

HOTCHKISS HOUSE RENOVATION

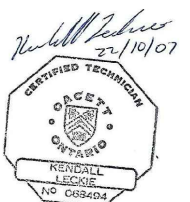
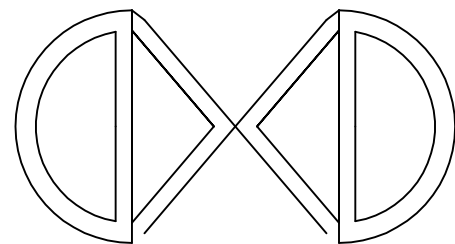
Committee of Adjustment
Received | Reçu le

2023-04-19

City of Ottawa | Ville d'Ottawa
Comité de dérogation

CONTENT

- AO.1 - GENERAL NOTES
- AO.2 - WINDOW AND DOOR SCHEDULE & ZONING BYLAWS
- A1.0 - SITE PLAN
- A1.1 - DEMOLITION - CRAWL SPACE PLAN
- A1.2 - DEMOLITION - GROUND FLOOR PLAN
- A1.3 - DEMOLITION - ATTIC STORAGE PLAN
- A1.4 - DEMOLITION - ROOF PLAN
- A1.5 - NEW - CRAWL SPACE PLAN
- A1.6 - NEW - GROUND FLOOR PLAN
- A1.7 - NEW - ATTIC/SECOND FLOOR PLAN
- A1.8 - NEW - ROOF PLAN
- A2.0 - DEMOLITION - LEFT & RIGHT ELEVATION
- A2.1 - DEMOLITION - REAR & FRONT ELEVATION
- A2.2 - NEW - LEFT & RIGHT ELEVATION
- A2.3 - NEW - REAR & FRONT ELEVATION
- A3.0 - BUILDING SECTION AA
- A3.1 - BUILDING SECTION BB
- A4.0 - DETAILS
- A4.1 - DETAILS



LECKIE
DRAFTING SERVICES INC.
BCIN #32189
Kendall Leckie, C.Tech. BCIN #23655
Tel: 613-622-5608

GENERAL NOTES:

INTENDED USE

- THE HOUSE IS TO REMAIN A HOUSE, WITH RESIDENTIAL OCCUPANCY. INTENDED FOR USE ON CONTINUING BASIS 365 DAYS A YEAR (SPRING, SUMMER, FALL, WINTER).
- ALL DOORS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE A THERMAL RESISTANCE OF NOT LESS THAN RSI07 (R4)

WOOD FRAMING

- ALL WOOD FRAME CONSTRUCTION SHALL COMPLY WITH SECTION 9.23 OF THE ONTARIO BUILDING CODE.
- ALL STRUCTURAL (LOAD-BEARING) FRAMING LUMBER SHALL BE GRADE-STAMPED AS SPRUCE-PINE-FIR (SPF) NO.2 OR BETTER.
- WOOD FRAME MEMBERS WHICH ARE NOT PRESSURE-TREATED WITH A WOOD PRESERVATIVE AND BEAR ON CONCRETE IN DIRECT CONTACT WITH THE GROUND SHALL BE SEPERATED FROM THE CONCRETE WITH 6 MIL. POLY.
- FLOOR
 - PLYWOOD SUBFLOORING SHALL HAVE TONGUE AND GROOVE EDGE SUPPORTS, AND BE INSTALLED WITH THE SURFACE GRAIN AT RIGHT ANGLES TO THE FLOOR JOISTS. SUBFLOOR TO BE GLUED WHERE POSSIBLE AND NAILED WITH 50mm (2") NAILS EVERY 150mm (6") ALONG THE EDGES, AND 300mm (12") ALONG THE INTERMEDIATE SUPPORTS, UNLESS NOTED OTHERWISE.
 - PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS.
 - PROVIDE SIMPSON STRONG-TIE FACE MOUNT JOIST HANGERS FOR DIMENSIONAL LUMBER OF SINGLE, DOUBLE AND TRIPLE PLY FLUSH JOIST.
- ROOF
 - PLYWOOD ROOF SHEATHING SHALL BE INSTALLED WITH THE SURFACE GRAIN AT RIGHT ANGLES TO THE ROOF FRAMIN. JOINTS PERPENDICULAR TO ROOF RIDGE SHALL BE STAGGERED, WITH EDGES SUPPORTED ON TRUSSES. EDGES PARALLEL TO ROOF RIDGES SHALL BE SUPPORTED BY METAL "H" CLIPS IN EACH TRUSS SPACE.

INSULATION

- ALL WALLS, CEILINGS, AND FLOORS SEPERATING HEATED SPACE FROM UNHEATED SPACE SHALL BE INSULATED.
- SPECIFIED THERMAL RESISTANCE OF INSULATION FOR THE DESIGN AND CONSTRUCTION DRAWING ARE NOTED ON THE PLANS.

BATHROOM

- PROVIDE MOISTURE RESISTANT DRYWALL TO PERIMETER OF INTERIOR BATHROOM WALLS AND CEILING WHERE CEILING JOIST OR TRUSS SPACING IS GREATER THAN 300mm (12"), PROVIDE STRAPPING TO CEILING AT 300mm (12") O/C.
- TUB SHOWN ON PLANS TO BE A ONE PIECE TUB/SHOWER UNIT. SPECIFIC MODEL TO BE PROVIDED BY CLIENT.
- PLUMBING LAYOUT TO BE PROVIDED BY PLUMBER.

