

LOCATION MAP  
SCALE: N.T.S.

LEGAL DESCRIPTION  
PART OF LOT 33  
REGISTERED PLAN No. 83  
PIN 04094-0163  
CITY OF OTTAWA

SURVEY PREPARED BY:  
FAIRHALL, MOFFATT & WOODLAND LTD.  
ONTARIO LAND SURVEYORS  
DATED: 28 SEPTEMBER 2022

243 CARRUTHERS AVENUE - TRIPLEX

ZONING BY-LAW 2008-250  
R4UB  
SECTION 139 - LOW-RISE RESIDENTIAL IN ALL NEIGHBOURHOODS WITHIN THE GREENBELT  
SECTION 140 - LOW-RISE RESIDENTIAL DEVELOPMENT WITHIN THE MATURE NEIGHBOURHOODS OVERLAY  
SECTION 144 - ALTERNATIVE YARD SETBACKS AFFECTING LOW-RISE RESIDENTIAL IN THE R1 TO R4 ZONES WITHIN THE GREENBELT

PERFORMANCE STANDARD	BY-LAW REQUIRED	PROVIDED	MINOR VARIANCE
STREETSCAPE CHARACTER ANALYSIS FRONT FACING GARAGE OR GARPORT	CHARACTER GROUP A NOT PERMITTED	NONE	
STREETSCAPE CHARACTER ANALYSIS DRIVEWAY PERMITTED	CHARACTER GROUP B SINGLE PERMITTED	SHARED OR SINGLE DRIVEWAY	
STREETSCAPE CHARACTER ANALYSIS PRINCIPAL ENTRY LOCATION	CHARACTER GROUP A FRONT FACADE ENTRY	FRONT FACADE ENTRY	
MINIMUM LOT DEPTH (LD)	NA	28.19 m	
MINIMUM LOT WIDTH	10.0 m	10.06 m	
MINIMUM LOT AREA (LA)	300.0 sq.m	289.9 sq.m	REQUIRED
MAXIMUM BUILDING HEIGHT (H)	11.0 m	10.37 m	
MINIMUM FRONT YARD SETBACK (F)	1.60 m	1.60 m	
MINIMUM FRONT YARD AREA (FYA)	NA	17.47 sq.m	
MIN. FRONT YARD LANDSCAPE AREA	3.49 sq.m (20% OF FYA)	11.98 sq.m (68.5% OF FYA)	
MINIMUM INTERIOR SIDE YARD SETBACK	1.20 m	1.20 m	
MINIMUM REAR YARD SETBACK	0.457 m (30% OF LD)	0.457 m (30% OF LD)	
MINIMUM REAR YARD AREA (v)	70.95 sq.m (25% OF LA)	42.91 sq.m (32.7% OF LA)	
MINIMUM TOTAL REAR YARD LANDSCAPE AREA	35.0 sq.m	49.26 sq.m	
MINIMUM (I) AGGREGATED RECTANGLE REAR YARD LANDSCAPE AREA	25.0 sq.m	31.88 sq.m	
MAXIMUM (I) AGGREGATED RECTANGLE REAR YARD LANDSCAPE AREA DIMENSIONS (v)	LONG SIDE (L) 2x SHORTER SIDE	LONG SIDE 1.20x SHORTER SIDE	
MINIMUM FRONT FACADE AREA (FFA)	NA	64.07 sq.m	
MINIMUM FRONT FACADE GLAZING AREA	17.27 sq.m (25% OF FFA)	24.08 sq.m (34.8% OF FFA)	
MINIMUM FRONT FACADE RECESSED AREA	13.81 sq.m (20% OF FFA)	20.83 sq.m (30.1% OF FFA)	
MINIMUM FRONT FACADE RECESS	0.60 m	0.91 m	
MINIMUM ACCESSORY SIDE LOT LINE SETBACK	0.60 m	0.91 m	
MINIMUM ACCESSORY REAR LOT LINE SETBACK	0.60 m	0.60 m	
MINIMUM ACCESSORY FLOOR AREA	2.0 sq.m	2.22 sq.m	
MINIMUM ACCESSORY TOTAL VOLUME	9.50 cu.m	4.07 cu.m	
PARKING SPACES PERMITTED	PERMITTED	1	
MAXIMUM DRIVEWAY WIDTH	3.0 m	3.0 m	

