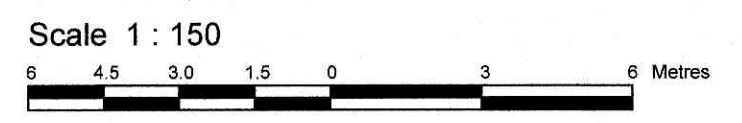


Notes & Legend

Denotes			
□	Survey Monument Planted	CRW	Concrete Retaining Wall
■	Survey Monument Found	○ MH-ST	Maintenance Hole (Storm Sewer)
SIB	Standard Iron Bar	○ MH-S	Maintenance Hole (Sanitary)
SSIB	Short Standard Iron Bar	○ MH-H	Maintenance Hole (Hydro)
IB	Iron Bar	□ CB	Catch Basin
IBØ	Round Iron Bar	CLF	Chain Link Fence
CC	Cut Cross	BF	Board Fence
(WIT)	Witness	○ UP	Utility Pole
Meas.	Measured	○ AN	Anchor
(AOG)	Annis, O'Sullivan, Vollebakk Ltd.	∅	Diameter
(P1)	(AOG) Plan dated January 8, 2019	+ 65.00	Location of Elevations
(P2)	Carleton Condominium Plan No. 280	+ 65.00*	Top of Wall Elevations
(P3)	(1287) Plan July 23, 2002	+ 65.00**	Underside of Overhang Elevations
(P4)	(647) Plan July 21, 1961	+ 65.00	Top of Concrete Curb Elevation
(DI)	Instrument N735174	T/G	Top of Grate
GM	Gas Meter	—	Property Line
FH	Fire Hydrant	—	Overhead Wires
fdn.	Foundation	○	Deciduous Tree
C/L	Centreline		

TOPOGRAPHICAL PLAN OF SURVEY OF
PART OF LOT M
CONCESSION C (RIDEAU FRONT)
Geographic Township of Nepean
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.



Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the regulations made under them.
2. The survey was completed on the 17th day of December, 2020.

February 26, 2021
Date
A.J. Broxham
Andrew J. Broxham
Ontario Land Surveyor

Bearings are astronomic, and derived from the southerly limit of Carleton Condominium Plan No. 280, shown to be N 48°34'50" E thereon.

ELEVATION NOTES
1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

SITE AREA = 307.4 m²

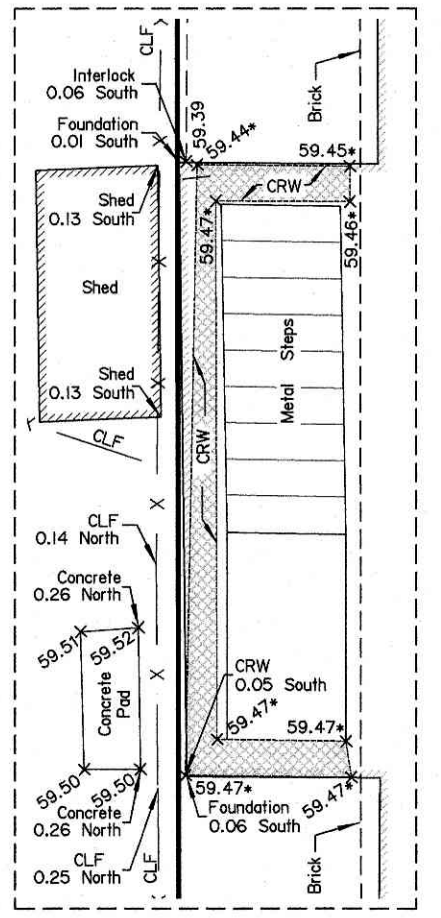
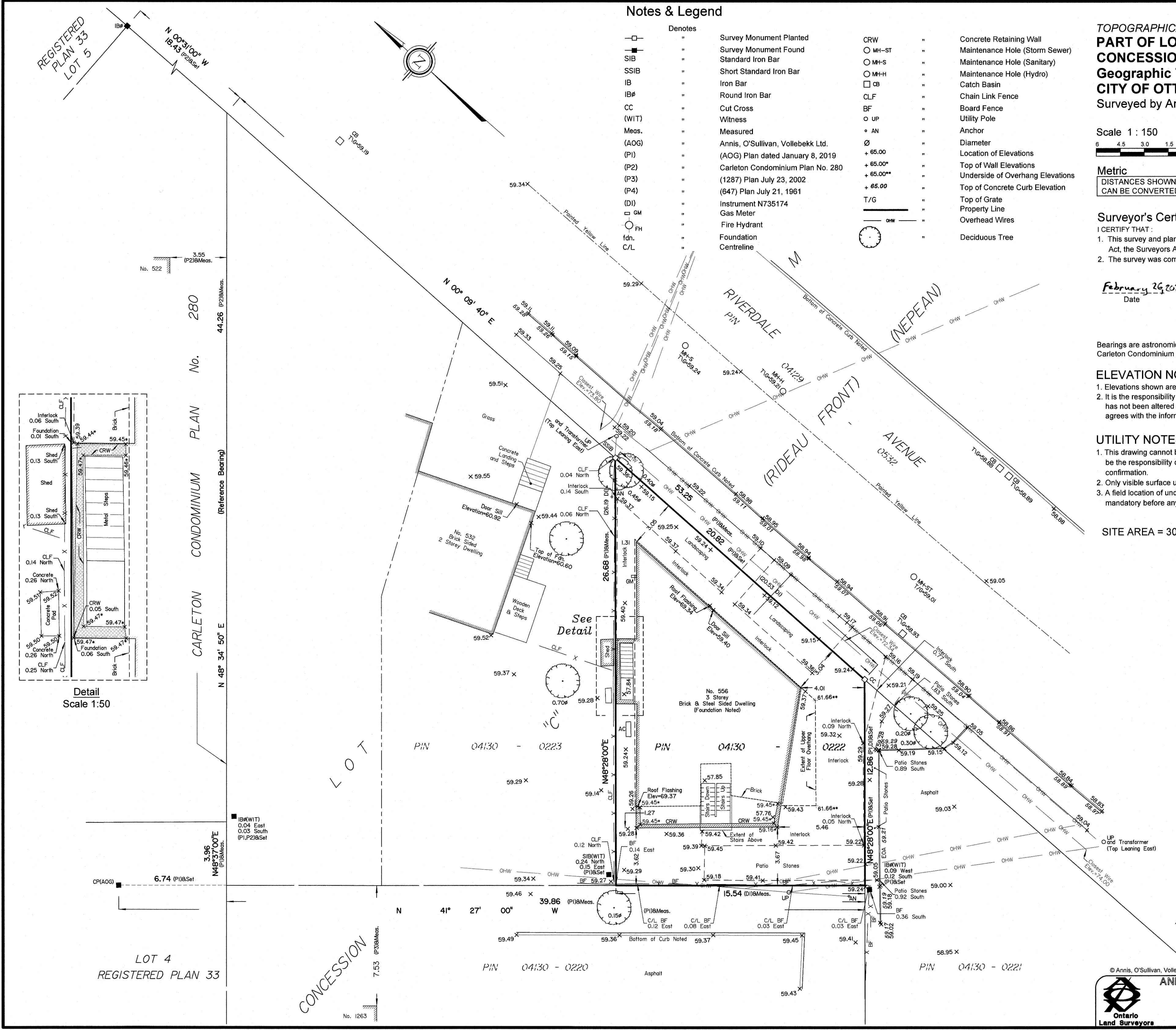
ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1982456

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29 (3).