PRE-ENGINEERED TRUSSES AND JOISTS

- PRE-ENGINEERED TRUSSES AND JOISTS ARE TO BE SIZED, BRACED BY STRUCTURAL ENGINEER AND CONFIRMED BY MANUFACTURER.

BEAMS AND COLUMNS

- BEAMS AND COLUMNS ARE TO BE SIZED BY STRUCTURAL ENGINEER.
- BEAM TO BEAM CONNETORS: SIMPSON STRONG-TIE HEAVY TOP FLANGE HANGER (HU212-2TF / HU212-3TF / HUS412TF)
- COLUMN TO BEAM CONNECTORS: SIMPSON STRONG-TIE POST CAP (BCZMAX)

VENTILATION

- VENTING TO BE UNIFORMLY DISTRIBUTED ON OPPOSITE SIDES OF THE BUILDING FOR CROSS VENTILATION.
- VENTS SHALL BE DESIGNED TO PREVENT THE ENTRY OF SNOW, RAIN OR INSECTS.
- ROOF
 - ROOF TO BE EQUALLY VENTILLATED BETWEEN SOFFIT AND TOP OF ROOF SPACE WITH VENTED SOFFITS, ROOF OR GABLE VENTS.
 - ATTIC OF ROOF SPACES TO BE VENTED A MINIMUM $\frac{1}{300}$ OF INSULATED AREA. WHERE ROOF SLOPE IS LESS THAN 1 IN 6 OR CONSTRUCTED WITH ROOF JOISTS, THE REQUIRED VENTING SHALL BE A MINIMUM $\frac{1}{150}$ OF INSULATED ROOF AREA.
- CRAWL SPACE
 - UNHEATED CRAWL SPACES SHALL BE NATURALLY OR MECHANICALLY VENTED.
 - UNHEATED CRAWL SPACES NATURALLY VENTED SHALL HAVE A MINIMUM UNOBSTRUCTED VENT AREA OF 0.1m² (1.1FT²) FOR EVERY 50m² (538FT²) OF FLOOR AREA.

ALARMS & DETECTORS

- SUFFICIENT SMOKE ALARMS SHALL BE INSTALLED SO THAT THERE IS AT LEAST ONE SMOKE ALARM ON EACH FLOOR LEVEL, INCLUDING BASEMENT AND EACH FLOOR LEVEL THAT IS 900mm (2'-11") OR MORE ABOVE IR BELOW AN ADJACENT FLOOR LEVEL.
- A SMOKE ALARM SHALL BE INSTALLED IN EVERY BEDROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, A SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.
- A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA AND ON EACH LEVEL THAT CONTAINS A SLEEPING AREA.

MECHANICAL, PLUMBING AND ELECTRICAL

- MECHANICAL, PLUMBING AND ELECTRICAL SEVICES SHALL BE LOCATED AND DESIGNED BY OTHERS. CLEARANCES AND INSTALLATIONS SHALL BE AS PER LOCAL CODE REQUIREMENTS.
- FURNACE, WATER HEATER, AND ELECTRICAL PANEL TO BE RELOCATED FROM ORIGINAL LOCATION TO NEW MECHANICAL ROOM ON THE SECOND FLOOR.

CONSTRUCTION ASSEMBLIES

WALL TYPES

- W1 - METAL VERTICAL SIDING (12.7mm)
19 X89 mm HORIZONTAL STRAPPING
AIR BARRIER/ 2nd PLANE OF PROTECTION (9.27.3.1)
12.7 mm OSB WALL SHEATHING
38 X 89 mm SPF STUDS @ 300 mm O/C
R-22 SPRAY FOAM INSULATION
6 MIL POLY VAPOR BARRIER
12.7 mm GYPSUM BOARD (MOLD RESISTANT)

- TALL WALL NOTES- (2) 38 X 89 SPF STUDS @ 300 O/C
SOLID BRIDGING @ 1M O/C
STUDS FASTENED @ TOP+ BOTTOM
PLATES W/ (3) 82 mm TOE-NAILS
DOUBLE TOP PLATES FASTENED
TOGETHER W/ 76 mm NAILS @ 200 O/C
TRUSSES FASTENED TO TOP PLATES
W/ (4) 82 mm TOE-NAILS
BOTTOM PLATE FASTENED TO RIMKOIST W/
82 mm @200 O/C

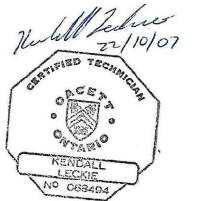
- W2- 12.7 mm GYPSUM BOARD
38 X 89 SPF STUDS @ 400 mm O/C
12.7 mm GYPSUM BOARD

ROOF TYPE

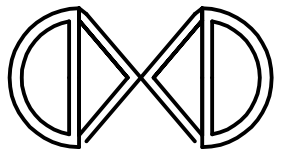
- R1 - STEEL ROOF CLADDING
METAL EAVE STARTER
SELF ADHERING MEMBRANE AT EAVES AND VALLEYS
NO. 15 UNDERLAYMENT
9.5 MM SPF PLYWOOD ROOF SHEATHING W/H CLIP EDGE SUPPORT
ENGINEERED MONO-TRUSSES @ 610 MM O/C
25.4 mm AIR SPACE PROVIDED VIA BAFFLE
R31 BLOWN-IN CELLULOSE INSULATION (CEILING WITHOUT ATTIC SPACE)
6 MIL POLY AIR/VAPOR BARRIER
19 x 89 mm STRAPPING @ 400 O/C
12.7 mm GYPSUM BOARD

