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SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
PART OF LOT 9
(South George Street)
REGISTERED PLAN 46
and
PART OF BLOCK E
REGISTERED PLAN 73
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 100
4 3 2 1 0 2 4 Metres

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the 29th day of July, 2019.

July 31/2019
Date

Katherine Sonier
Katherine M. Sonier
Ontario Land Surveyor

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH
SURVEY REPORT DATED: July 31, 2019

ANNIS, O'SULLIVAN, VOLLEBEK LTD. grants to
M. Jaber ("The Client"), their solicitors,
mortgagees, and other related parties, permission to use original, signed, sealed
copies of the Surveyor's Real Property Report in transactions involving The Client.



Notes & Legend

Denotes	
—□—	Survey Monument Planted
—■—	Survey Monument Found
SSIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
CP	Concrete Pin
IB#	Round Iron Bar
(WIT)	Witness
Mees.	Measured
(AOG)	Annis, O'Sullivan, Vollebek Ltd.
(P1)	Registered Plan 46
(P2)	(1474) Plan June 14, 2002
(P3)	(1474) Plan August 19, 1994
(D1)	Inst. NS28917
○ MH	Maintenance Hole (Unidentified)
— OHW —	Overhead Wires
○ UP	Utility Pole
○ AN	Anchor
○ B	Bollard
○ G	Gas Meter
○ H	Hydro Meter
△ S	Sign
CLF	Chain Link Fence
BF	Board Fence
∅	Diameter
+ 65.00	Location of Elevations
+ 65.00	Top of Concrete Curb Elevation
C/L	Centreline
○	Deciduous Tree
★	Coniferous Tree

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to the Central Meridian of MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

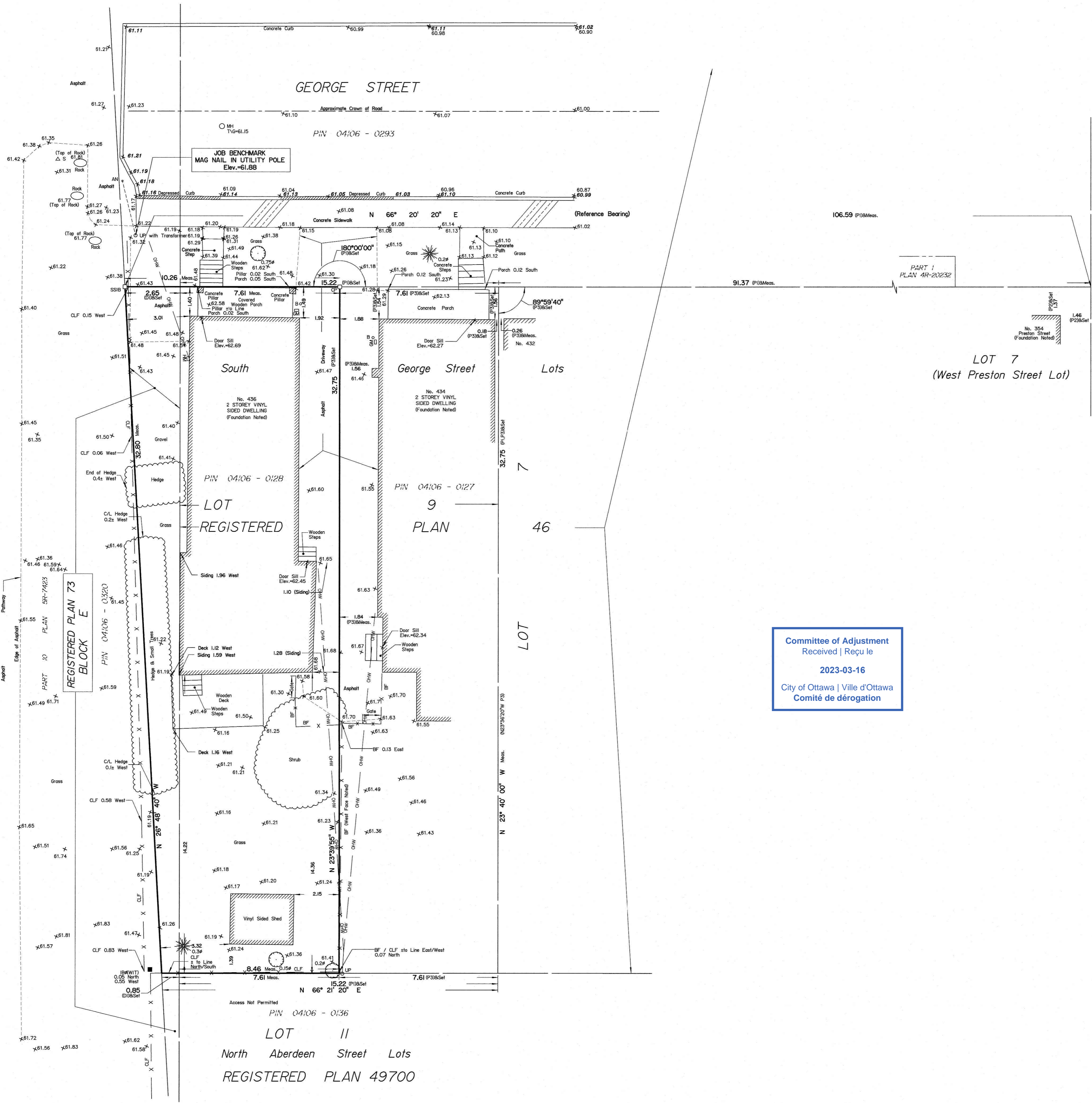
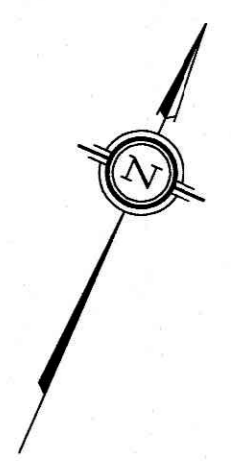
ELEVATION NOTES

