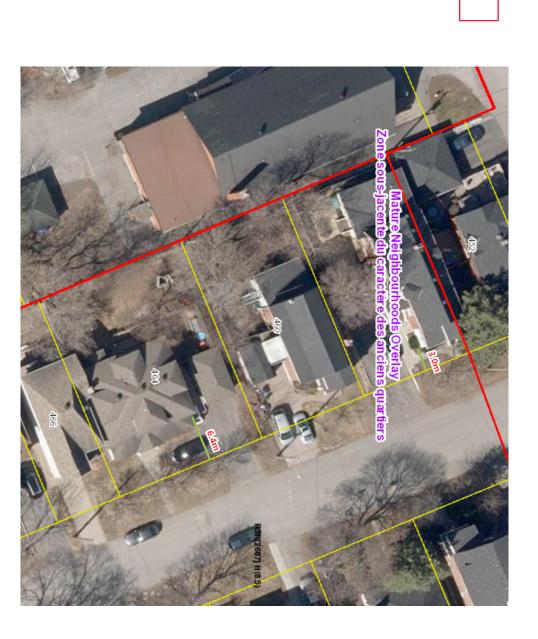


SURVEY INFORMATION

PLAN OF LOT 106, REGISTERED PLAN 272, CITY OF OTTAWA

PREPARED BY: FAIRHALL & MOFFATT LIMITED ONTARIO LAND SURVEYORS.
ON APRIL 28, 1977

ATHLONE AVENUE



SITE PLAN NOTES:

- MATCH EXISTING ELEVATIONS WITH ABUTTING PRIVATE PROPERTY
- GRADING AROUND THE FOUNDATION SHOULD BE 0.15M MIN. BELOW TOP OF FOUNDATION GRADE.
- TREES TO BE PROTECTED BEFORE AND AFTER CONSTRUCTION

6

- NO EXCESS DRAINAGE SHALL BE DIRECTED ONTO NEIGHBOURING PROPERTY

- EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY
- NEW ROOF DOWNSPOUTS SHALL NOT BE DIRECTED TOWARD ADJACENT PROPERTY
- SITE SLOPE & GRADING TO REMIAN AS EXISTING UNLESS OTHERWISE SPECIFIED. (IF REQ'D CONTRACTOR TO ENSUITE THAT HOUSE GRADE TO GRONT OR REAR OF LOT SHALL BE 2% MIN. AND 7% MAX. GRADING OVER 7% SHALL BE TERRACED.)

- EAVESTROUGHING TO BE INSTALLED AND DIRECTED TO THE FRONT OF THE PROPERTY
- NO ALTERATION TO EXISTING GRADES ARE PERMITTED ON OR BEYOND THE PROPERTY LINE

RAINWATER DISCHARGE FROM EAVESTROUGH AND ROOF OVERFLOW (SCUPPERS) SHALL BE 1.5M FROM ALL PROPERTY LINES AND NOT DIRECTED TOWARDS ADJACENT PROPERTIES. ALL ROOF RUNOFF TO BE DIRECTED TOWARDS THE SHEET.

1 SITE PLAN
A100 SCALE: 1/8"=1'-0"

S HITECTS

13.564.8118 sustainable design · conception écologique 190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CONSULTANT

address address phone email

2022/08/17 Reissued for Building Permit 2022/03/03 Issued for Building Permit 2022/02/07 Issued for Structural Review 2021/10/26 Issued for Structural Review

REV DATE

ISSUE

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.

2. THE DRAWINGS, PRESENTATIONS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF CSV ARCHITECTS. THEY ARE NOT TO BE USED BY THE CLIENT ON OTHER PROJECTS OR ON EXTENSIONS TO THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.

3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.