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2023-03-13
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JOB BENCHMARK
Fire Hydrant
Top of Spindle
Elevation=59.79

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ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: Nepean@aovltd.com
Ontario Land Surveyors
Job No. 17439-20 556Rivdale PRT_LMConCRF T D



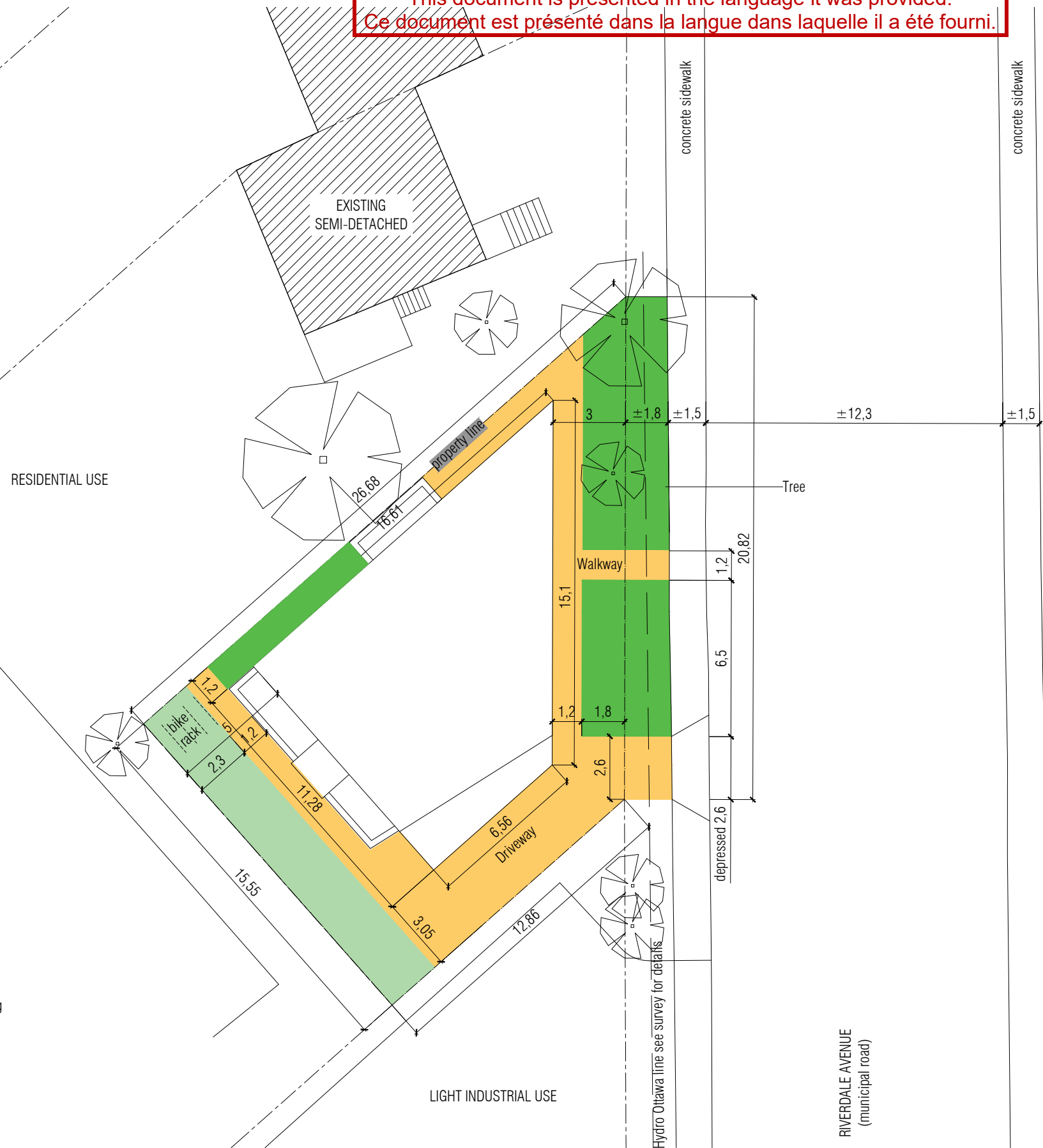
CARLETON CONDOMINIUM PLAN No. 280
N 48° 34' 50" E
(Reference Bearing)

CONCESSION
N 48° 37' 00" E
(P1)8Meas.

LOT 4
REGISTERED PLAN 33

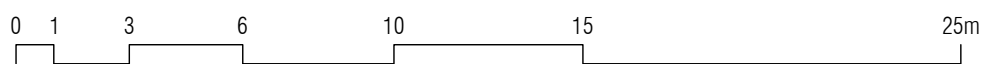
No. 1263

This document is presented in the language it was provided.
 Ce document est présenté dans la langue dans laquelle il a été fourni.



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- SOFT LANDSCAPING (LAWN) - existing
- PAVERS - existing
- GRASS-PAVERS - existing



client _____
556 Riverdale Inc.
 34, Glencairn Ave.
 Ottawa, ON K1S 1M6

architecture _____
ITTUE
 307-2325, rue du Centre
 Montréal QC H3K1J6
 1 (514) 636-0864
 www.ittue.com

revision	date	description
0	2022/01/01	Site Plan Control
1	2022/12/19	Building Permit Application
2	2023/01/05	Building Permit Application