FLOOR TYPES

- F1 - LAMINATE FLOOR FINISH
15.8 mm PLYWOOD T# G SUBFLOOR
38 X 200 @ 400 O/C FILLED WITH R31
SPRAY FOAM INSULATION
- F2- 15.8 mm PLYWOOD T# G SUBFLOOR
250mm PRE-ENGINEERED JOISTS
(SPACING AND BLOCKING AS PER
MANUFACTURER 'S SPECIFICATIONS)
19 x 89mm STRAPPING @ 400 O/C
12.7 mm GYPSUM BOARD



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PROJECT
**HOTCHKISS HOUSE
RENOVATIONS**
2992 Beaman Lane Kemptville, ON

DRAWING TITLE
GENERAL NOTES

DRAWN BY
D.MOMPEROUSSE

SCALE
N/A

DATE
MARCH 17 2023

FILE NUMBER
00 00 03

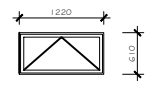
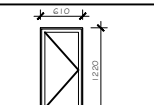
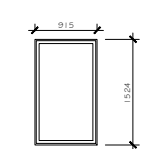
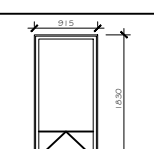
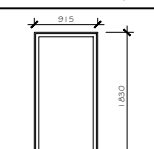
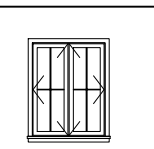
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NOTES:

*DUE TO HIGH WATER TABLE
CONTRACTOR TO CONFIRM ALL
DEPTH OF HELIO PILE AND THAT PROPER
FROST PROTECTION MEASURES ARE MET,
DRAINAGE, WEEPING TILE INSTALLATION
AND WATERPROOFING IF REQUIRED.
REFER TO REPORT FROM KOLLARD
ENGINEERING AND MANUFACTURER
RECCOMMENDATION. CONTRACTOR TO
COORDINATE WITH GEOTECHNICAL
ENGINEER BEFORE START OF
CONSTRUCTION*

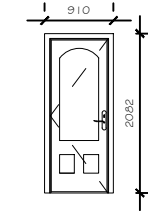
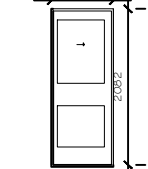
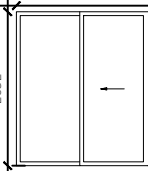
WINDOW SCHEDULE

- THE WINDOW SCHEDULE USED ON THESE PLANS INDICATES GENERIC SIZES THAT REFLECT AVAILABLE MANUFACTURER'S WINDOW SIZES.
- CONFIRM ALL EXTERIOR WINDOW DIMENSIONS WITH MANUFACTURER'S REQUIRED ROUGH STUD OPENING SIZES PRIOR, TO START OF CONSTRUCTION.

DISPLAY	WINDOW SIZE	ROUGH STUD OPENING	COUNT	TYPE	TAG
	1220mm x 610mm (24" x 48")	1270mm x 660mm (26" x 62")	4	AWNING	WA
	610mm x 1220mm (24" x 48")	660mm x 1270mm (26" x 50")	1	CASEMENT	WB
	915mm x 1524mm (36" x 60")	965mm x 1574mm (38" x 62")	1	FIXED	WC
	915mm x 1830mm (36" x 72")	965mm x 1880mm (38" x 74")	4	AWNING	WF
	915mm x 1830mm (36" x 72")	965mm x 1880mm (38" x 74")	4	FIXED	WG
	TO REMAIN	TO REMAIN	1		

DOOR SCHEDULE

- THE DOOR SCHEDULE USED ON THESE PLANS INDICATES GENERIC SIZES THAT REFLECT AVAILABLE MANUFACTURER'S DOOR SIZES.
- CONFIRM ALL EXTERIOR DOOR DIMENSIONS WITH MANUFACTURER'S REQUIRED ROUGH STUD OPENING SIZES PRIOR, TO START OF CONSTRUCTION.

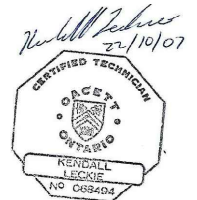
DISPLAY	DOOR SIZE	ROUGH STUD OPENING	COUNT	TYPE	TAG
	910mm x 2082mm (36" x 82")	960mm x 2132mm (38" x 84")	2	INSULATED METAL CLAD	D1
	1700mm x 2082mm (66" x 82")	1750mm x 2132mm (68" x 84")	1	PATIO DOORS	D2
	910mm x 2082mm (36" x 82")	965mm x 2132mm (38" x 84")	6	POCKET DOOR	D3
	3657mm x 2082mm (144" x 82")	3707mm x 2132mm (146" x 84")	1	PATIO DOORS	

LEGAL DESCRIPTION

LOT NUMBER: N/A
 SUBLOT : N/A
 STREET NUMBER: 2992 BEAMAN LANE
 REGISTERED PLAN: N/A
 ZONING: RR12 [18R]
 PLANNING: RIDEAU CARLETON VALLEY AUTHORITY