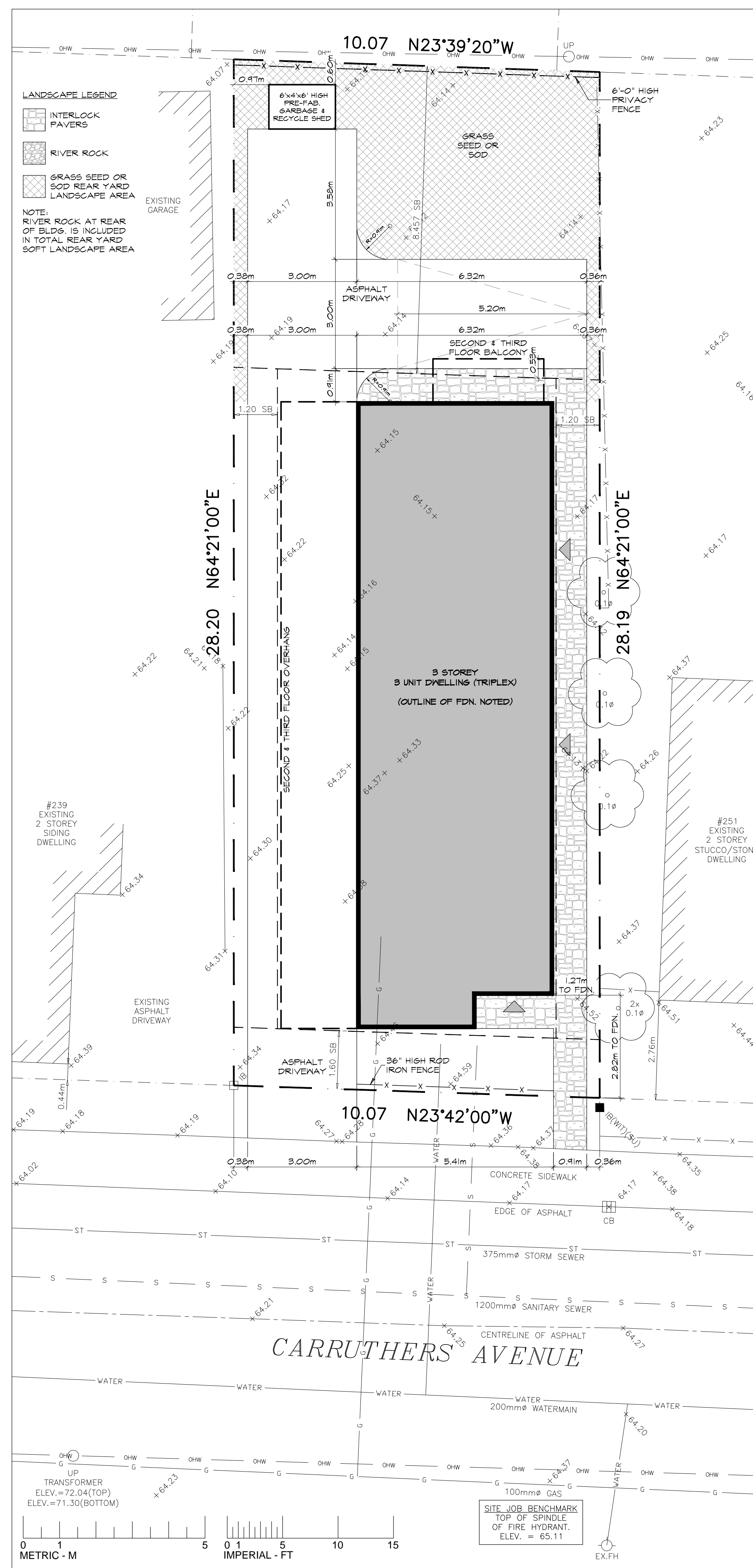
I BUILDING HEIGHT CALCULATED FROM THE EXISTING AVERAGE GRADE PRIOR TO ANY SITE ALTERATIONS.  
II FRONT YARD SETBACK IS THE AVERAGE OF THE ADJACENT LOTS EXISTING SETBACK, BUT NEED NOT EXCEED THE MIN. REQUIRED FOR SUBZONE.  
III REAR YARD LANDSCAPE RECTANGLE AREA DIMENSIONS - LONG SIDE = 6.17 m & SHORT SIDE = 5.16 m.