4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT **THOMPSON**

OTTAWA ONTARIO, CANADA

PROJECT

THOMPSON ADDITION

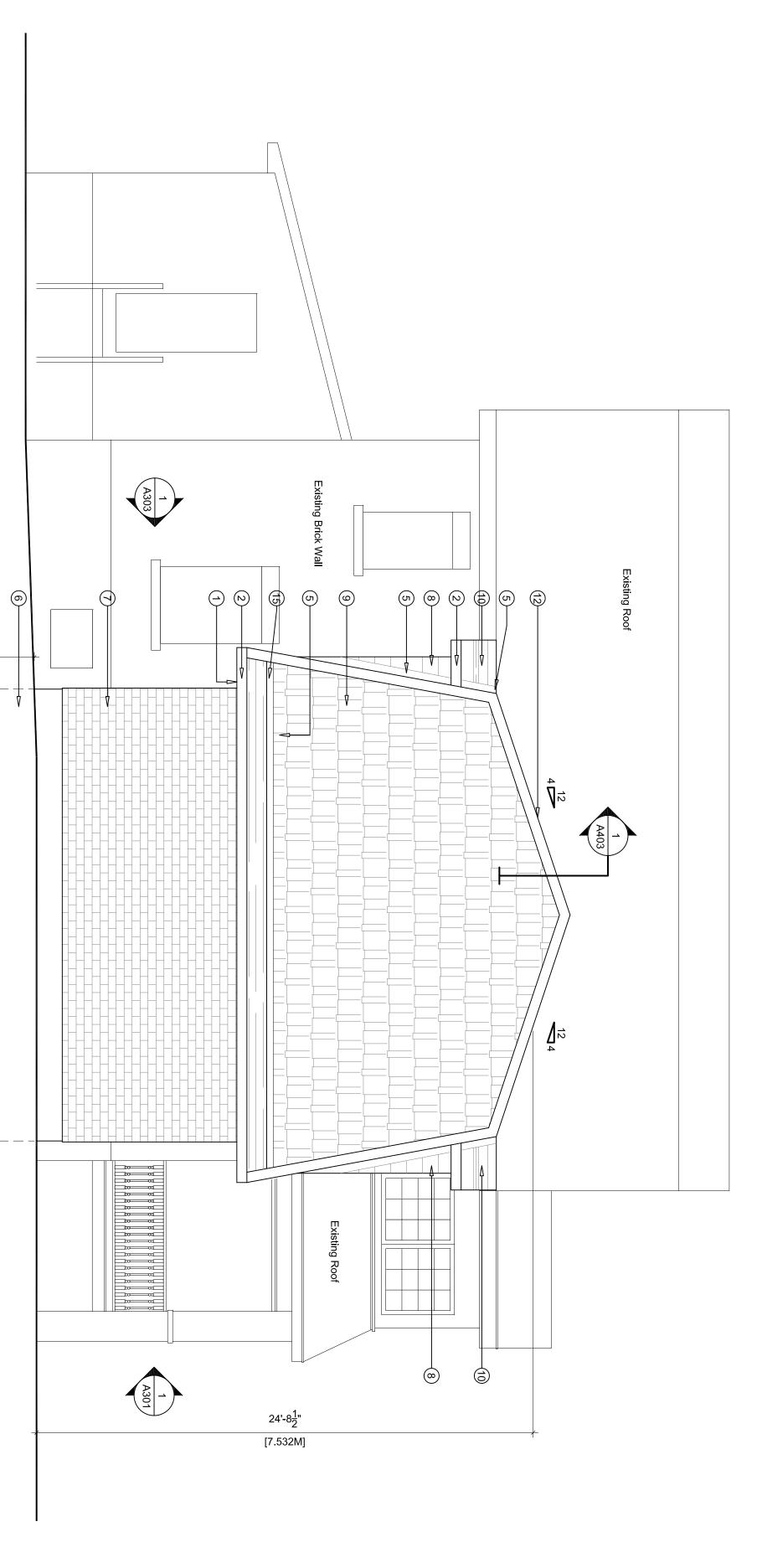
SITE PLAN

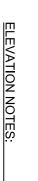
460 ATHLONE AVE. OTTAWA, ONTARIO

APPROVED: SCALE: 1/8"=1'-0" PROJECT NO: 21-0690

DATE ISSUED: 2022.08.17

DRAWING NO.





A302 SCALE: 1/4"=1'-0"

- (S) ALUMINUM SOFFIT
- ALUMINUM FASCIA
- \odot PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL NEW WINDOW ROUGH OPENING. PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION.
- 4 ENSURE A MIN. 5" UPSTAND AT EXT. DOOR SILL LOCATIONS

(5)

- PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS. COLOUR T.B.D.
- 12" PARGING BELOW GRADE
- NEW BRICK FINISH (COLOUR T.B.D.)
- @ 9 @ DORMER WALL WITH WOOD SIDING
- 9 WOOD SINGLES
- (a) ASPHALT SHINGLES
- RECESSED LIGHT IN ROOF
- PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ.FT. OF VENTILATION FOR EVERY 300 SQ.FT. OF ROOF AREA.

 MIN. 25% @TOP, 25% BOTTOM UNIFORMLY DISTRIBUTED
- (13) CONCRETE STEP
- <u>4</u> REMOVE EXISTING GARAGE
- **15** REMOVE EXISTING SIDE ENTRY

VSS ARC HITECTS

sustainable design · conception écologique

13.564.8118 190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CONSULTANT name address address phone email

STAMP

2022/08/17 Reissued for Building Permit 2022/03/03 Issued for Building Permit 2022/02/07 Issued for Structural Review 2021/10/26 Issued for Structural Review

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REV DATE ISSUE

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CLIENT

THOMPSON

6'-0" MIN.

OTTAWA ONTARIO, CANADA

NEW ADDITION

THOMPSON ADDITION

PROJECT

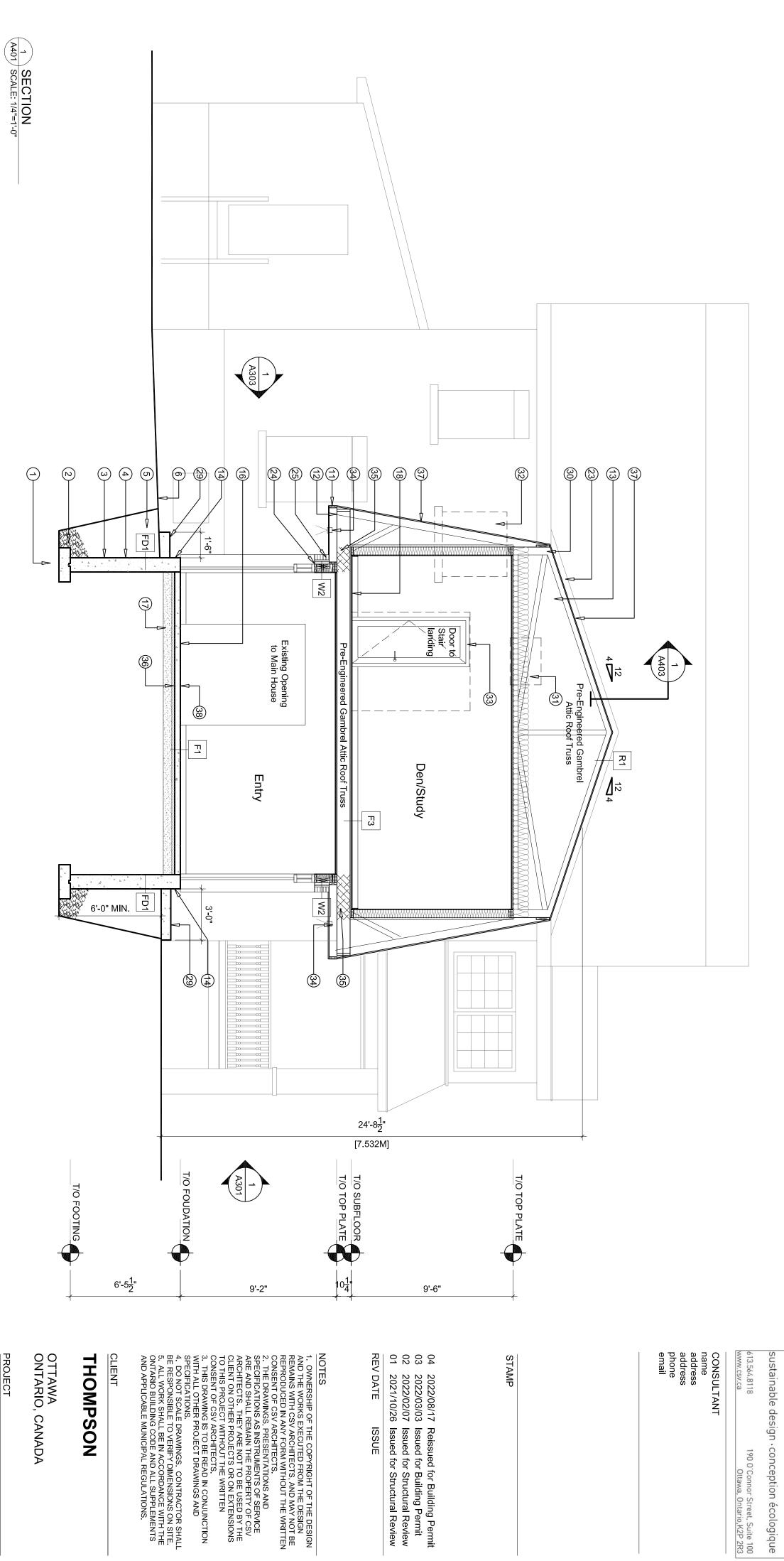
460 ATHLONE AVE. OTTAWA, ONTARIO

SIDE ELEVATION

PROJECT NO: 21-0690 DRAWN:

APPROVED: SCALE: 1/4"=1'-0" DATE ISSUED: 2022.08.17

DRAWING NO.