1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

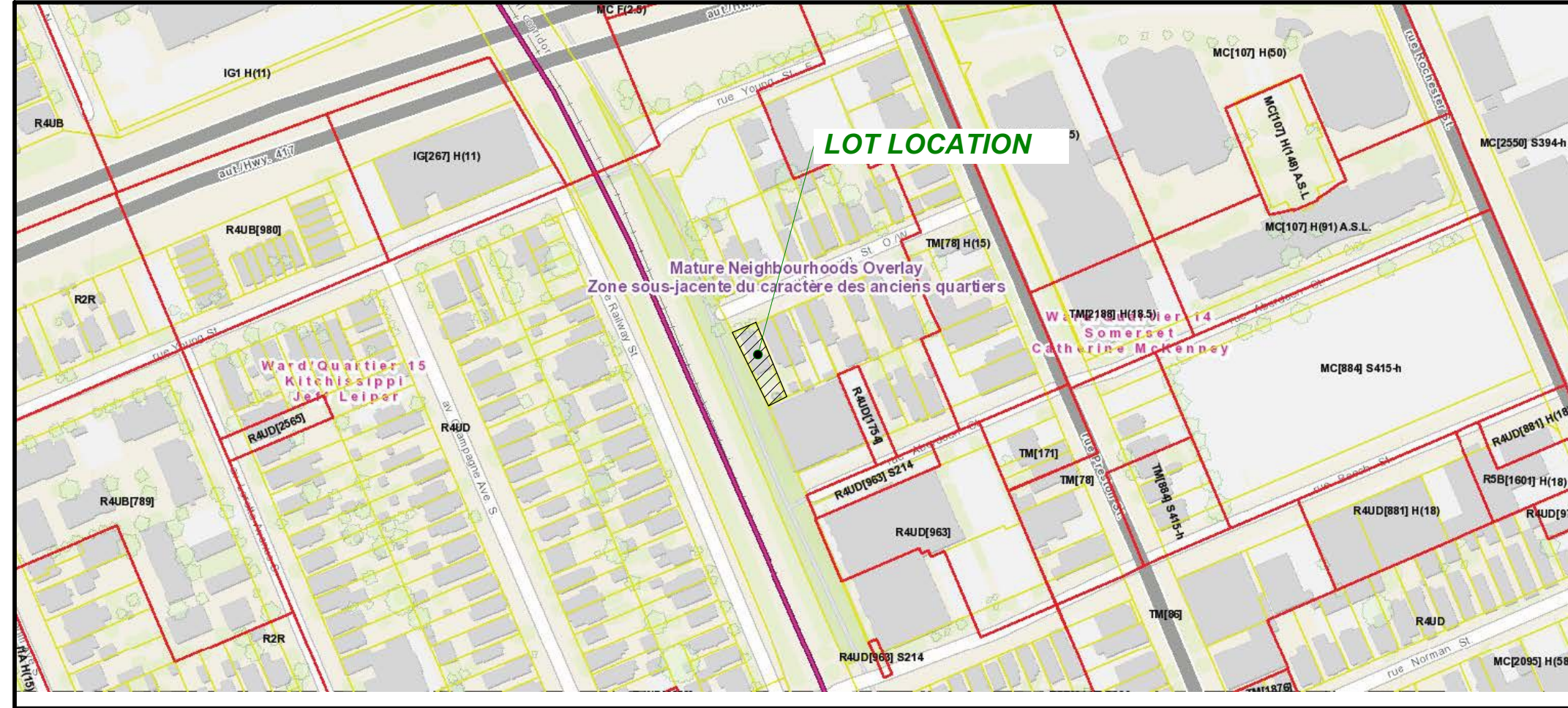
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ANNIS, O'SULLIVAN, VOLLEBEK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2Z 7G6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: nepean@aosvl.com
Job No. 17819-19 1189577 L1 9 PL 46 T F