EXISTING AVERAGE GRADE CALCULATION - TO BE CONFIRMED BY SURVEYOR OR CIVIL

	LEFT	RIGHT	
FRONT EXISTING GRADE	64.33 m	64.48 m	
REAR EXISTING GRADE	64.20 m	64.04 m	64.21 m

243 CARRUTHERS AVENUE - BUILDING INFORMATION

FOOTPRINT		- 127.59 sq.m (1379.40 sq.ft)
FOUNDATION AREA	0/S FOUNDATION	- 41.22 sq.m (442.87 sq.ft)
GROUND FLOOR AREA	0/S CLADDING	- 42.37 sq.m (454.28 sq.ft)
GROUND FLOOR AREA	0/S FRAMING	- 86.10 sq.m (926.75 sq.ft)
GROUND FLOOR AREA	1/S FRAMING	- 74.98 sq.m (810.40 sq.ft)
SECOND FLOOR AREA	0/S CLADDING	- 126.29 sq.m (1368.80 sq.ft)
SECOND FLOOR AREA	0/S FRAMING	- 122.35 sq.m (1317.0 sq.ft)
SECOND FLOOR AREA	1/S FRAMING	- 115.64 sq.m (1244.74 sq.ft)
THIRD FLOOR AREA	0/S CLADDING	- 125.92 sq.m (1365.44 sq.ft)
THIRD FLOOR AREA	0/S FRAMING	- 122.35 sq.m (1317.0 sq.ft)
THIRD FLOOR AREA	1/S FRAMING	- 115.64 sq.m (1244.74 sq.ft)



ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.  
ALL CONTRACTORS MUST COMPLY WITH ALL CODES, BYLAWS & OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.  
ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE.  
DO NOT SCALE DRAWINGS.

**Committee of Adjustment**  
Received | Reçu le  
**Revised | Modifié le : 2023-04-18**  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

NO.	REVISION	DATE
7	MINOR VARIANCE COMMENT REVISIONS	2023.04.17
6	ISSUED FOR MINOR VARIANCE	2023.02.28
5	CLIENT REVIEW - REVISED PER CLIENT	2023.02.24
4	CLIENT REVIEW - REDUCED	2023.02.23
3	CLIENT REVIEW - REDUCED & SOG	2023.01.23
2	CLIENT PLANNER REVIEW	2023.01.03
1	CLIENT REVIEW	2022.12.13

SEAL: \_\_\_\_\_ NORTH: \_\_\_\_\_

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information  
Required unless design is exempt under Div. C-3.2.1.1 of the building code

Name: \_\_\_\_\_ Signature: \_\_\_\_\_ BCRI  
Registration Information  
Required unless design is exempt under Div. C-3.2.4.1 of the building code