2022/08/17 Reissued for Building Permit 2022/03/03 Issued for Building Permit 2022/02/07 Issued for Structural Review 2021/10/26 Issued for Structural Review

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190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

SECTION NOTES:

- UNDISTURBED SOIL OR BEDROCK
- \bigcirc 6" CRUSHED STONE (TYP.)
- \odot WATERPROOFING SYSTEM TO EXTEND TO BOTTOM OF FOOTING

(13)

PRE-ENGINEERED GAMBREL ATTIC ROOF TRUSSES W/ INSULATION (R-60)

ALUMINUM FASCIA (COLOUR T.B.D.)

(3)

ALUMINUM SOFFIT (COLOUR T.B.D.)

- 4 12" PARGING BELOW GRADE
- 6 5 GRANULAR FILL
- GRADE TO SLOPE AWAY FROM FOUNDATION WALL 1/4" IN 12"
- \bigcirc ENSURE MIN 8" BETWEEN TOP OF FOUNDATION AND GRADE
- **∞** 1/2" DIA. ANCHOR BOLT @5'-0" O.C
- 9 CLOSED CELL FOAM SILL GASKET BETWEEN TOP OF FOUNDATION AND SILL PLATE
- (3) PROVIDE CONTINUOUS VAPOUR BARRIER AROUND HEADER
- SEALED CONCRETE FINISH FLOOR
- 4
- PROVIDE 5" MIN. UPSTAND @DOOR SILL LOCATION
- **15**
- <u>(16)</u> TILE FLOOR (TILE SPEC. & LAYOUT T.B.D.)
- $\left(\frac{1}{2}\right)$ 6" GRANULAR FILL COMPACTED TO 95% S.P.D.
- (1) HARDWOOD FLOOR (SPEC T.B.D.)
- 19 WINDOW BENCH MILLWORK T.B.D.
- 20

SPRAY FORM INSULATION (R-31)

- 25
- 26

- PROVIDE WEATHER-STRIPPING IN ALL OPENING BETWEEN GARAGE AND DWELLING UNIT. DOOR SHALL BE FITTED AND WITH A SELF CLOSING DEVISE TO PROVIDE A BARRIER AGAINST EXHAUST GASES.
- PREFINISHED METAL FLASHING AT ALL ROOF TO WALL / TO ROOF CONNECTIONS. COLOUR TO BE

23

- 24) PROVIDE SELF ADHESIVE FLASHING
 MEMBRANE FULL PERIMETER OF ALL WINDOW
 ROUGH OPENING. PROVIDE 4" OVERLAP INSIDE
 AND OUTSIDE OF FRAMING (MIN.) REFER TO
 MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION. (TYP.)
- NEW BRICK FINISH (COLOUR T.B.D.)
- WOOD SIDING (COLOUR AND STYLE T.B.D.)

- 27) WOOD SHINGLES (COLOUR T.B.D.)

NOTCHED FOUNDATION WALL

CONCRETE STEP

29

8

28

- PROVIDE A MINIMUM 2-1/2" AIRSPACE BETWEEN THE UNDERSIDE OF THE ROOF SHEATHING AND THE TOP OF THE INSULATION ALONG THE FULL LENGTH OF THE TRUSSES.
- CLOSE EXISTING STAIR WINDOW

<u>3</u>

CLOSE EXISTING WINDOW. INFILL OPENING WITH EXISTING BRICK. C/W R-24 INSULATION.

(32)

REMOVE EXISTING SLIDING DOOR AND INFILL OPENING W/ A NEW DOOR

(33)

RECESSED POT-LIGHT

(<u>4</u>2)

35

INSULATE OVERHANG FLOOR WITH SPRAY FOAM INSULATION (MIN. R-31)

- (36) 2" RIGID INSULATION UNDER CONCRETE SLAB
- 37 ASPHALT SHINGLES
- NEW FLOOR HEIGHT TO MATCH EXISTING
- (33)
- 3 WINDOW SILL TO MATCH EXISTING