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1/23/2019 10:59 AM 10/10/2019 10:59 AM 10/10/2019 10:59 AM

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3 KEY PLAN & CONTEXT
A1 SCALE N.T.S.

SITE PLAN OF PART OF LOT 9 (South George Street), REGISTERED PLAN 46 and PART OF BLOCK E REGISTERED PLAN 73 CITY OF OTTAWA

ZONING: R4UD
RESIDENTIAL FOURTH DENSITY (SEC. 161-162) CITY OF OTTAWA
PROPOSED BUILDING TYPE: 3 STOREY, LOW RISE BUILDING w/ 3 x 2-BEDS + 5 x 1-BED
LOT DEPTH: 32.76m (107.5')

ADJACENT ZONING:	436 GEORGE	436 GEORGE	DUPLEX	NOTES
NORTH: R4UD	10.18m	10.18m	10.18m	@ FRONT YARD
SOUTH: R4UD	300m2	306.7m2	306.7m2	
WEST SIDE: R4UD	11.0m	10.54m	-8.0m	
EAST SIDE: R4UD	1.54m	1.54m	1.48m	
ZONING SCHEDULES:	179	179	179	
SCHEDULE 1 AREA- AREA 'B'	9.83m	9.86m	14.4m	30% OF LOT DEPTH
SCHEDULE 1A AREA- AREA 'Z'	REAR YARD AREA: 75.7m2	85.8m2	1.92m	EAST SIDE (M.V.R.)
	INTERIOR YARD: 1.5m	1.33m	3.1m	WEST SIDE (M.V.R.)
	AMENITY AREA: 179	179		
	PARKING SPACES: 0	0	1	
	BIKE SPACES: 4	4	0	
	FT. & LANDS: 20%	68.1%	-	

BUILDING AREAS	REQUIRED	PROPOSED	EXISTING	NOTES
BASEMENT FL. GFA:	-	127.0m2	96.3	
FIRST FL. GFA:	-	145.3m2	96.3	
SECOND FL. GFA:	-	145.3m2	96.3	
THIRD FL. GFA:	-	142.3m2	-	
STORAGE:	-	16.7m2	-	
GARAGE:	-	0.0m2	-	
EXITS (ALL FLOORS):	-	71.2.0m2	-	
TOTAL LIVING:	-	569.9m2	-	
TOTAL ALL AREAS:	-	647.8m2	288.9	

PROPOSED SITE DEVELOPMENT INFO.	REQUIRED	PROPOSED	EXISTING	NOTES
NEW GROSS FLOOR AREA:	569.9m2	-	-	
EX. GROSS FLOOR AREA:	0.0m2	0.0m2	EX. DEMOD	
NUMBER OF UNITS:	8 UNITS	DUPLEX	-	
PROPOSED STOREYS:	3	2	-	
BUILDING COVERAGE:	53.0%	-	-	
SOFT LANDSCAPING CVG.:	26.1%	-	-	
HARD LANDSCAPING CVG.:	17.0%	-	-	
DECKSPORCHSTEPS:	4.0%	-	-	
ASPHALT CVG.:	0.0%	-	-	
OTHER:	0.0%	-	-	

SURVEY INFO.
SURVEY INFO TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT PART 1: PLAN OF PART OF LOT 9, (South George Street) REGISTERED PLAN 46, and PART OF BLOCK E CITY OF OTTAWA
PREPARED BY: ANNIS, O'SULLIVAN, VOLLEBECK LTD.
JULY 31, 2019