ZONING MECHANISM

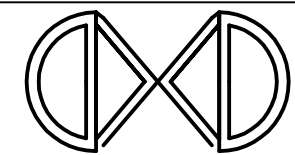
MIN. FRONT YARD SETBACK: 7.5 m
 MIN. REAR YARD SETBACK: 7.5 m
 MIN. CORNER YARD SETBACK: 4 m
 MAX. BUILDING HEIGHT: 11 m
 MAX. LOT COVERAGE: 20%



LECKIE DRAFTING SERVICES INC.
 BCIN #32189
 Kendall Leckie, C.Tech. BCIN #23655
 Tel: 613-822-5608

NO.	DATE	DESCRIPTION
3	2023/03/17	FOR MINOR VARIANCE
2	2022/06/03	FOR STRUCTURAL REVIEW
1	2022/04/29	FOR 90% REVIEW

REVISIONS:



PROJECT:
HOTCHKISS HOUSE RENOVATIONS
 2992 Beaman Lane Kemptville, ON

DRAWING TITLE:
 WINDOW AND DOOR SCHEDULE

DRAWN BY:
 D.MOMPEROUSSE

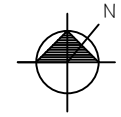
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 MARCH 17 2023

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BEAMAN LANE



SITE PLAN NOTES

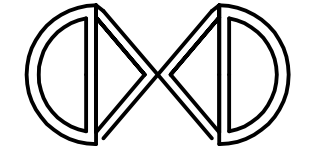
1. THE CONTRACTOR SHALL FOLLOW THE SEPTIC PLAN PROVIDED BY OTHERS TO GET ELEVATION MARKERS.
2. FOR SEPTIC HOLDING TANK LOCATION PLEASE REFER TO KOLLARD'S DRAWING.
3. EXISTING DECK IS NOT ATTACHED TO THE HOUSE. CONTRACTOR TO ENSURE THAT DECK, POSTS AND BEAMS ARE STILL IN PLACE.



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REVISIONS:

NO.	DATE	DESCRIPTION



PROJECT
HOTCHKISS HOUSE RENOVATIONS
 2992 Beaman Lane Kemptville, ON

DRAWING TITLE
SITE PLAN

DRAWN BY
 D.MOMPEROUSSE

SCALE
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DATE
 MARCH 17 2023

FILE NUMBER
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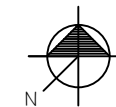
Kendall Leckie
 22/10/07
 CERTIFIED TECHNICAL DRAFTER
 OACETA ONTARIO
 KENDALL LECKIE
 NO. 008494

LECKIE DRAFTING SERVICES INC.
 BCIN #32189
 Kendall Leckie, C.Tech. BCIN #23655
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1 SITE PLAN SCALE 1:250
 A1.0


RIDEAU RIVER

DOCK



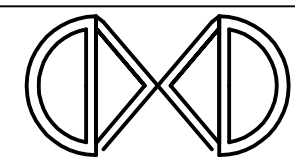
DEMOLITION NOTES

1. THE CONTRACTOR SHALL REMOVE EXISTING WALLS AND OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLANS.
2. THE CONTRACTOR SHALL PROVIDE NECESSARY PROTECTIONS OF INTERIOR SPACE AND EXTERIOR SPACE WHILE DEMOLISHING.
3. ALL DEMOLITION, REMOVE EXISTING WINDOW/FRAME AND/OR DOOR/FRAME, AND PREPARE TO RECEIVE NEW WINDOWS/DOORS TO THE SATISFACTION OF THE WINDOW/DOOR SUPPLIER AND INSTALLER.
4. ON EXTERIOR WALLS, REMOVE EXISTING SIDING, INSPECT EXISTING TRUE 38X89 STUD WALL. EXISTING STUD WALL AND INSULATION TO REMAIN. REMOVE EXISTING GYPSUM WALL PANEL.
5. ON INTERIOR WALLS, REMOVE GYPSUM/WALL PANEL, STUD LUMBER. AND REPLACE WITH NEW.
6. REMOVE ALL FIXTURES, CABINET, FURNITURE, APPLIANCES AS INDICATED BY CLIENT.
7. ALL ELECTRICAL, PLUMBING, AND MECHANICAL DECONNECTION TO BE PERFORMED PRIOR TO THE REMOVAL OF THE WALLS.
8. REMOVE CEILING, EXISTING RAFTERS AND SHINGLES FOR PREPERATION OF NEW ROOF.
9. EXISTING DECK IS NOT ATTACHED TO THE HOUSE. CONTRACTOR TO ENSURE THAT DECK, POSTS AND BEAMS ARE STILL IN PLACE. REFER TO PHOTO APPENDIX. DOOR AT THE BACK STEPS OUT ONTO THE DECK.