project _____
Interior transformation
 556, Riverdale Ave.
 Ottawa ON K1S 1S5

number _____
013

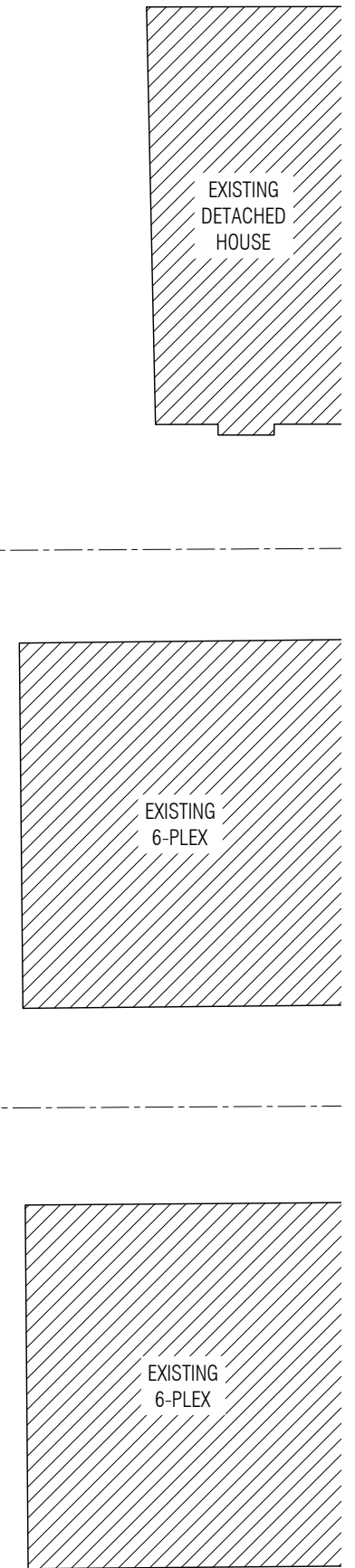
title _____
Site plan

scale _____ by _____
1:200 **ft**

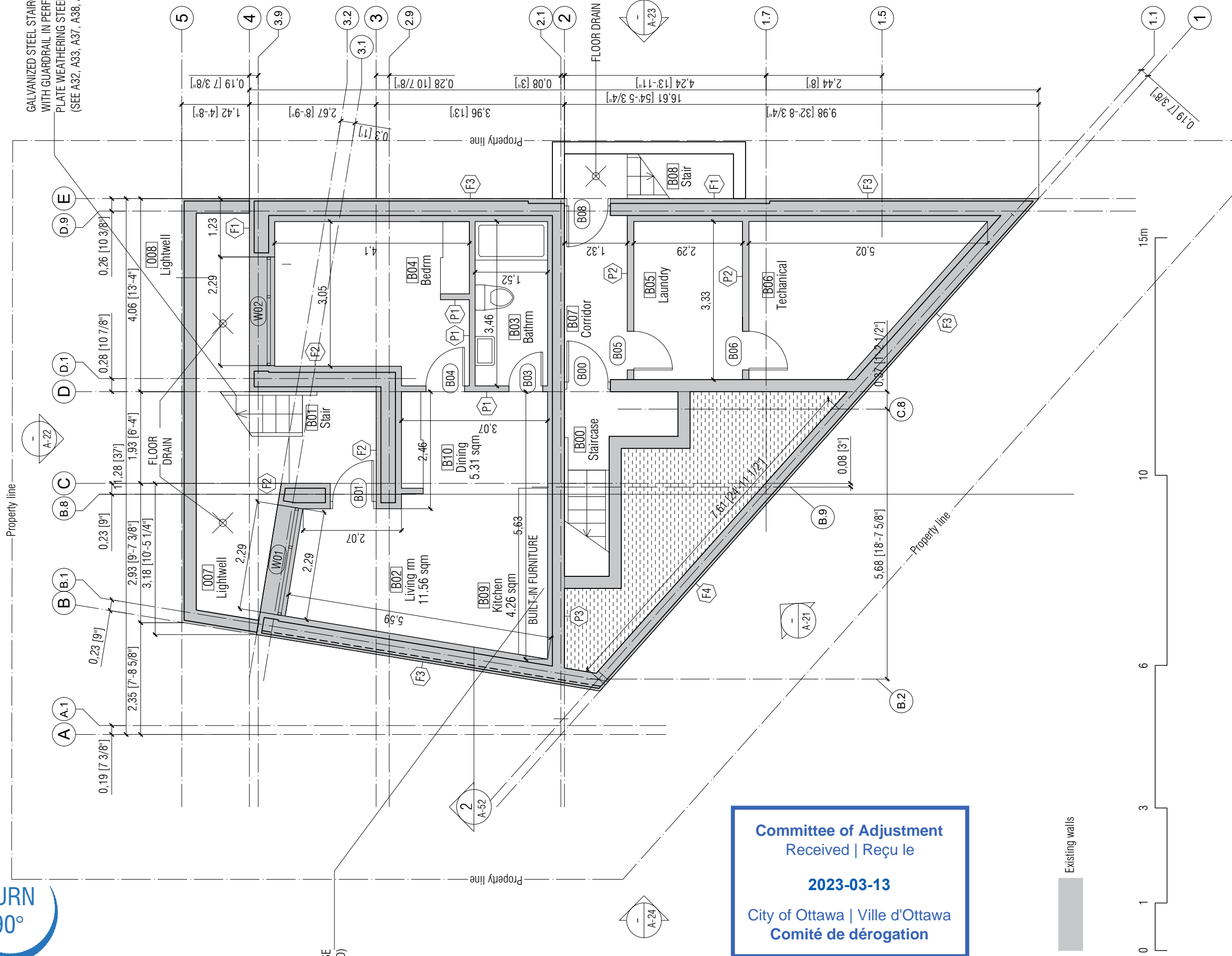
issued for _____
Building Permit

date _____
2023/01/05

sheet _____ revision _____
A09 **2**



GALVANIZED STEEL STAIRCASE
WITH GUARDRAIL IN PERFORATED
PLATE WEATHERING STEEL
(SEE A32, A33, A37, A38, A39...)



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2023-03-13
 City of Ottawa | Ville d'Ottawa
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Existing walls



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2	2023/01/05	Building Permit Application

project
Interior transformation
 556, Riverdale Ave.
 Ottawa ON K1S 1S5

number
013
 title
Basement

scale
1:80 by **ft**
 issued for
Building Permit
 date
2023/01/05

sheet
A10 revision
2

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2023-03-13

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client
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architecture

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0	2022/01/01	Site Plan Control
1	2022/12/19	Building Permit Application
2	2023/01/05	Building Permit Application

project
Interior transformation
556, Riverdale Ave.
Ottawa ON K1S 1S5

number
013

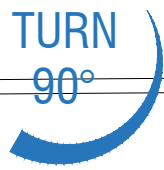
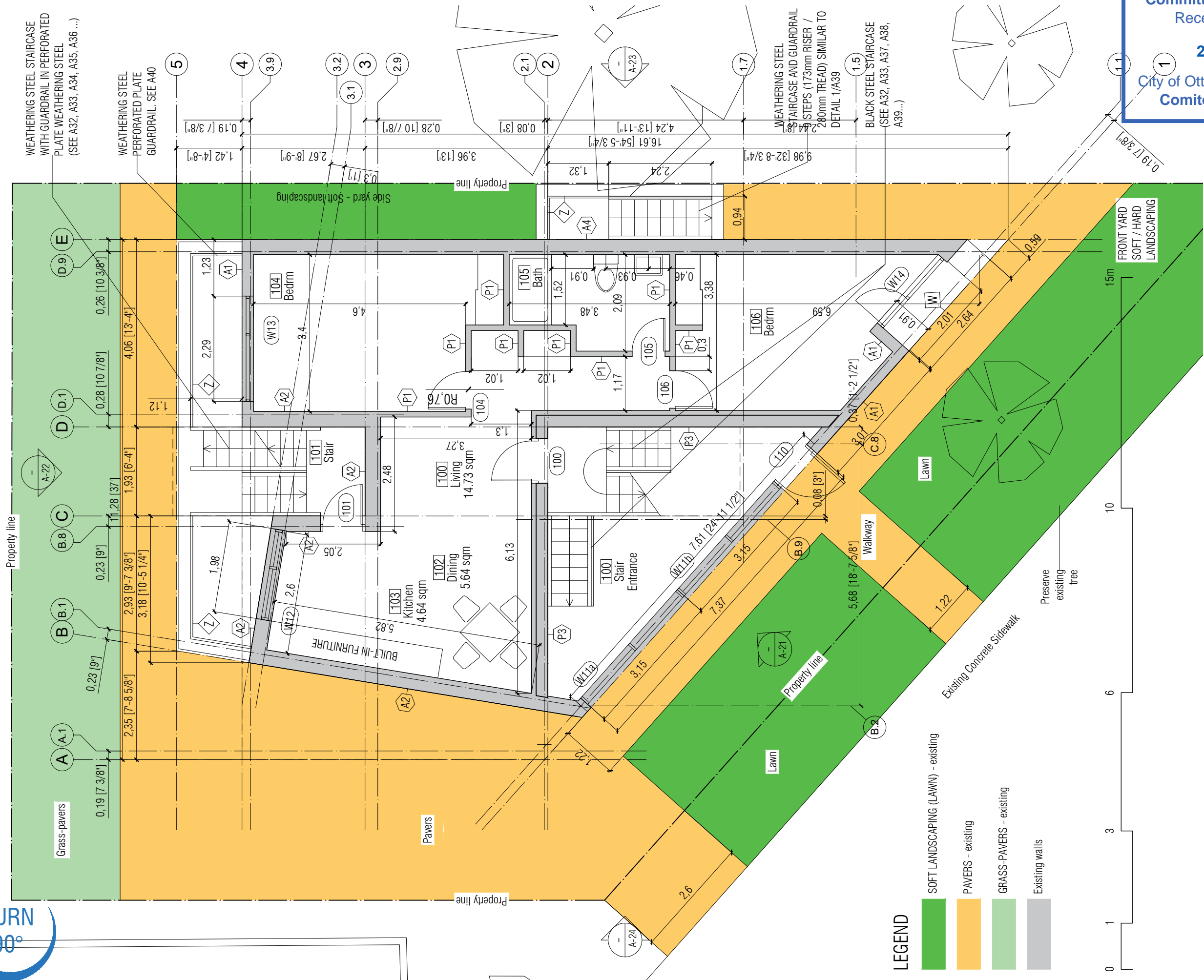
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First Floor