Firm: \_\_\_\_\_ Signature: \_\_\_\_\_ BCRI

**CARRUTHERS TRIPLEX**  
243 CARRUTHERS AVENUE  
OTTAWA, ONTARIO, K1V 1N8

DRAWING:  
LOCATION MAP & SITE PLANS  
ZONING INFORMATION  
BUILDING INFORMATION

DATE:	OCTOBER 2022	SHEET NO.:	
SCALE:	AS NOTED		
DRAWN:	PK		
CHECKED:	PR		
JOB NO.	0491		

**SP1**

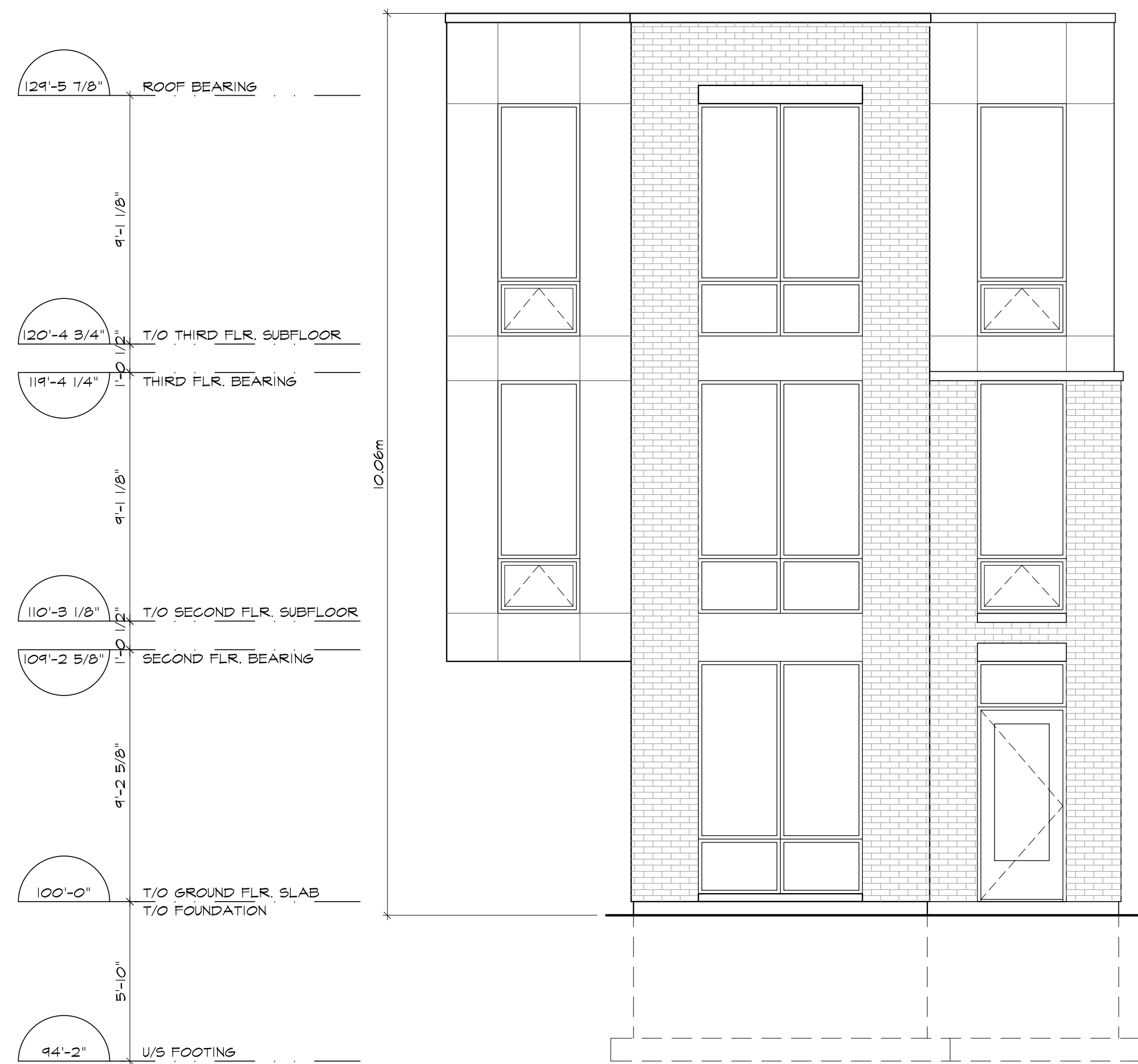