SITE NOTES
NEW ROOF DOWN SPOUTS SHALL NOT BE DIRECTED TOWARDS THE ADJACENT PROPERTIES
EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY
ALL GRADE TO SLOPE 2% AWAY FROM FOUNDATION WALL
ALL MEASUREMENTS ARE IMPERIAL AND [METRIC]
EXISTING GRADING AND DRAINAGE PATTERNS NOT TO BE ALTERED

EXISTING PLANTING MATERIAL	CODE	COMMON NAME	QTY.	SIZE (DIA.)	CONDITION/NOTES
DECIDUOUS TREES					
CONIFEROUS TREES					
SHRUBS					

NEW PLANTING MATERIAL	CODE	COMMON NAME	QTY.	SIZE (DIA.)	CONDITION/NOTES
DECIDUOUS TREES	DT1	RED MAPLE	2	50mm Cal.	
CONIFEROUS TREES					
SHRUBS					

TREE CONSERVATION NOTES
1. ERECT A FENCE AT THE CRITICAL ROOT ZONE (CRZ) OF TREES.
2. DO NOT PLACE ANY MATERIAL OR EQUIPMENT WITHIN THE CRZ OF THE TREE.
3. DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE.
4. DO NOT RAISE OR LOWER THE EXISTING GRADE WITHIN THE CRZ WITHOUT APPROVAL.
5. TUNNEL OR BORE WHEN DIGGING WITHIN THE CRZ OF A TREE.
6. DO NOT DAMAGE THE ROOT SYSTEM, TRUNK OR BRANCHES OF ANY TREE.
7. ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARDS ANY TREE'S CANOPY.

* THE CRITICAL ROOT ZONE (CRZ) IS ESTABLISHED AS BEING 10 CENTIMETRES FROM THE TRUNK OF A TREE FOR EVERY CENTIMETRE OF TRUNK DIAMETER AT BREAST HEIGHT (DBH). THE CRZ IS CALCULATED AS DBH x 10 CM.
* TREE PROTECTION FENCE (PF) TO BE ERECTED BEFORE AND REMAIN UNTIL BUILDING CONSTRUCTION HAS COMPLETED AND TO CONSIST OF 1.8m HIGH PLYWOOD HOARDING (SEE DIAGRAM BELOW).

SITE LEGEND

- EX. TREE TO BE REMOVED
- NEW CONIFEROUS TREE
- DENOTES SOFT LANDSCAPING
- DENOTES HARD LANDSCAPING
- EXISTING BUILDING FOOTPRINT
- PROPOSED HONEYCOMB HARD LANDSCAPING
- PROPOSED ASPHALT DRIVEWAY
- PROPOSED WOOD DECKS/ BALCONIES
- CAR PARKING SPACE (ASPHALT)
- BYCYCLE PARKING (ASPHALT)
- WASTE COLLECTION AREA
- SNOW STORAGE AREA
- PROPOSED/EXISTING ENTRY/EXIT
- PF - TEMPORARY PROTECTION FENCE
- EX. UTILITY POLE
- EX. CHAINED LINK/BOARD FENCE
- PROPERTY LINE

WASTE COLLECTION LEGEND

- GB 2 x 360L GARBAGE CONTAINERS
- BB 1 x 360L FIBRE CONTAINER
- B 1 x 360L GML CONTAINER
- O 1 x 240L ORGANICS
- PRIVATE COLLECTION

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1 SITE PLAN
A1 SCALE 5/32" = 1'-0"

AZUL DESIGNS - BCINE 115400

QUALIFICATION INFO
SMALL BUILDINGS
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:
DO NOT SCALE DRAWINGS
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL DISCREPANCIES AND OMISSIONS TO THE ARCHITECT/DESIGNER
COPYRIGHT RESERVED
GENERAL NOTES:

CONSULTANTS:
STRUCTURAL - WISSAM
MECHANICAL
ELECTRICAL - MDV

4	MINOR VARIANCE SUBMISSION	03/02/23
3	SITE PLAN SUBMISSION	02/04/21
2	SITE PLAN SUBMISSION	02/04/21
1	PRELIMINARY	03/05/19