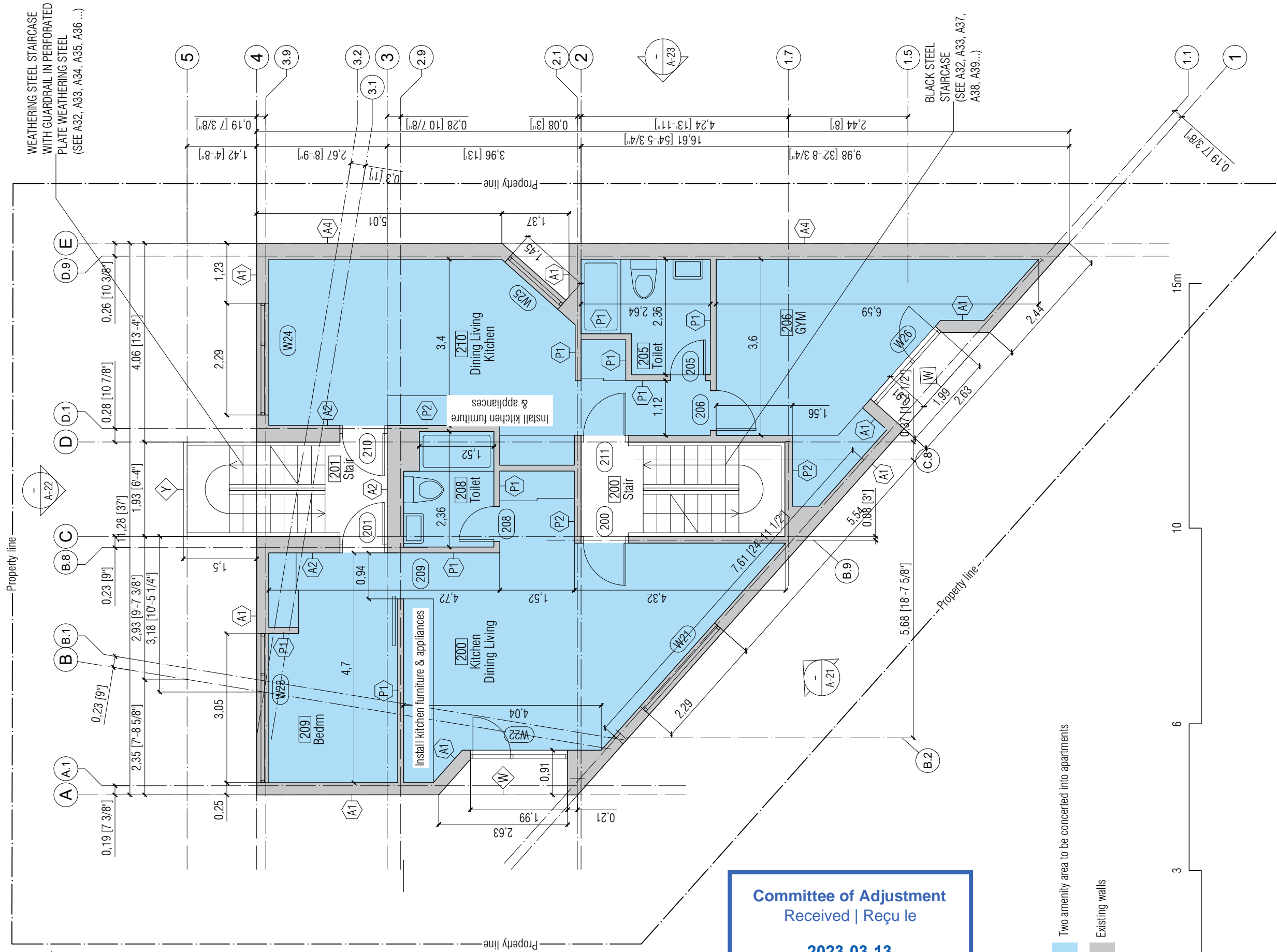
scale
1:80 by **ft**

issued for
Building Permit

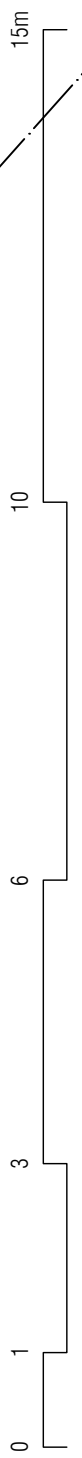
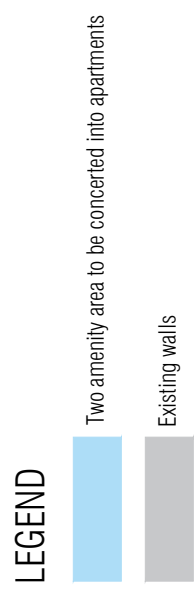
date
2023/01/05

sheet
A11 revision **2**





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revision	date	description
0	2022/01/01	Site Plan Control
1	2022/12/19	Building Permit Application
2	2023/01/05	Building Permit Application