 TO BE REMOVED

NO.	DATE	DESCRIPTION
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REVISIONS:



PROJECT
HOTCHKISS HOUSE RENOVATIONS
2992 Beaman Lane Kemptville, ON

DRAWING TITLE
CRAWL SPACE - DEMOLITION PLAN

DRAWN BY
D.MOMPEROUSSE

SCALE
1:40

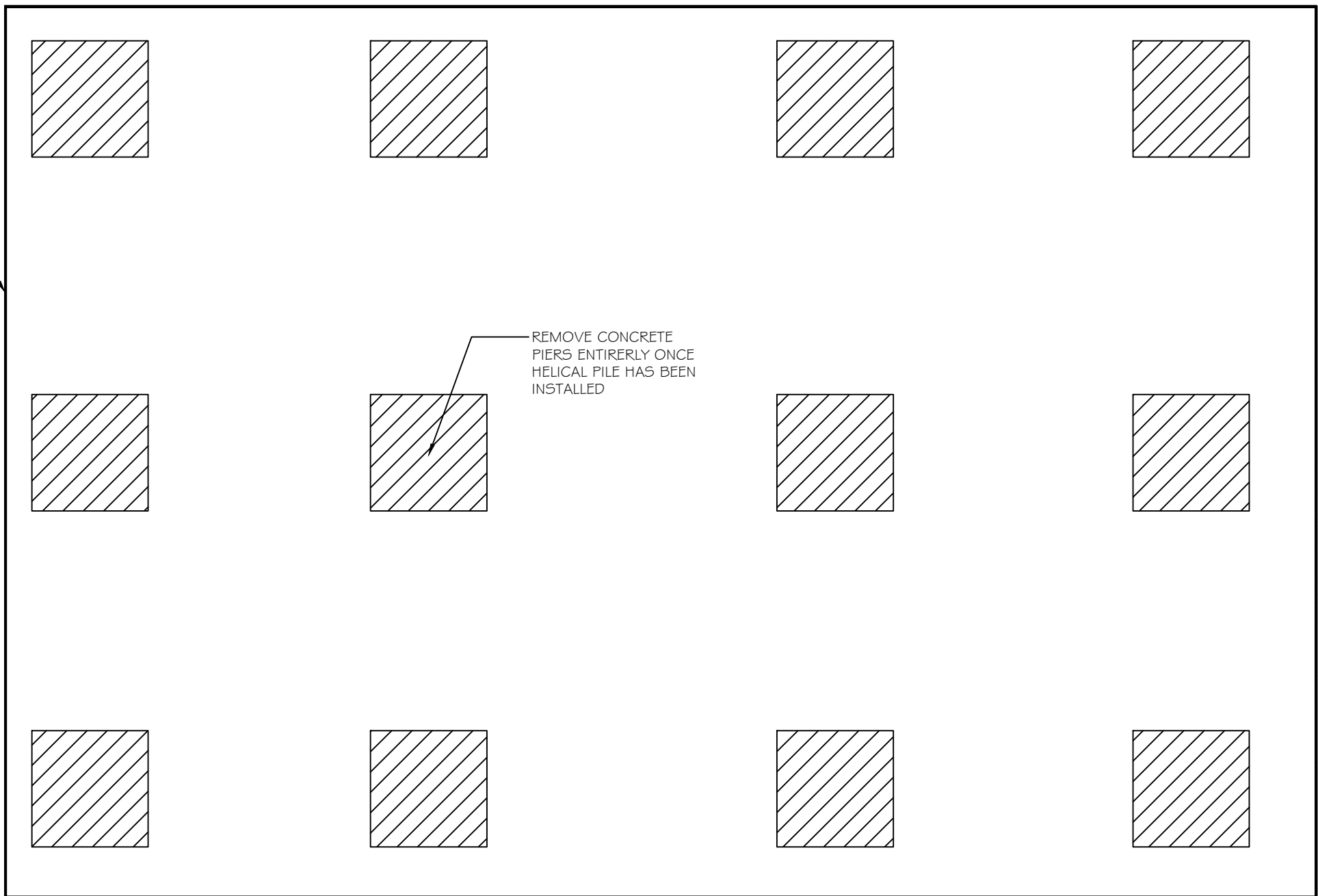
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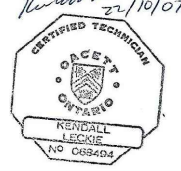
REMOVE PERIMETER PLYWOOD ENTIRELY AND DISPOSE OFFSITE