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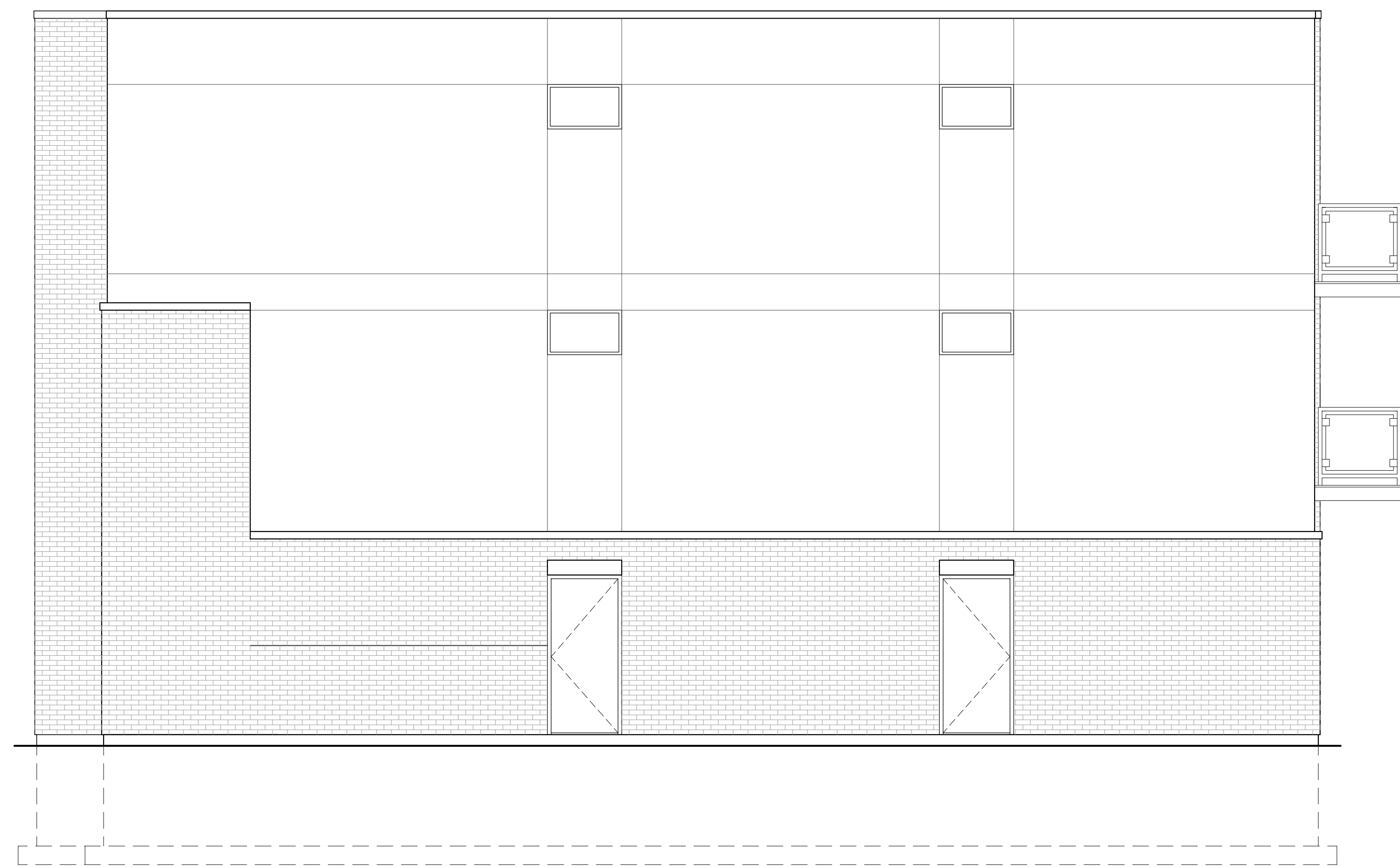
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1 FRONT (SOUTH-WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



2 RIGHT SIDE (SOUTH-EAST) ELEVATION  
SCALE: 1/4" = 1'-0"

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Firm \_\_\_\_\_ Signature \_\_\_\_\_ BCIN \_\_\_\_\_