project _____
Interior transformation
 556, Riverdale Ave.
 Ottawa ON K1S 1S5

number _____
013
 title _____
Second Floor

scale _____ by _____
1:80 **ft**

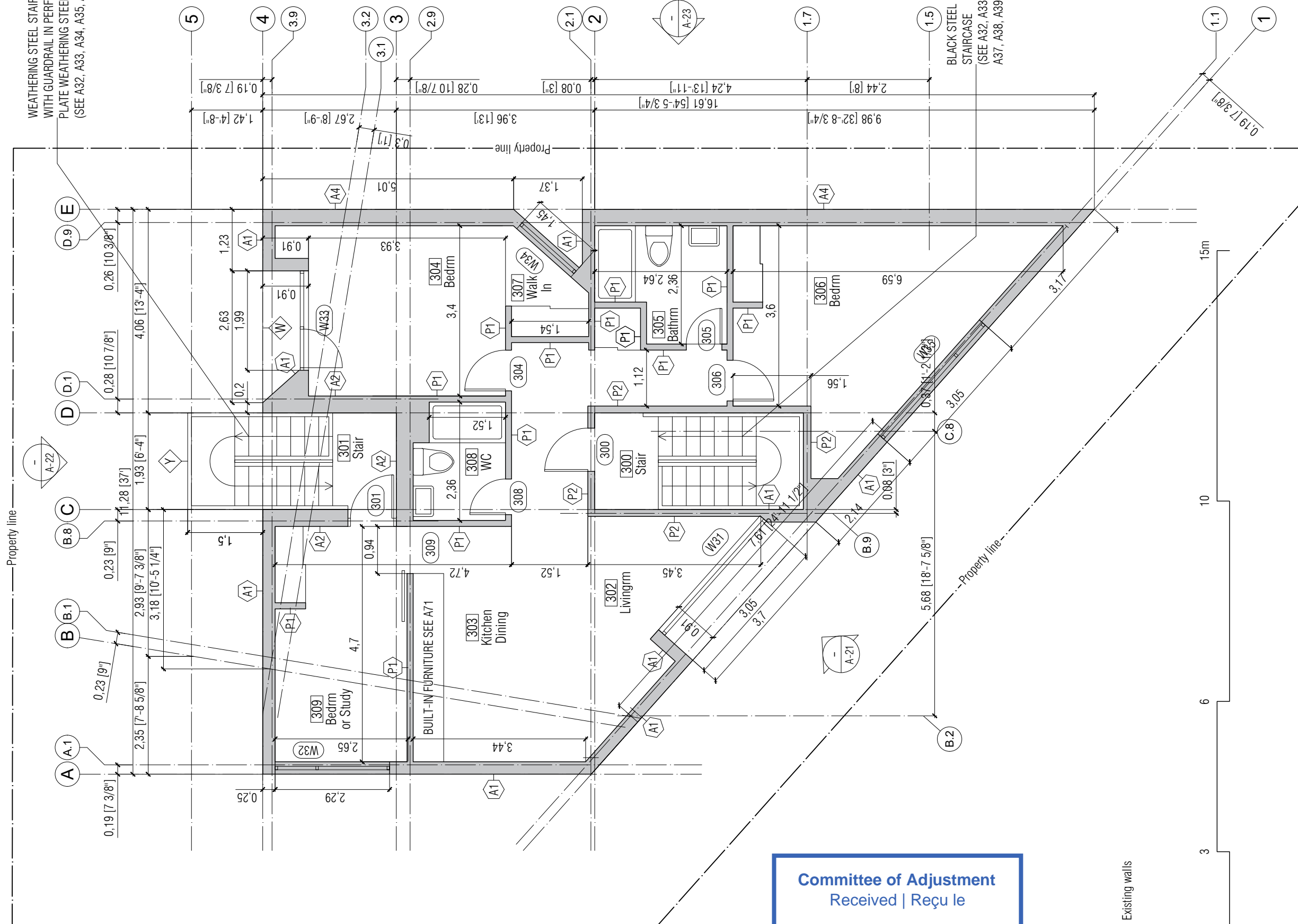
issued for _____
Building Permit

date _____
2023/01/05

sheet _____ revision _____
A12 **2**

WEATHERING STEEL STAIRCASE
WITH GUARDRAIL IN PERFORATED
PLATE WEATHERING STEEL
(SEE A32, A33, A34, A35, A36 ...)

BLACK STEEL
STAIRCASE
(SEE A32, A33,
A37, A38, A39...)



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2023-03-13

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LEGEND
Existing walls

client
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Ottawa, ON K1S 1M6

architecture
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revision	date	description
0	2022/01/01	Site Plan Control
1	2022/12/19	Building Permit Application
2	2023/01/05	Building Permit Application