REMOVE CONCRETE PIERS ENTIRELY ONCE HELICAL PILE HAS BEEN INSTALLED

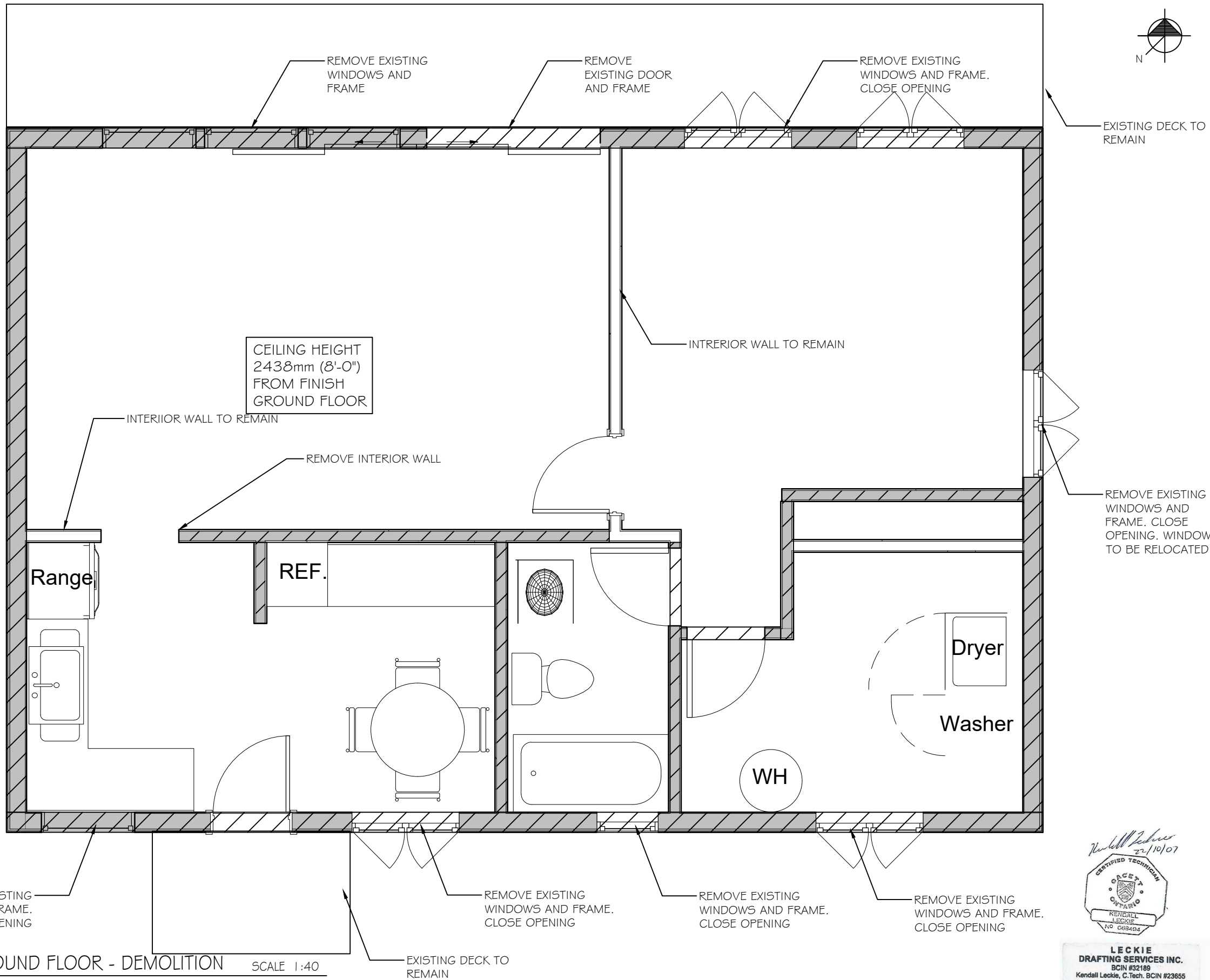


 CRAWL SPACE - DEMOLITION SCALE 1:40

Kendall Leckie
22/10/07



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Kendall Leckie, C.Tech. BCIN #23655
Tel: 613-622-5608



DEMOLITION NOTES

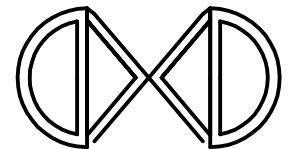
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5. ON INTERIOR WALLS, REMOVE GYPSUM/WALL PANEL, STUD LUMBER. AND REPLACE WITH NEW.
6. REMOVE ALL FIXTURES, CABINET, FURNITURE, APPLINCES AS INDICATED BY CLIENT.
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8. REMOVE CEILING, EXISTING RAFTERS AND SHINGLES FOR PREPERATION OF NEW ROOF.
9. EXISTING DECK IS NOT ATTACHED TO THE HOUSE. CONTRACTOR TO ENSURE THAT DECK, POSTS AND BEAMS ARE STILL IN PLACE. DOOR AT THE BACK STEPS OUT ONTO THE DECK.

TO BE REMOVED

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3	2023/03/17	FOR MINOR VARIANCE
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1	2022/04/29	FOR 90% REVIEW

REVISIONS:

REMOVE EXISTING WINDOWS AND FRAME. CLOSE OPENING. WINDOW TO BE RELOCATED



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 2992 Beaman Lane Kemptville, ON