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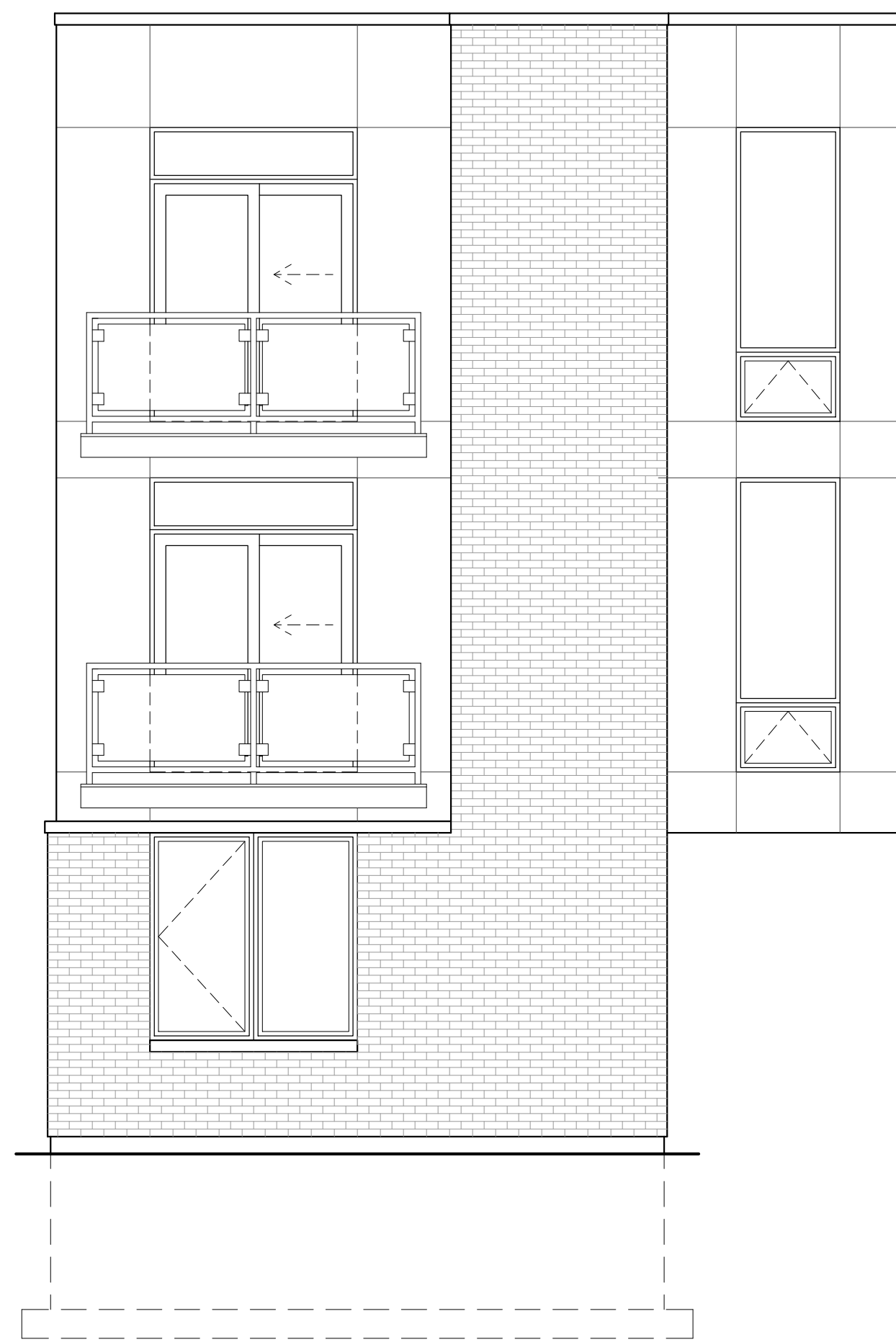
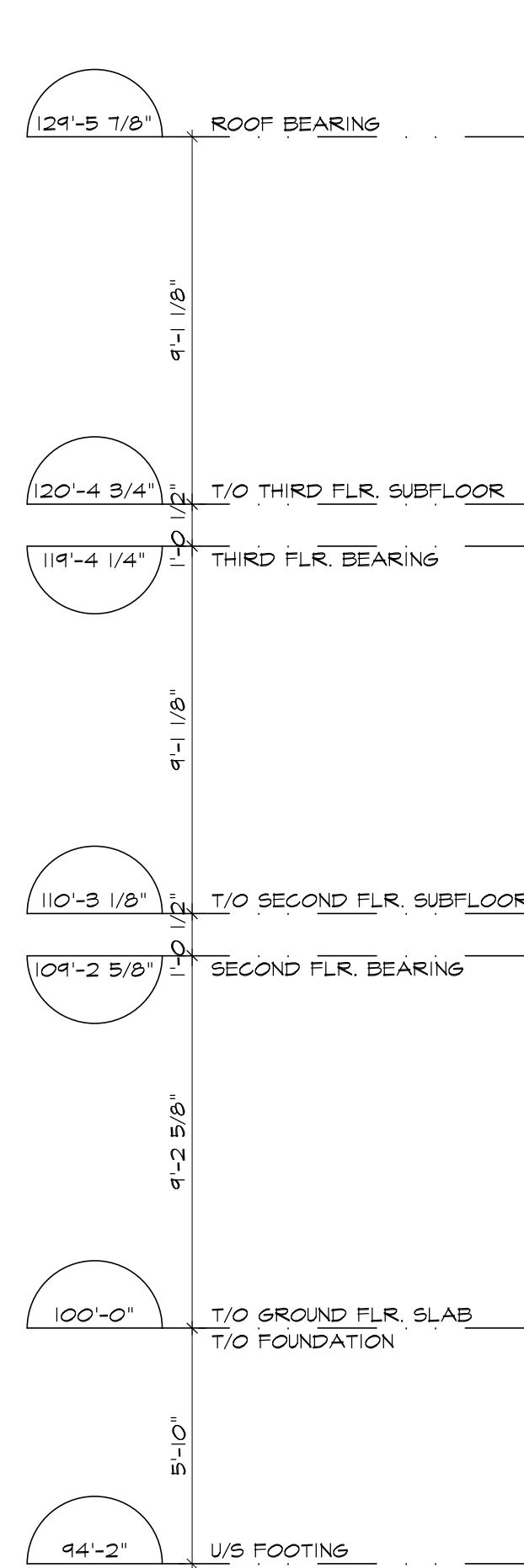
MV2