ALINE FLOOR LEVEL FROM EXISTING LANDING TO NEW STUDY

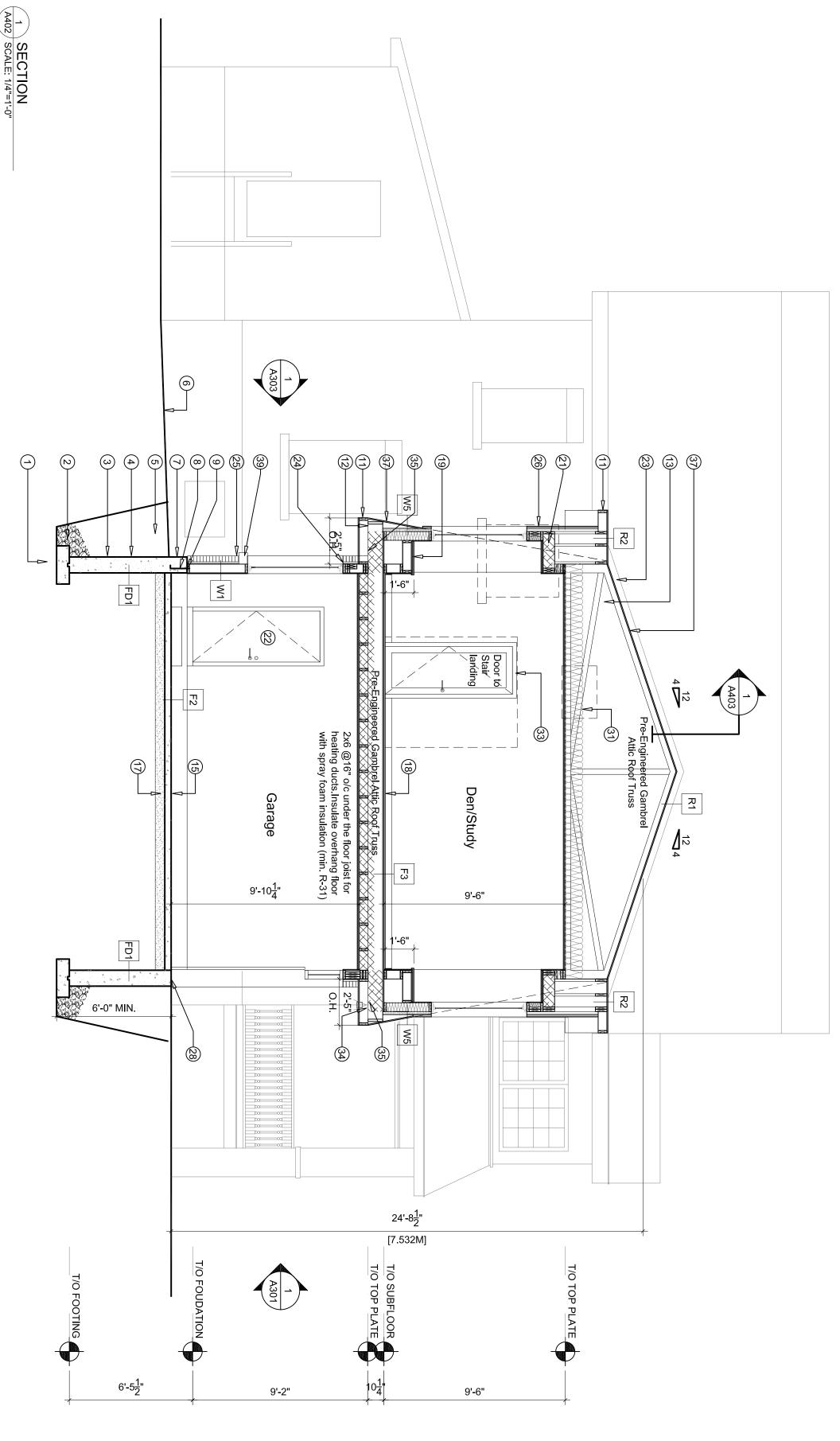
THOMPSON ADDITION

SECTION

460 ATHLONE AVE. OTTAWA, ONTARIO

APPROVED: SCALE: 1/4"=1'-0" DRAWN: DATE ISSUED: 2022.08.17 PROJECT NO: 21-0690

DRAWING NO.



SECTION NOTES:

- UNDISTURBED SOIL OR BEDROCK 6" CRUSHED STONE (TYP.)
- \odot
- WATERPROOFING SYSTEM TO EXTEND TO BOTTOM OF FOOTING
- 4 12" PARGING BELOW GRADE
- 5 GRANULAR FILL
- 6 GRADE TO SLOPE AWAY FROM FOUNDATION WALL 1/4" IN 12"
- \bigcirc ENSURE MIN 8" BETWEEN TOP OF FOUNDATION AND GRADE
- 1/2" DIA. ANCHOR BOLT @5'-0" O.C.
- 9 CLOSED CELL FOAM SILL GASKET BETWEEN TOP OF FOUNDATION AND SILL PLATE
- PROVIDE CONTINUOUS VAPOUR BARRIER AROUND HEADER

- ALUMINUM FASCIA (COLOUR T.B.D.)
- ALUMINUM SOFFIT (COLOUR T.B.D.)
- <u>(1</u>3) PRE-ENGINEERED GAMBREL ATTIC ROOF TRUSSES W/ INSULATION (R-60)
- **4** PROVIDE 5" MIN. UPSTAND @DOOR SILL LOCATION
- (15) SEALED CONCRETE FINISH FLOOR
- <u>(16)</u> TILE FLOOR (TILE SPEC. & LAYOUT T.B.D.)
- 6" GRANULAR FILL COMPACTED TO 95% S.P.D.
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- (1) HARDWOOD FLOOR (SPEC T.B.D.)
- 19 20 THRESHOLD T.B.D. WINDOW BENCH MILLWORK T.B.D.
- SPRAY FORM INSULATION (R-31)
- (3) PROVIDE WEATHER-STRIPPING IN ALL OPENING BETWEEN GARAGE AND DWELLING UNIT. DOOR SHALL BE FITTED AND WITH A SELF CLOSING DEVISE TO PROVIDE A BARRIER AGAINST EXHAUST GASES.
- 23 PREFINISHED METAL FLASHING AT ALL ROOF TO WALL / TO ROOF CONNECTIONS. COLOUR TO BE SELECTED.
- 24) PROVIDE SELF ADHESIVE FLASHING
 MEMBRANE FULL PERIMETER OF ALL WINDOW
 ROUGH OPENING. PROVIDE 4" OVERLAP INSIDE
 AND OUTSIDE OF FRAMING (MIN.) REFER TO
 MANUFACTURERS RECOMMENDED CORRECT
- **NSTALLATION** (TYP.)
- NEW BRICK FINISH (COLOUR T.B.D.)
- WOOD SIDING (COLOUR AND STYLE T.B.D.)

- 27) WOOD SHINGLES (COLOUR T.B.D.)
- 28 NOTCHED FOUNDATION WALL
- 29 CONCRETE STEP
- PROVIDE A MINIMUM 2-1/2" AIRSPACE BETWEEN THE UNDERSIDE OF THE ROOF SHEATHING AND THE TOP OF THE INSULATION ALONG THE FULL LENGTH OF THE TRUSSES.
- CLOSE EXISTING STAIR WINDOW
- CLOSE EXISTING WINDOW. INFILL OPENING WITH EXISTING BRICK. C/W R-24 INSULATION.

(32)

 $\frac{3}{2}$

REMOVE EXISTING SLIDING DOOR AND INFILL OPENING W/ A NEW DOOR

(33)

- (<u>3</u>2) RECESSED POT-LIGHT
- 35 INSULATE OVERHANG FLOOR WITH SPRAY FOAM INSULATION (MIN. R-31)

2" RIGID INSULATION UNDER CONCRETE SLAB

37 ASPHALT SHINGLES

36

- (38) NEW FLOOR HEIGHT TO MATCH EXISTING
- 39 WINDOW SILL TO MATCH EXISTING

ALINE FLOOR LEVEL FROM EXISTING LANDING TO NEW STUDY

460 ATHLONE AVE. OTTAWA, ONTARIO

STAMP

name address address phone email

CONSULTANT

13.564.8118

190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

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THOMPSON

CLIENT

OTTAWA ONTARIO, CANADA

THOMPSON ADDITION

PROJECT

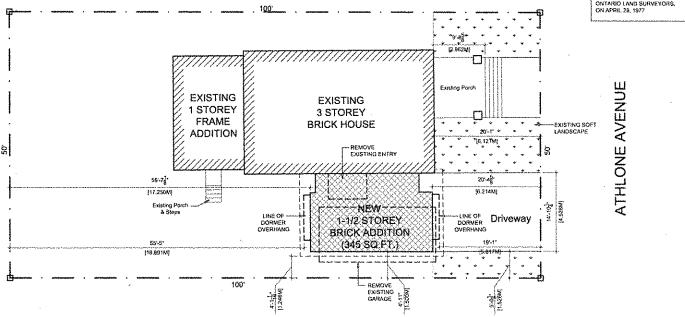
SECTION

APPROVED: SCALE: 1/4"=1'-0" DRAWN: DATE ISSUED: 2022.08.17 PROJECT NO: 21-0690

DRAWING NO.