DRAWING TITLE
GROUND FLOOR - DEMOLITION

DRAWN BY
 D.MOMPEROUSSE

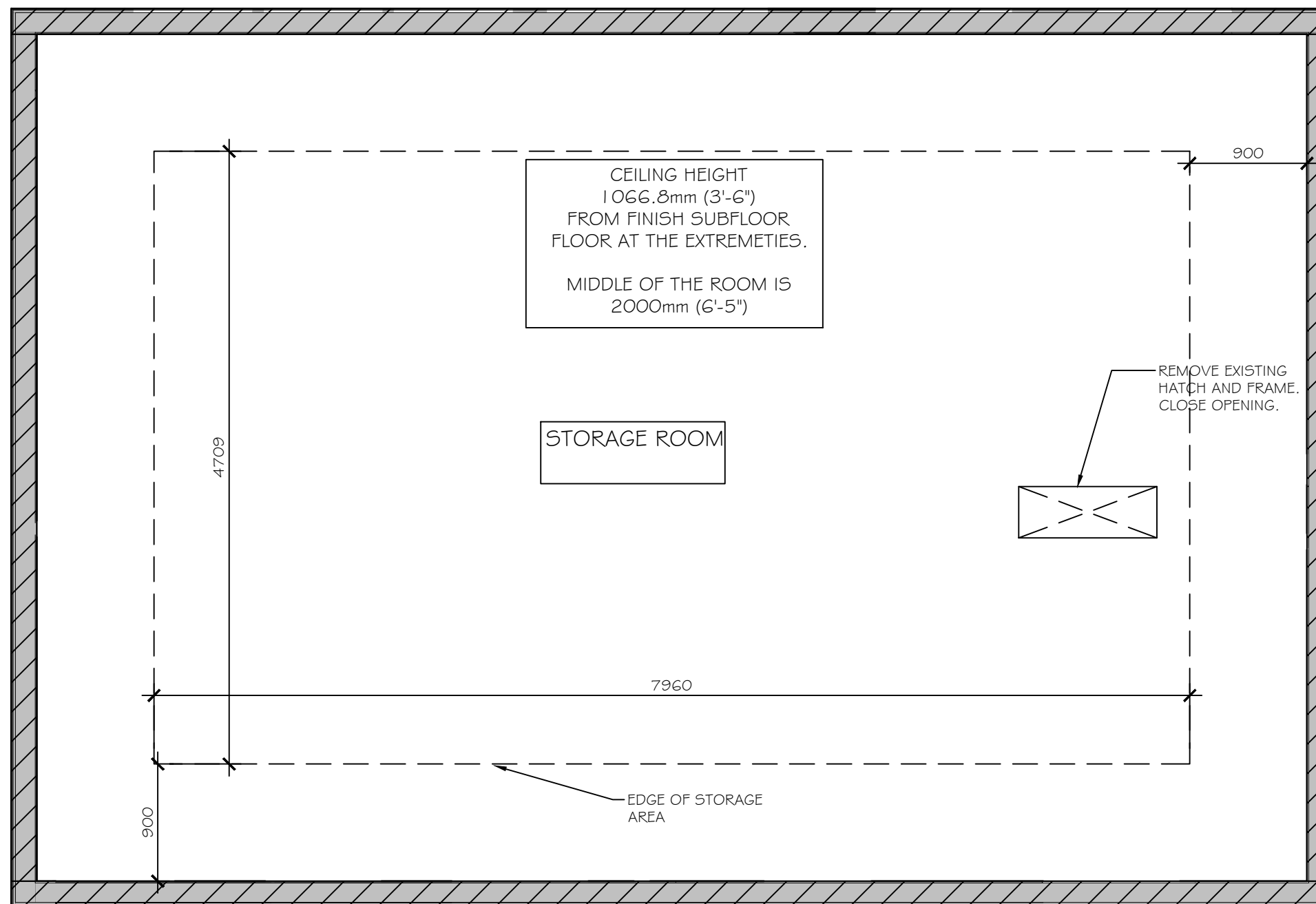
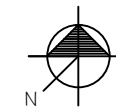
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DATE
 MARCH 17 2023

FILE NUMBER
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1 GROUND FLOOR - DEMOLITION SCALE 1:40
 A1.2



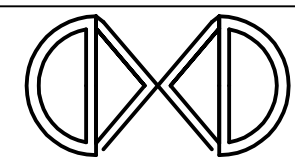
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2. THE CONTRACTOR SHALL PROVIDE NECESSARY PROTECTIONS OF INTERIOR SPACE AND EXTERIOR SPAPE WHILE DEMOLISHING.
3. ALL DEMOLITION, REMOVE EXISTING WINDOW/FRAME AND/OR DOOR/FRAME, AND PREPARE TO RECEIVE NEW WINDOWS/DOORS TO THE SATISFACTION OF THE WINDOW/DOOR SUPPLIER AND INSTALLER.
4. ON EXTERIOR WALLS, REMOVE EXSITING SIDING, INSPECT EXISTING TRUE 38X89 STUD WALL. EXISTING STUD WALL AND INSLATION TO REMAIN. REMOVE EXISTING GYPSUM/ WALL PANEL.
5. ON INTERIOR WALLS, REMOVE GYPSUM/WALL PANEL, STUD LUMBER. AND REPLACE WITH NEW.
6. REMOVE ALL FIXTURES, CABINET, FURNITURE, APPLIENCES AS INDICATED BY CLIENT.
7. ALL ELECTRICAL, PLUMBING, AND MECHANICAL DECONNECTION TO BE PERFORMED PRIOR TO THE REMOVAL OF THE WALLS.
8. REMOVE CEILING, EXISTING RAFTERS AND SHINGLES FOR PREPERATION OF NEW ROOF.
9. EXISTING DECK IS NOT ATTACHED TO THE HOUSE. CONTRACTOR TO ENSURE THAT DECK, POSTS AND BEAMS ARE STILL IN PLACE. DOOR AT THE BACK STEPS OUT ONTO THE DECK.