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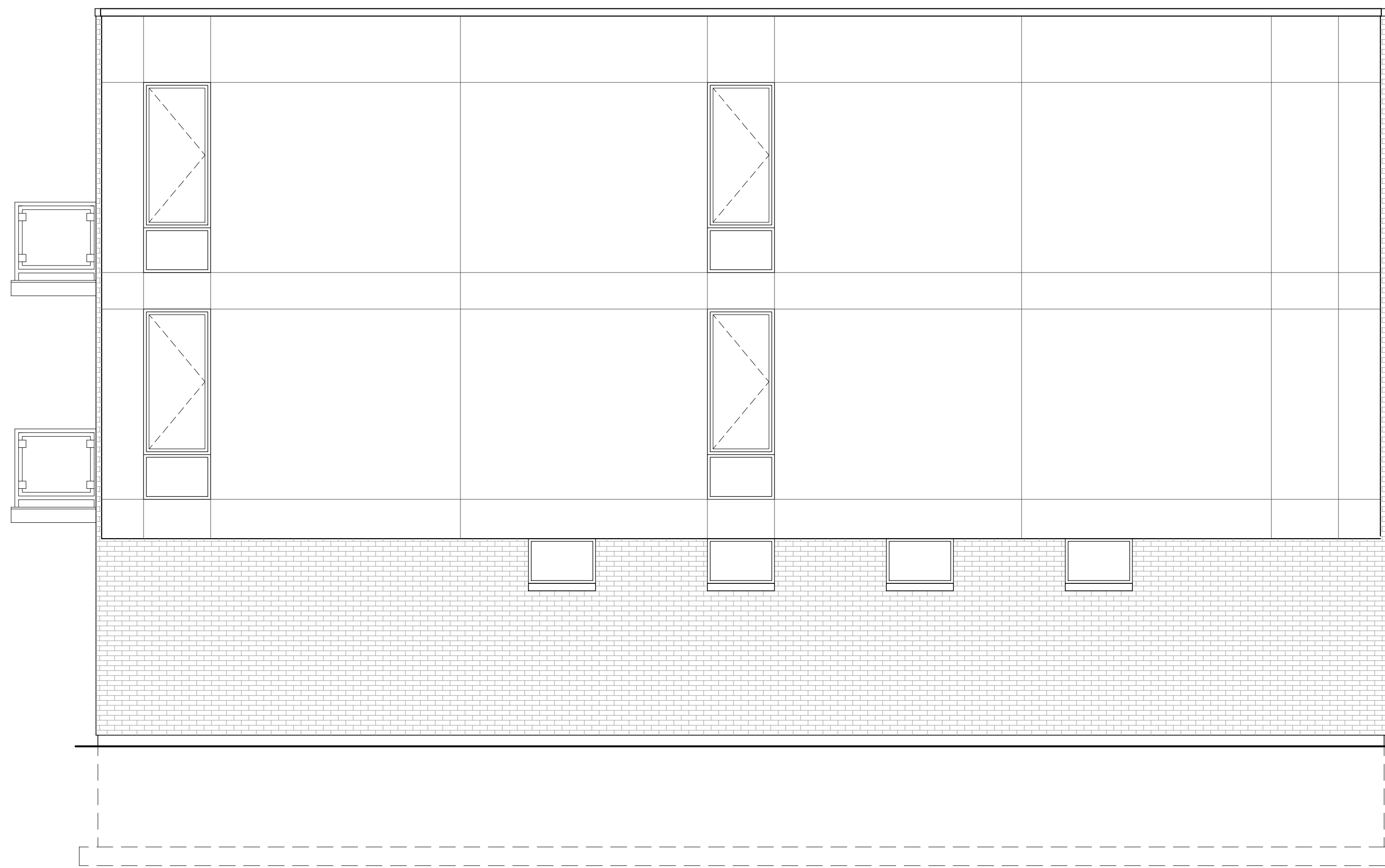
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2 LEFT SIDE (NORTH-WEST) ELEVATION  
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 Firm: \_\_\_\_\_ Signature: \_\_\_\_\_ BCIN: \_\_\_\_\_

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MV3

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