THOMPSON RESIDENCE

460 ATHLONE AVENUE, ONTARIO, ONTARIO



Average Front Yare Selfacti Eliter + Sin / 2 = a / ni





- 1. EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY
- 2. NEW ROOF DOWNSPOUTS SHALL NOT BE DIRECTED TOWNSPONDAGENT PROPERTY
- 3. MATCH EXISTING ELEVATIONS WITH ABUTTING PRIVATE
- 4. SITE SLOPE & GRADING TO REMAN AS EXISTING UNLESS OTHERWISE SPECIFIED, IF RECID CONTRACTOR TO ENSUITE THAT HOUSE GRADE TO GRONT OR REAR OF LOT SHALL BE 2% MIN. AND 7% MAX. GRADING OVER 7% SHALL BE TERRACED.)
- GRADING AROUND THE FOUNDATION SHOULD BE 0.15M MIN, BELOW TOP OF FOUNDATION GRADE.
- TREES TO BE PROTECTED BEFORE AND AFTER
- EAVESTROUGHING TO BE INSTALLED AND DIRECTED TO THE FRONT OF THE PROPERTY
- 8. NO EXCESS DRAINAGE SHALL BE DIRECTED ONTO NEIGHBOURING PROPERTY
- 9. NO ALTERATION TO EXISTING GRADES ARE PERMITTED ON OR BEYOND THE PROPERTY LINE

RAINWATER DISCHARGE FROM EAVESTROUGH AND ROOF OVERFLOW (SCUPPERS) SHALL BE 1,5M FROM ALL PROPERTY LINES AND NOT DIRECTED TOWARDS ADJACENT PROPERTIES. ALL ROOF RUNOFF TO BE DIRECTED TOWARDS THE SHEET.

SURVEY INFORMATION

PLAN OF LOT 106, REGISTERED PLAN 272,

PREPARED BY: FAIRHALL & MOFFATT LIMITED ONTARIO LAND SURVEYORS.

STAMP

CONSULTANT

name address address

phone

04 2022/08/17 Reissued for Building Permit

CSV ARCHITECTS

ustainable design conception áculogique

199 B Concentrated, Suite (69

- 03 2022/03/03 Issued for Building Permit 02 2022/02/07 Issued for Structural Review
- 01 2021/10/26 Issued for Structural Review

REV DATE ISSUE

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460 ATHLONE AVE. OTTAWA, ONTARIO

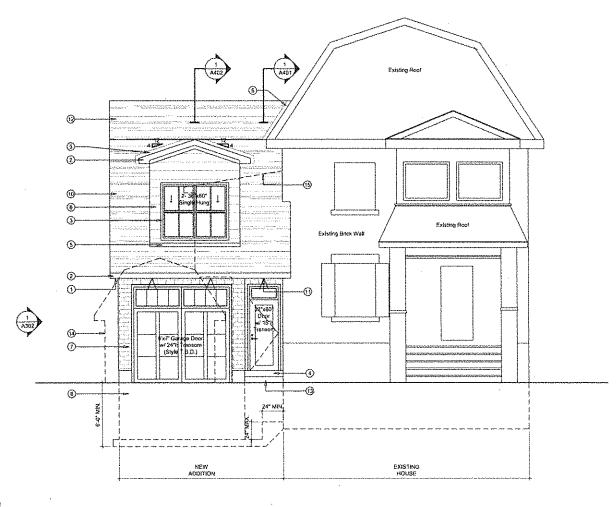
TITLE

SITE PLAN

PROJECT NO: 21-0690 DRAWN: APPROVED: SCALE: 1/8"=1"-0" DATE (\$SUED: 2027.08.17

DRAWING NO.

SITE PLAN





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- ELEVATION NOTES:

 ① ALUMINUM SOFFIT
- ② ALUMINUM FASCIA
- PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL NEW WINDOW ROUGH OPENING, PROVIDE 4 VOYELAP, INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURED S RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION.
- ENSURE A MIN. 5" UPSTAND AT EXT. DOOR SILL LOCATIONS
- (\$) PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS, COLOUR T.B.D.
- 6 12 PARGING BELOW GRADE
- (7) NEW BRICK FINISH (COLOUR T.B.D.)
- (8) DORMER WALL WITH WOOD SIDING
- WOOD SINGLES
- (1) ASPHALT SHINGLES

- (1) RECESSED LIGHT IN ROOF
- (7) PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ.FT.
 OF VENTRATION FOR EVERY 300 SQ.FT. OF
 ROOF AREA.
 MIN. 25% (\$70P, 25% BOTTOM UNIFORMLY
 DISTRIBUTED
- (13) CONCRETE STEP
- (1) REMOVE EXISTING GARAGE
- REMOVE EXISTING SIDE ENTRY

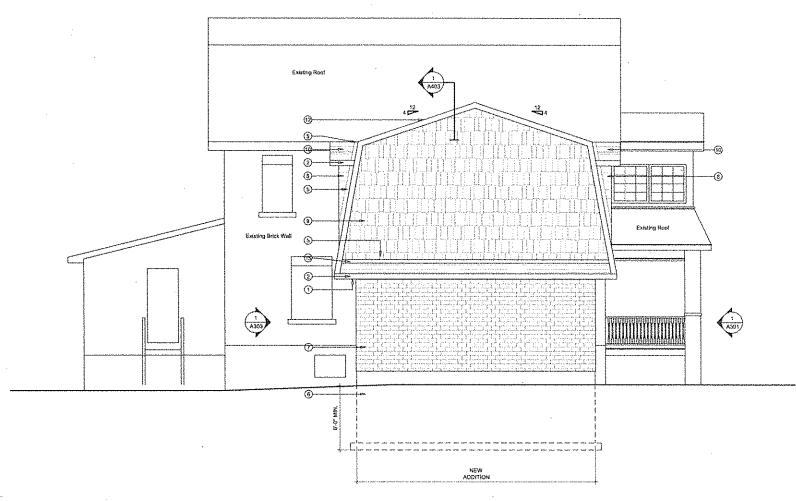
Committee of Adjustment
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City of Ottawa

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46	0 ATHLONE AVE. TAWA, ONTARIO	

FRONT ELEVATION

PROJECT NO: 21-0690 DRAWN: APPROVED: SCALE: 144"×1"-0" DATE ISSUED: 2021.10.26

DRAWING NO.