project
Interior transformation
556, Riverdale Ave.
Ottawa ON K1S 1S5

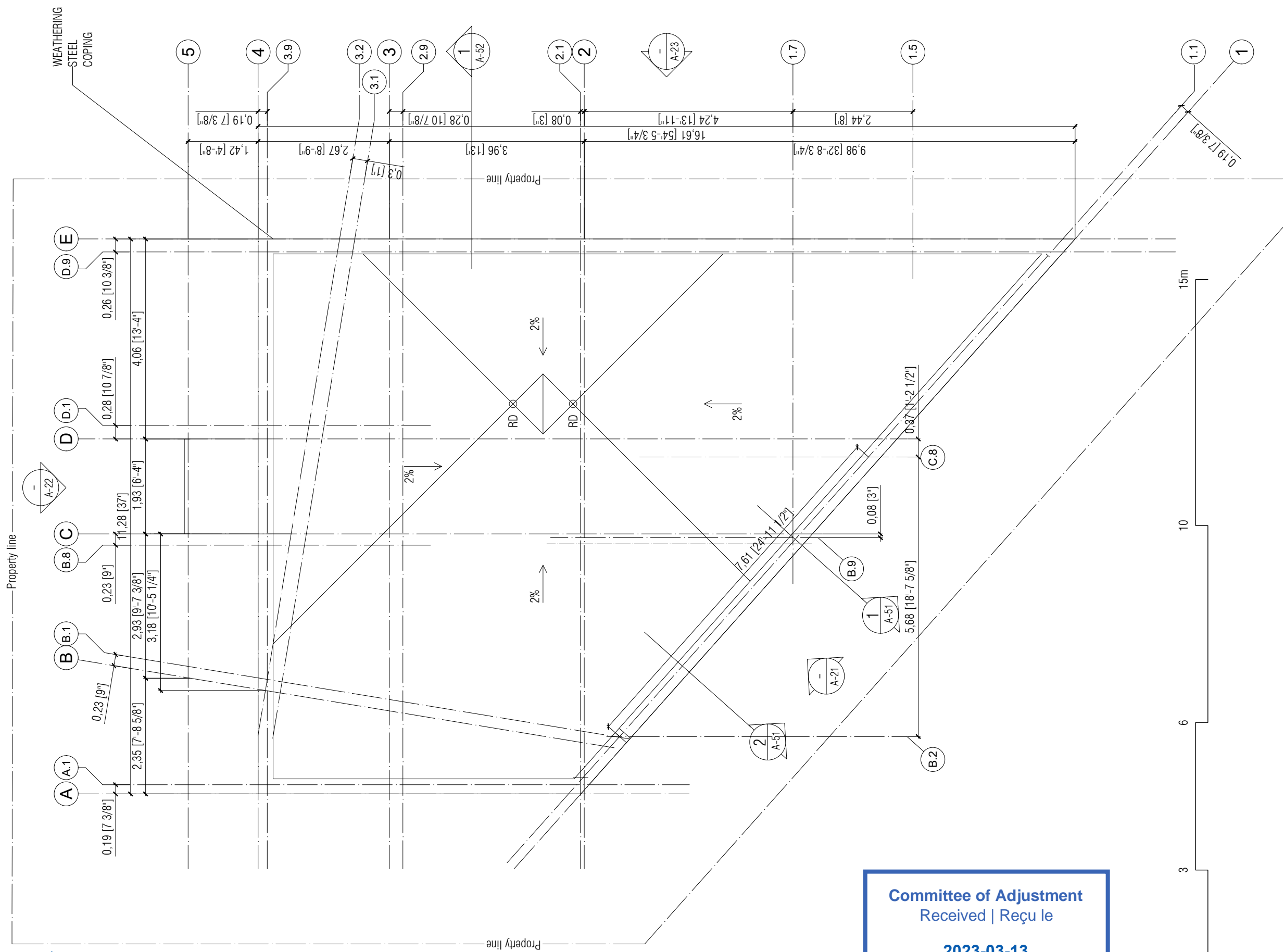
number
013
title
Third Floor

scale
1:80 by **ft**

issued for
Building Permit

date
2023/01/05

sheet
A13 revision **2**



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2023-03-13
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architecture _____
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revision	date	description
0	2022/01/01	Site Plan Control
1	2022/12/19	Building Permit Application
2	2023/01/05	Building Permit Application

project _____
Interior transformation
 556, Riverdale Ave.
 Ottawa ON K1S 1S5

number _____
013
 title _____
Roof

scale _____ by _____
1:80 **ft**

issued for _____
Building Permit
 date _____
2023/01/05

sheet _____ revision _____
A14 **2**



EXPOSED BUILDING FACES

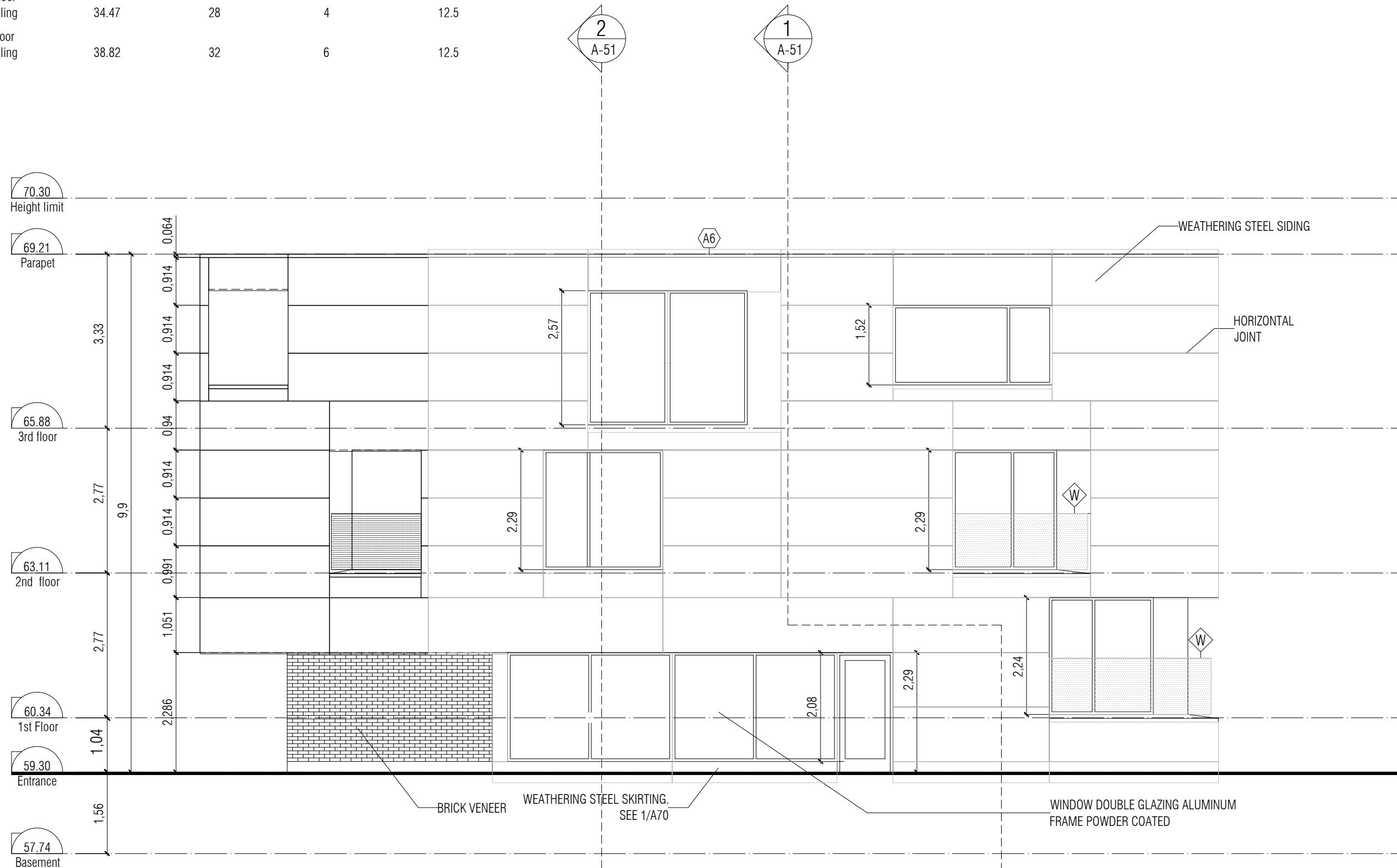
1. fire compartment	2. area (sq m)	3. unprotected openings (%)	4. required limiting distance (m)	5. actual limiting distance (m)
grade level entrance hall	26.82	66	6	12.5
basement service rooms	2.94	0	0	12.5
basement + 1 st floor dwelling	9.68	47	3	13.25
2 nd floor dwelling	34.47	28	4	12.5
3 rd floor dwelling	38.82	32	6	12.5

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2023-03-13
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client _____
556 Riverdale Inc.
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architecture _____

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revision	date	description
0	2022/01/01	Site Plan Control
1	2022/12/19	Building Permit Application
2	2023/01/05	Building Permit Application

project _____
Interior transformation
 556, Riverdale Ave.
 Ottawa ON K1S 1S5

number _____
013
 title _____
East Elevation

scale _____ by _____
1/80 by **ft**

issued for _____
Building Permit

date _____
2023/01/05

sheet _____ revision _____
A21 ²

EXPOSED BUILDING FACES

1. fire compartment	2. area (sq m)	3. unprotected openings (%)	4. required limiting distance (m)	5. actual limiting distance (m)
basement + 1 st floor dwelling	29.80	35	4	5
2 nd floor dwelling	25.74	32	4	5
3 rd floor dwelling	29.00	15	2.5	5.75

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Comité de dérogation

client _____
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architecture _____