NO. REVISED/ISSUE DATE
PROJECT: 436 GEORGE STREET
436 GEORGE ST
OTTAWA, ON K1S 3J1
613-000-0000

DRAWING NAME: SITE PLAN

BROWN M SHEET
DATE: MAR. 6, 2019
SCALE: AS NOTED

FILE NUMBER: D00-00-00-000

436 GEORGE STREET
SCOPE OF WORK: NEW 3-STOREY, 8 UNIT LOW RISE RESIDENTIAL BUILDING

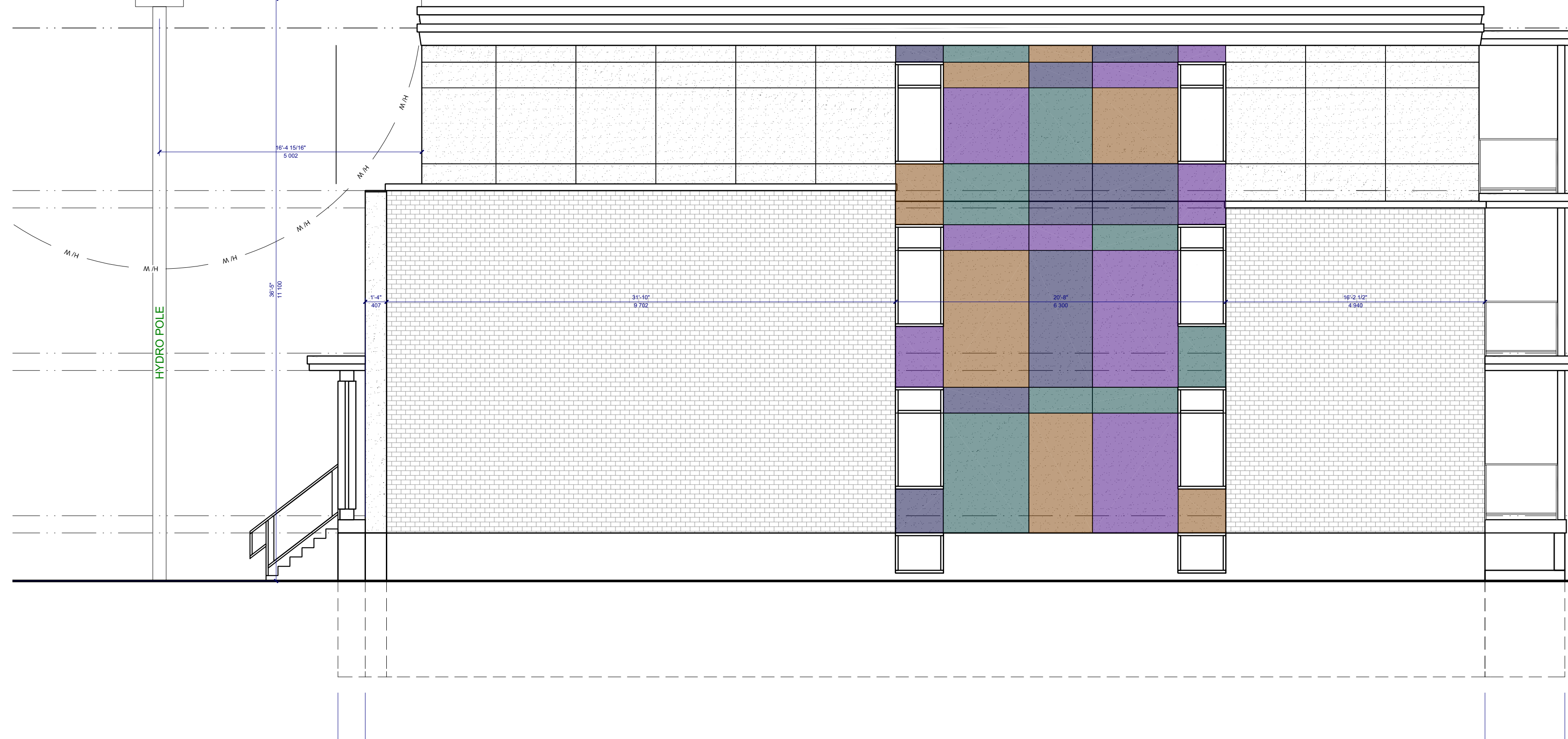
LOT 11
North Aberdeen Street Lots
REGISTERED PLAN 49700

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TOTAL FRONT FACADE AREA: 936.5 R2 / 87.0 m2
TOTAL WINDOW AREA: 353 R2 / 32.8 m2 @ 80% GLAZING = 282.4 R2 / 26.2 m2
PERCENTAGE OF GLAZING TO TOTAL FACADE AREA = 30.2%