- (1) ALUMINUM SOFFIT
- ② ALUMINUM FASCIA
- 3) PROVIDE SELF ADHESIVE FLASHING MEMBRANE PROVIDE SELF ADHESIVE PLASHING MEMBRANE FULL PERINETER OF ALL NEW WINDOW ROUGH OPENING, PROVIDE 4* OVERLAP INSIDE AND CUTSIDE OF FRANING (RIK), REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION.
- ENSURE A MIN. 5" UPSTAND AT EXT, DOOR SILL LOCATIONS
- (5) PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS, COLOUR T.B.D.
- (6) 12" PARGING BELOW GRADE
- NEW BRICK FINISH (COLOUR T.B.O.)
- DORMER WALL WITH WOOD SIDING
- (9) WOOD SINGLES
- (1) ASPHALT SHINGLES

- (1) RECESSED LIGHT IN ROOF
- PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ.FT. OF VENTILATION FOR EVERY 300 SQ.FT. OF MIN, 25% @TOP, 25% BOTTOM UNIFORMLY
- (1) CONCRETE STEP
- (1) REMOVE EXISTING GARAGE
- (6) REMOVE EXISTING SIDE ENTRY

Committee of Adjustment HEB 03 2023 City of Ottawa

CSV ARCHITECTS

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CONSULTANT name addrass addrass

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03 2022/03/03 issued for Building Permit

02 2022/02/07 Issued for Structural Review 01 2021/10/26 Issued for Structural Review

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THOMPSON

OTTAWA ONTARIO, CANADA

PROJECT

THOMPSON ADDITION

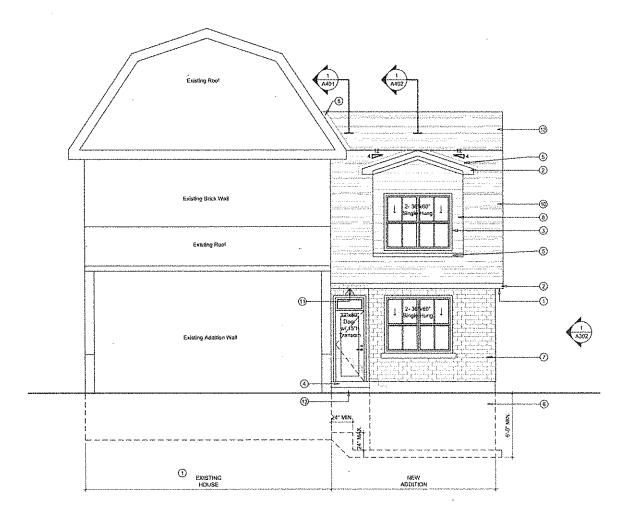
460 ATHLONE AVE. OTTAWA, ONTARIO

SIDE ELEVATION

PROJECT NO: 2142690 DRAWN APPROVED:

SCALE: 1/4"=1"-0" DATE ISSUED: 2021,10.26

DRAWING NO.





- 1) ALUMINUM SOFFIT
- ② ALUMINUM FASCIA
- ③ PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL NEW WINDOW ROUGH OPENING, PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION,
- (a) ENSURE A MIN, 5" UPSTAND AT EXT, OOOR SELL LOCATIONS
- (5) PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS, COLOUR T.B.D.
- (6) 12" PARGING BELOW GRADE
- (7) NEW BRICK FINISH (COLOUR T.B.D.)
- (8) DORMER WALL WITH WOOD SIDING
- (9) WOOD SINGLES
- (10) ASPHALT SHINGLES

- (1) RECESSED LIGHT IN ROOF
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 MIN. 25% @TOP, 25% BOTTOM UNIFORMLY
 DISTRIBUTED
- (13) CONCRETE STEP
- (1) REMOVE EXISTING GARAGE
- (6) REMOVE EXISTING SIDE ENTRY

CSV ARCHITECTS

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Or us a few areas (PDP)

CONSULTANT กรกาช

address address phona email

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- 03 2022/03/03 Issued for Building Permit
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PROJECT

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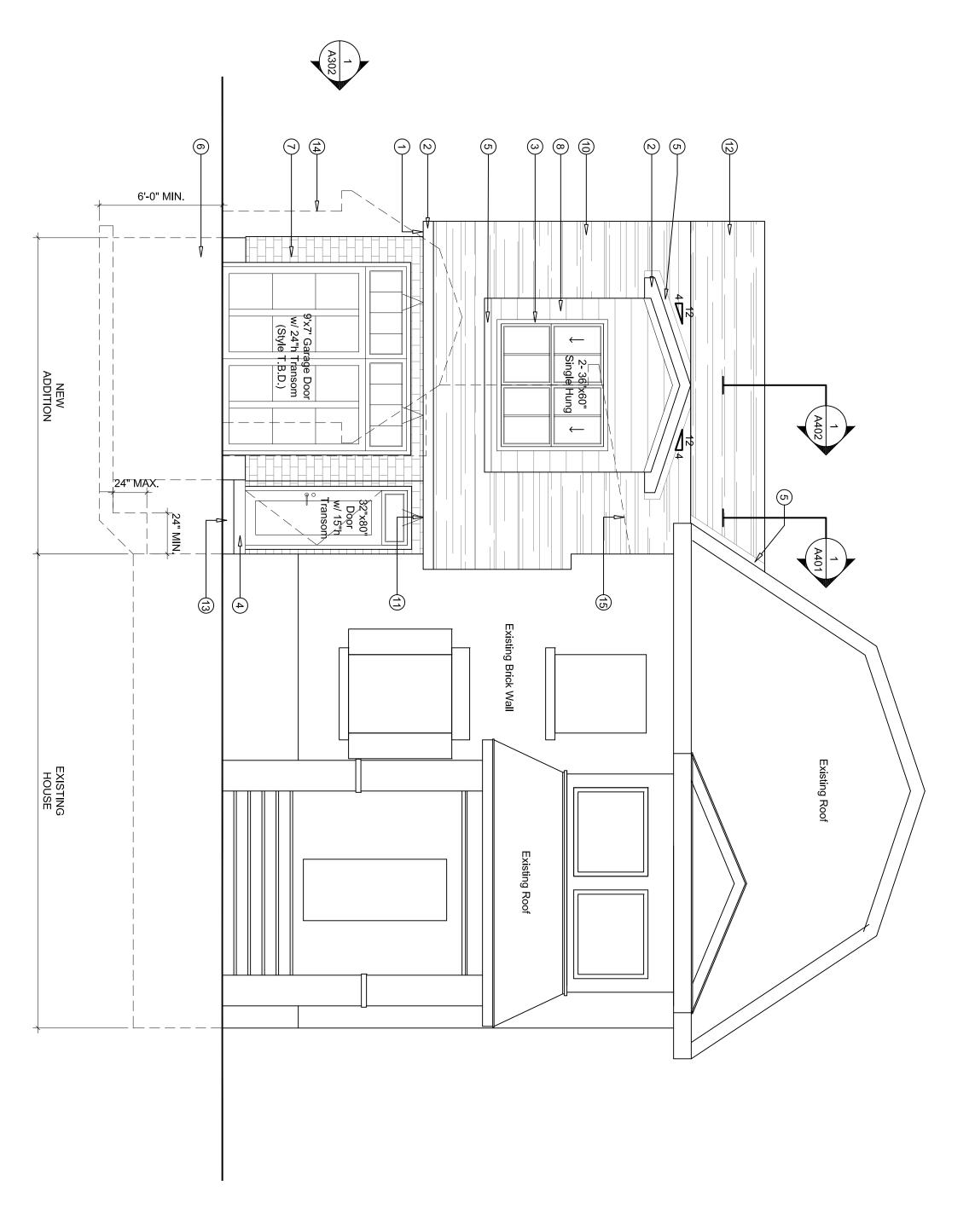
460 ATHLONE AVE. OTTAWA, ONTARIO