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revision	date	description
0	2022/01/01	Site Plan Control
1	2022/12/19	Building Permit Application
2	2023/01/05	Building Permit Application

project _____
Interior transformation
 556, Riverdale Ave.
 Ottawa ON K1S 1S5

number _____
013

title _____
West Elevation

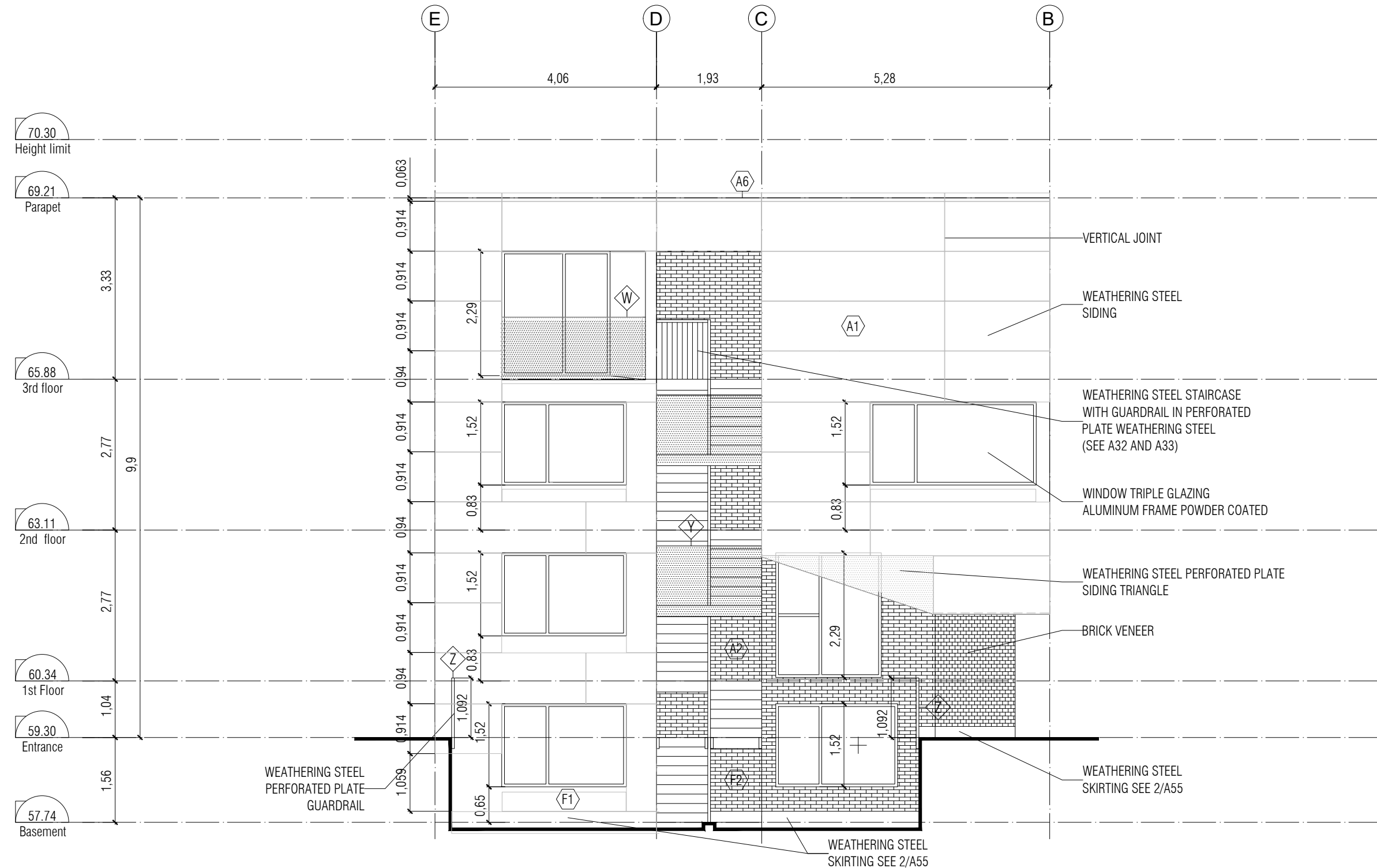
scale _____ by _____
1:80 **ft**

issued for _____
Building Permit

date _____
2023/01/05

sheet _____ revision _____

A22



EXPOSED BUILDING FACES

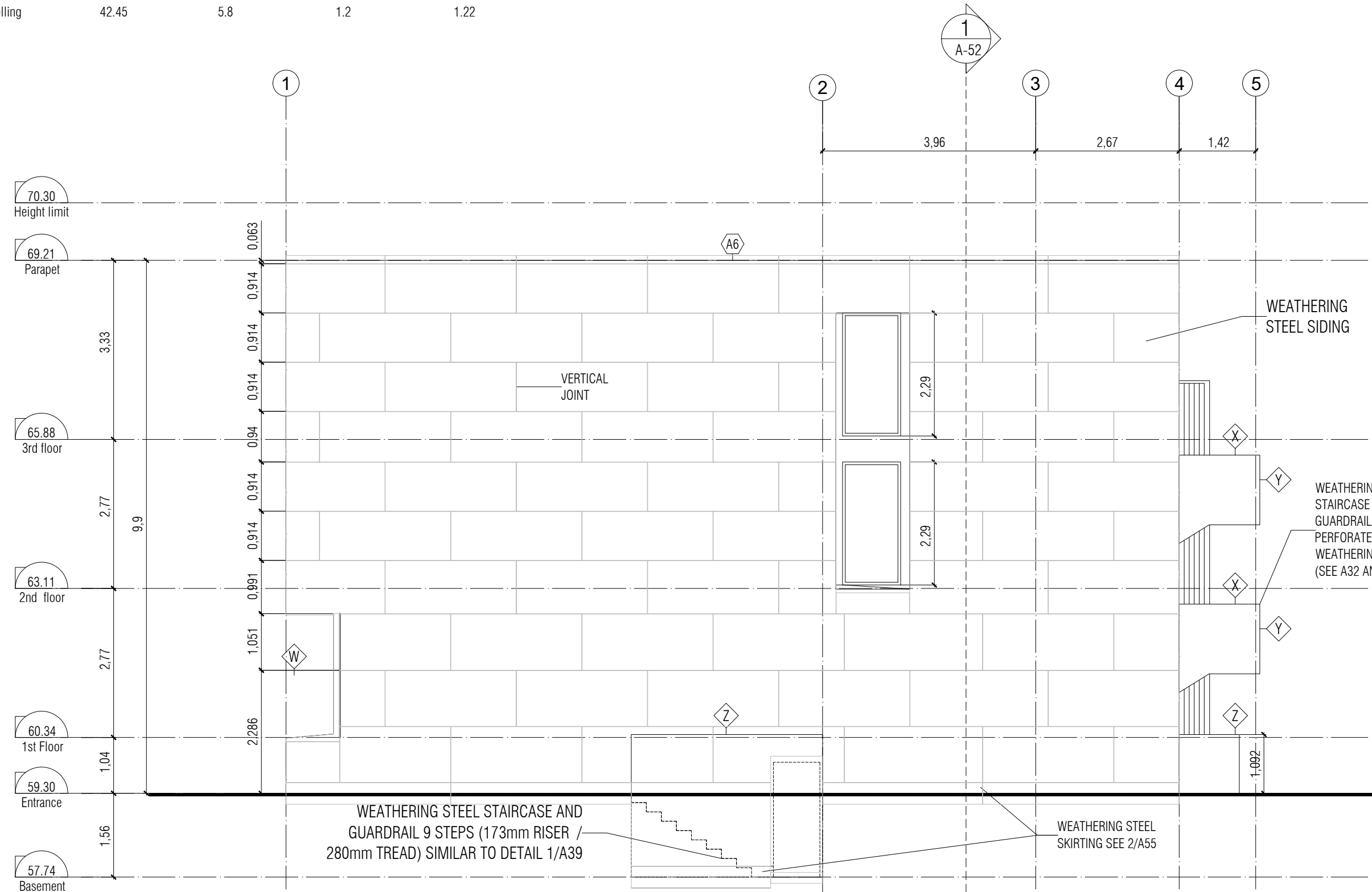
1. fire compartment	2. area (sq m)	3. unprotected openings (%)	4. required limiting distance (m)	5. actual limiting distance (m)
basement service rooms	6.34	7.8	1.2	1.22
basement+1 st floor dwelling	41.92	0	0	1.22
2 nd floor dwelling	37.69	6.5	1.2	1.22
3 rd floor dwelling	42.45	5.8	1.2	1.22

