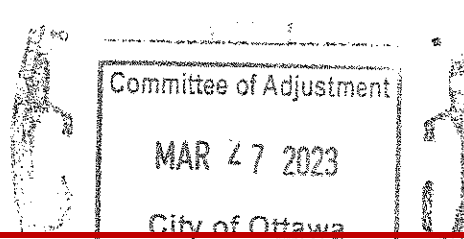


Committee of Adjustment
Received | Reçu le

2023-03-27

City of Ottawa | Ville d'Ottawa
Comité de dérogation



March 19 / 2023

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To the members of the Committee of Adjustment

We are seeking approval for consideration of an accessory building area increase from 55m² to 89.2m² as per the notification we received for our property at 3421 White Spruce Street in Osgoode.

The shed was delivered to our property prior to the submission of a building permit application. We were unaware that prefabricated buildings required a permit. Once it was brought to our attention, we immediately applied for a permit to correct the situation. The building permit process revealed that as our existing two-car garage (not house attached) is considered an out-building, we exceed the By-law limit governing the maximum total out-building area, hence this minor variance request.

The new shed has replaced both a 20-year old 10' x 10' vinyl shed and a 12' x 24' Shelter Logic pop up temporary shed, and serves as storage for our garden, seasonal and recreational equipment. The use of sheds is permitted within the village designation of our area and therefore upholds the intent and purpose of the Official Plan.

With respect to the zoning By-law for our area (V11), the shed is a permitted use and respects all other performance standards. The requested out-building area increase for the new shed along with our existing two-car garage will total approximately 7% lot coverage, well below the 15% maximum and therefore respects and upholds the general intent and purpose of the zoning By-law.

In terms of the impact of the minor variance request, the shed is screened by trees on 3 sides, and is well away from property lines. We have met with our neighbors adjacent to our property, and they both approve and have provided letters of support for this variance request (attached). We meet all minimum clearances to our weeping tiles and property lines and therefore feel our application is minor in nature.

In addition, we feel the application is desirable for the appropriate development of the property as the new shed adds an aesthetic value to our $\frac{3}{4}$ acre property, and is visually appropriate for the area while maintaining a significant amount of green space in our backyard; having made use of the inset into the treed area.

We hope the Committee will approve our request for the minor variance, and allow our building permit process to continue.

Thank you,

Lynne and Dave Whitehead