TITLE

REAR ELEVATION

PROJECT NO; 21-0690 DRAWN: APPROVED: SCALE: 1/4"=1"-0" DATE ISSUED: 2021.10.26

DRAWING NO.





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- 4 ENSURE A MIN. 5" UPSTAND AT EXT. DOOR SILL LOCATIONS
- PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS. COLOUR T.B.D.

<u>(5)</u>

- 9 6 12" PARGING BELOW GRADE
- NEW BRICK FINISH (COLOUR T.B.D.)
- **∞** DORMER WALL WITH WOOD SIDING
- WOOD SINGLES
- 9
- **a** ASPHALT SHINGLES
- RECESSED LIGHT IN ROOF
- PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ.FT. OF VENTILATION FOR EVERY 300 SQ.FT. OF ROOF AREA.
 MIN. 25% @TOP, 25% BOTTOM UNIFORMLY DISTRIBUTED
- (1) CONCRETE STEP
- **1**5 <u>(4)</u> REMOVE EXISTING GARAGE
- REMOVE EXISTING SIDE ENTRY

VSS ARCHITECTS

sustainable design · conception écologique

613.564.8118 www.csv.ca 190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CONSULTANT
name
address
address
address
phone
email

03 2022/03/03 Issued for Building Permit
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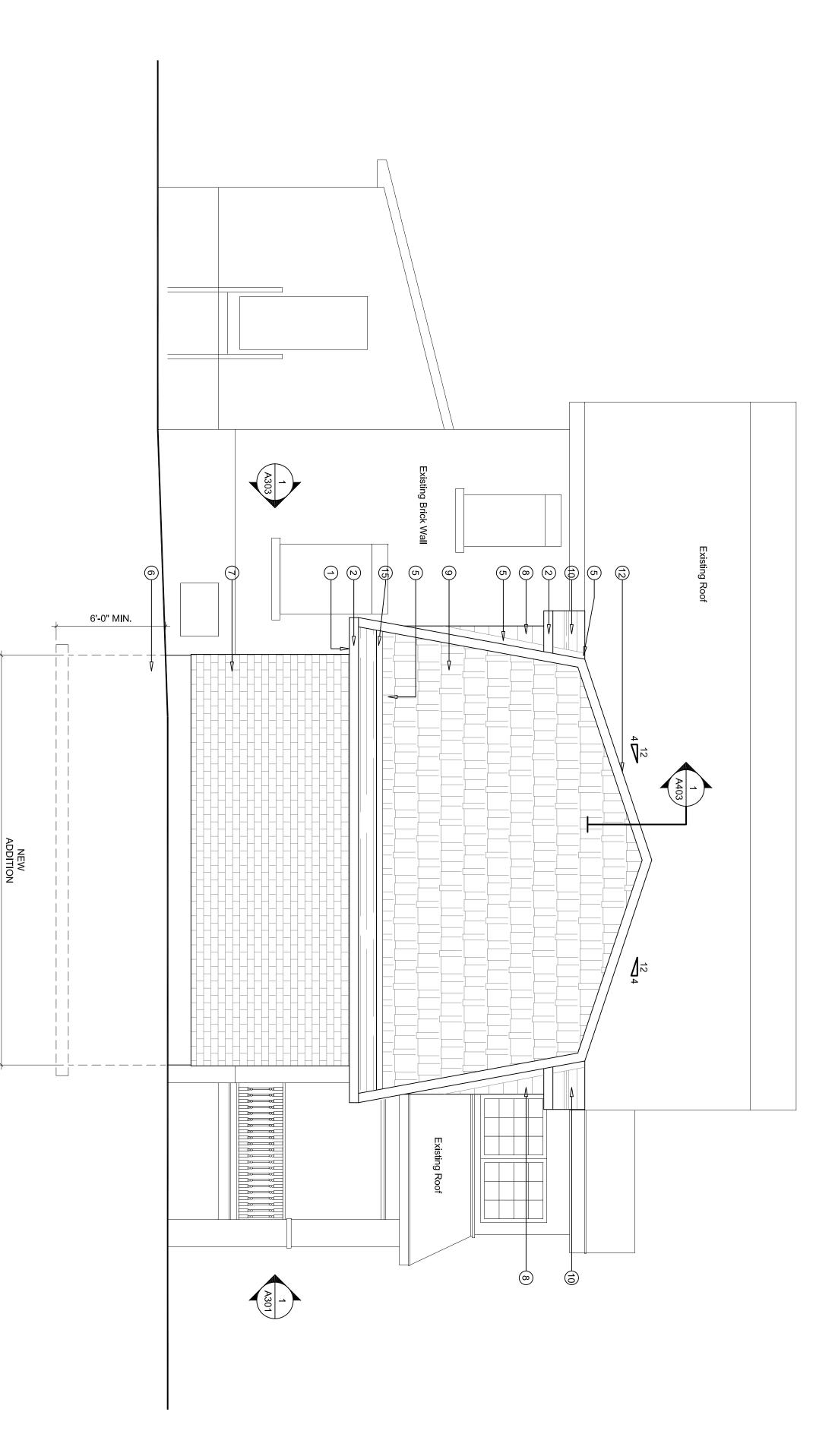
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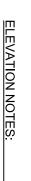
460 ATHLONE AVE. OTTAWA, ONTARIO

FRONT ELEVATION

PROJECT NO: 21-0690 DRAWN: APPROVED: SCALE: 1/4"=1'-0"

REV DATE ISSUED: 2021 10.26 DRAWING NO.