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client _____
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revision	date	description
0	2022/01/01	Site Plan Control
1	2022/12/19	Building Permit Application
2	2023/01/05	Building Permit Application

project _____
Interior transformation
 556, Riverdale Ave.
 Ottawa ON K1S 1S5

number _____
013
 title _____
North Elevation

scale _____ by _____
1:80 **ft**

issued for _____
Building Permit

date _____
2023/01/05

sheet _____ revision _____
A23 **2**

EXPOSED BUILDING FACES

1. fire compartment	2. area (sq m)	3. unprotected openings (%)	4. required limiting distance (m)	5. actual limiting distance (m)
basement + 1 st floor dwelling	19.88	0	0	3.75
2 nd floor dwelling	15.09	30	3	3.8
3 rd floor dwelling	17.00	24	3	3.05

Committee of Adjustment
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2023-03-13

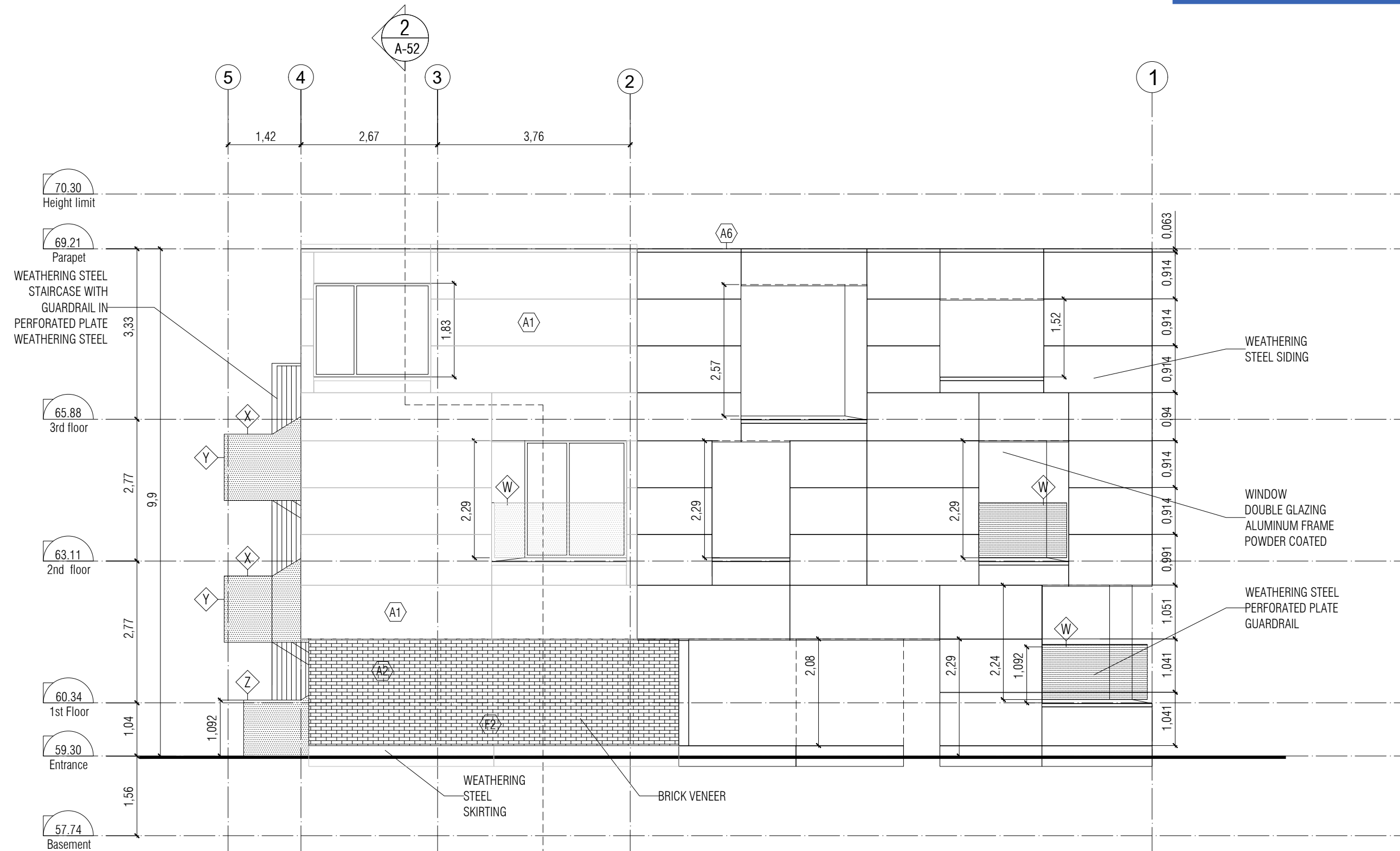
 City of Ottawa | Ville d'Ottawa
Comité de dérogation

client _____
556 Riverdale Inc.
 34, Glencairn Ave.
 Ottawa, ON K1S 1M6

architecture _____

ITTUE

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revision	date	description
0	2022/01/01	Site Plan Control
1	2022/12/19	Building Permit Application
2	2023/01/05	Building Permit Application

project _____
Interior transformation
 556, Riverdale Ave.
 Ottawa ON K1S 1S5

number _____
013

title _____
South Elevation

scale _____ by _____
1:80 ft

issued for _____
Building Permit

date _____
2023/01/05

sheet _____ revision _____
A24 ²

Committee of Adjustment
 Received | Reçu le

2023-03-13

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Comité de dérogation

client _____
556 Riverdale Inc.
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architecture _____

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revision	date	description
0	2022/01/01	Site Plan Control
1	2022/12/19	Building Permit Application
2	2023/01/05	Building Permit Application

project _____
Interior transformation
 556, Riverdale Ave.
 Ottawa ON K1S 1S5

number _____
013

title _____
Section

scale _____ by _____
1:80 **ft**

issued for _____
Building Permit

date _____
2023/01/05

sheet _____ revision _____
A25 **2**