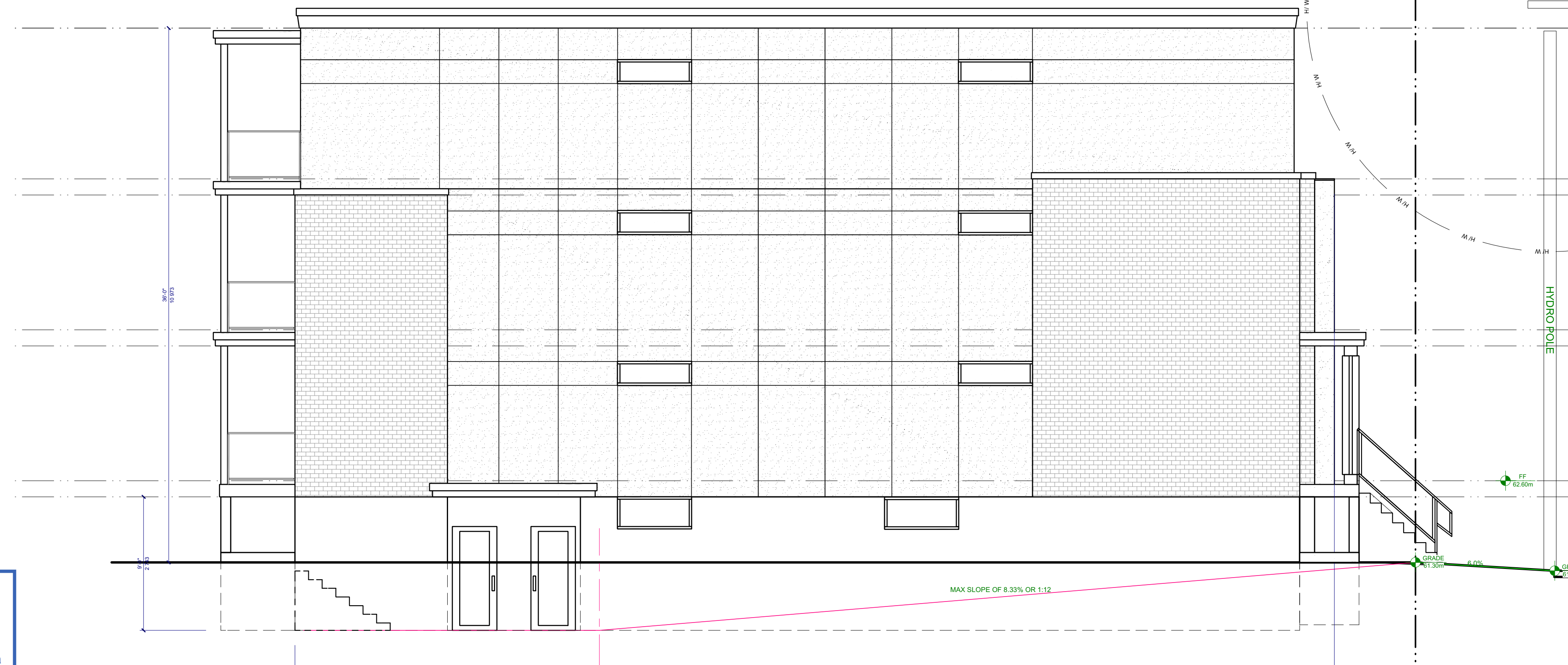
1 NORTH ELEVATION
A3 SCALE 3/16" = 1'-0"



2 WEST ELEVATION
A3 SCALE 3/16" = 1'-0"



3 SOUTH ELEVATION
A4 SCALE 3/16" = 1'-0"



4 EAST ELEVATION
A4 SCALE 3/16" = 1'-0"

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COPYRIGHT RESERVED
GENERAL NOTES:

436 GEORGE STREET
SCOPE OF WORK: NEW 3-STORY, 8 UNIT LOW RISE RESIDENTIAL BUILDING

CONSULTANTS:	STRUCTURAL - WISSAM	MECHANICAL -	ELECTRICAL -	MDY
NO.	REVISION/ISSUE	DATE		
1	PRELIMINARY	02/05/19		
2	SITE PLAN SUBMISSION	02/04/21		
3	SITE PLAN SUBMISSION	02/04/21		
4	MINOR VARIANCE SUBMISSION	03/02/23		
PROJECT: 436 GEORGE STREET				
436 GEORGE ST OTTAWA, ON K1S-3J1 613-000-0000				
DRAWING NAME: PROPOSED ELEVATIONS				
DRAWN BY:	M	SHEET:	A3	
DATE:	MAR. 6, 2019	SCALE:	AS NOTED	

FILE NUMBER: D00-00-00-000