A302 SCALE: 1/4"=1'-0"

- ALUMINUM SOFFIT
- (S) ALUMINUM FASCIA
- \odot PROVIDE SELF ADHESIVE FLASHING MEMBRANE FULL PERIMETER OF ALL NEW WINDOW ROUGH OPENING. PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING (MIN.) REFER TO MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTION FOR CORRECT WRAP SEQUENCING WITH AIR BARRIER INSTALLATION.
- 4 ENSURE A MIN. 5" UPSTAND AT EXT. DOOR SILL LOCATIONS
- PROVIDE METAL FLASHING AT ALL ROOF/ROOF, WALL/ROOF INTERSECTIONS. COLOUR T.B.D.

(5)

- 12" PARGING BELOW GRADE
- NEW BRICK FINISH (COLOUR T.B.D.)
- @ 9 @ DORMER WALL WITH WOOD SIDING
- (a) 9 WOOD SINGLES

ASPHALT SHINGLES

RECESSED LIGHT IN ROOF

- PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ.FT. OF VENTILATION FOR EVERY 300 SQ.FT. OF ROOF AREA.

 MIN. 25% @TOP, 25% BOTTOM UNIFORMLY DISTRIBUTED
- (13) CONCRETE STEP
- <u>4</u> REMOVE EXISTING GARAGE
- **15** REMOVE EXISTING SIDE ENTRY

VSS ARCHITECTS

sustainable design · conception écologique

13.564.8118 190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CONSULTANT name address address phone email

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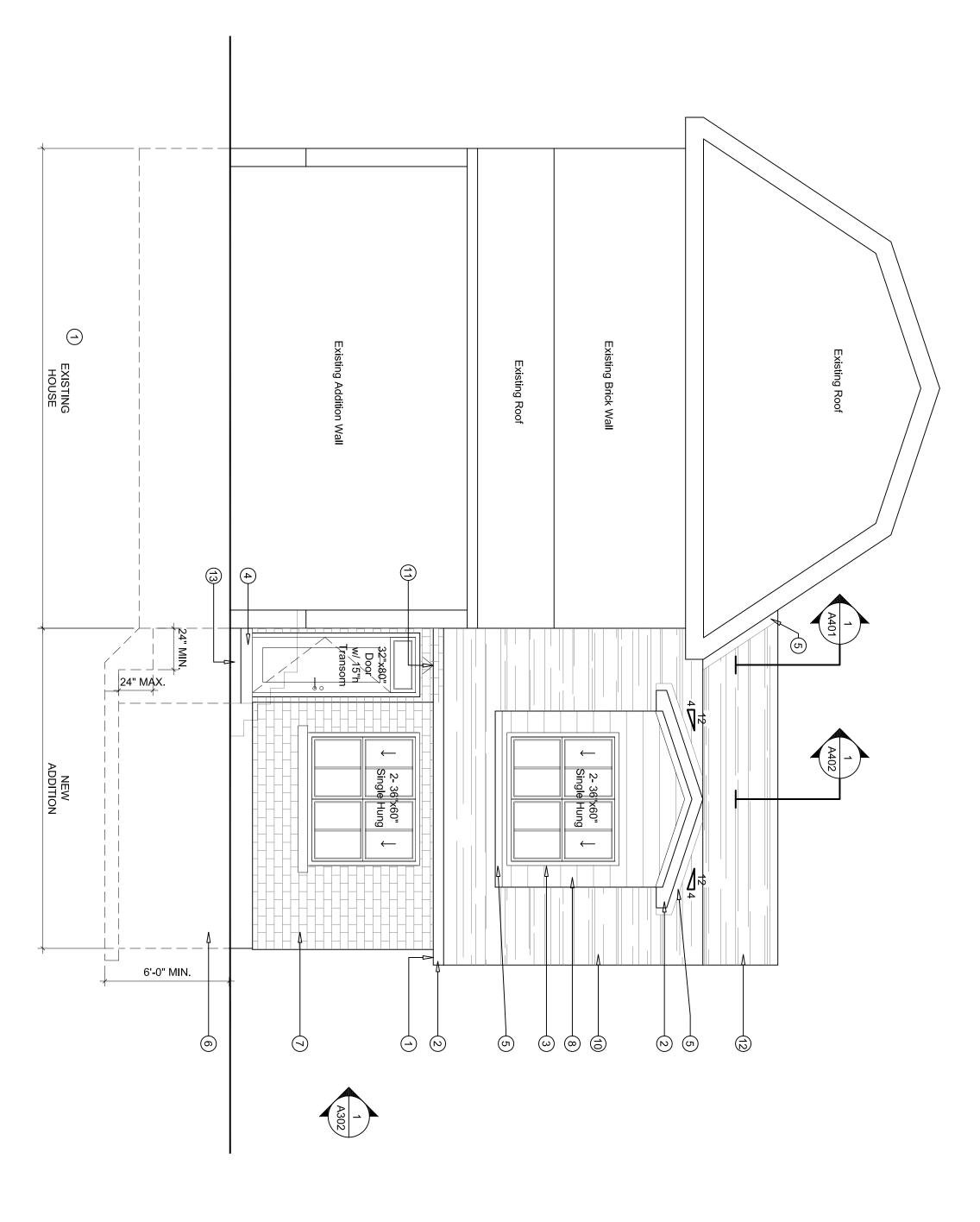
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SIDE ELEVATION

PROJECT NO: 21-0690 DRAWN:

APPROVED: SCALE: 1/4"=1'-0" DATE ISSUED: 2021.10.26

DRAWING NO.





- \bigcirc ALUMINUM SOFFIT
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5

- @ 9 12" PARGING BELOW GRADE
- NEW BRICK FINISH (COLOUR T.B.D.) DORMER WALL WITH WOOD SIDING
- 9 WOOD SINGLES
- ASPHALT SHINGLES
- RECESSED LIGHT IN ROOF
- PROVIDE ROOF VENTS TO ACHIEVE A 1 SQ.FT. OF VENTILATION FOR EVERY 300 SQ.FT. OF ROOF AREA.
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- (13) CONCRETE STEP
- (<u>4</u>) REMOVE EXISTING GARAGE
- REMOVE EXISTING SIDE ENTRY

CONSULTANT name address address phone email VSS 513.564.8118 sustainable design · conception écologique ARCHITECTS 190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

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460 ATHLONE AVE. OTTAWA, ONTARIO

REAR ELEVATION

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