TO BE REMOVED

NO.	DATE	DESCRIPTION
3	2023/03/17	FOR MINOR VARIANCE
2	2022/06/03	FOR STRUCTURAL REVIEW
1	2022/04/29	FOR 90%REVIEW

REVISIONS:



PROJECT
HOTCHKISS HOUSE RENOVATIONS
 2992 Beaman Lane Kemptville, ON

DRAWING TITLE
ATTIC/STORAGE - DEMOLITION

DRAWN BY
 D.MOMPEROUSSE

SCALE
 1:40

DATE
 MARCH 17 2023

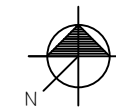
FILE NUMBER
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A1.3

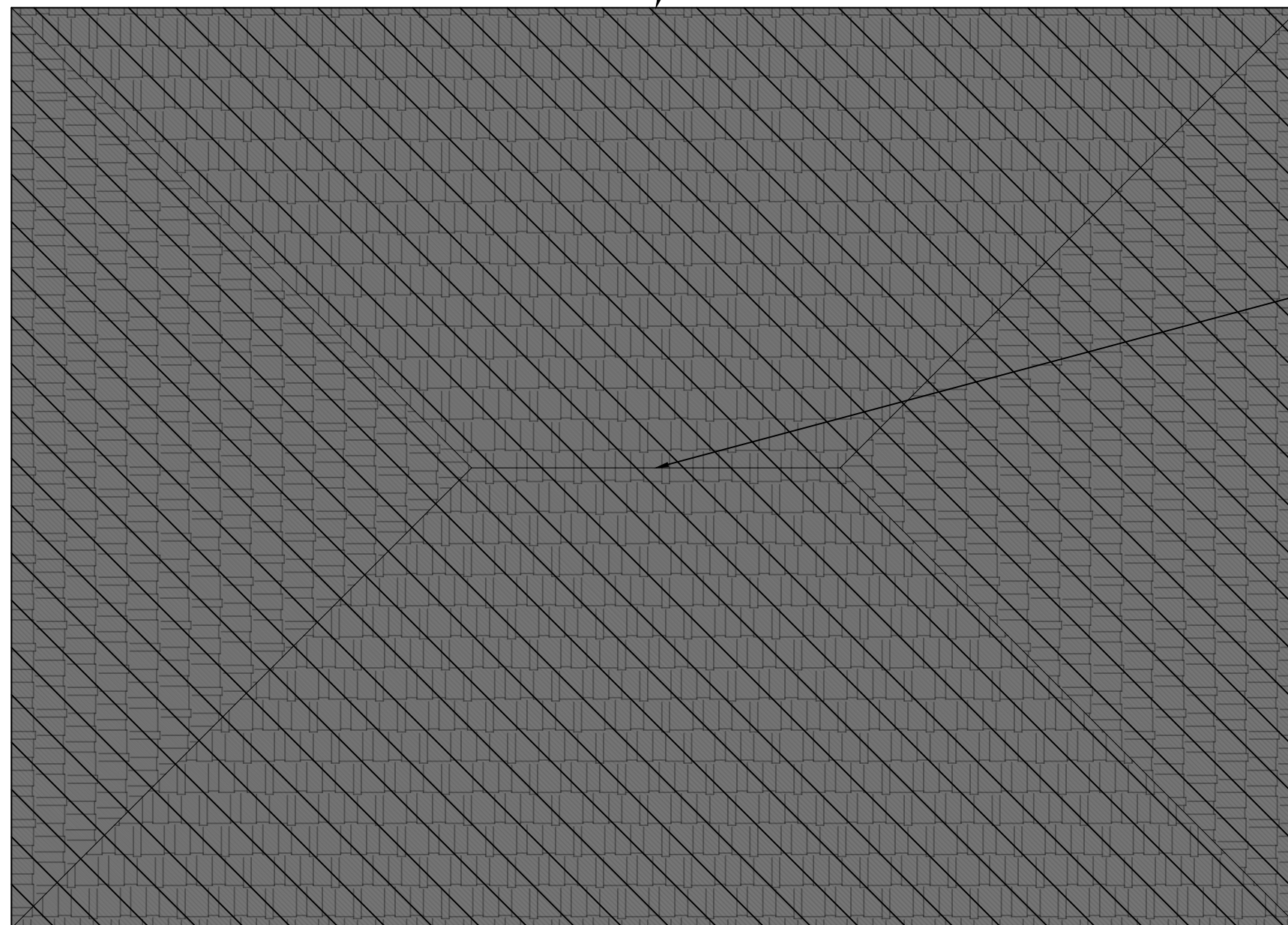
A1.3 ATTIC STORAGE - DEMOLITION SCALE 1:40

Kendall Leckie
22/10/07

LECKIE DRAFTING SERVICES INC.
 BCIN #32189
 Kendall Leckie, C.Tech. BCIN #23655
 Tel: 613-622-5608



REMOVE EXISTING SHINGLE, ROOF RAFTERS AND INSULATION



REMOVE ALL STRUCTURAL COMPONENTS OF THE ROOF FRAME

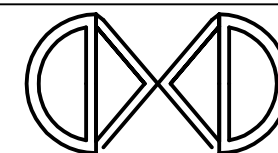
DEMOLITION NOTES

1. THE CONTRACTOR SHALL REMOVE EXISTING WALLS AND OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLANS.
2. THE CONTRACTOR SHALL PROVIDE NECESSARY PROTECTIONS OF INTERIOR SPACE AND EXTERIOR SPACE WHILE DEMOLISHING.
3. ALL DEMOLITION, REMOVE EXISTING WINDOW/FRAME AND/OR DOOR/FRAME, AND PREPARE TO RECEIVE NEW WINDOWS/DOORS TO THE SATISFACTION OF THE WINDOW/DOOR SUPPLIER AND INSTALLER.
4. ON EXTERIOR WALLS, REMOVE EXISTING SIDING, INSPECT EXISTING TRUE 38X89 STUD WALL. EXISTING STUD WALL AND INSULATION TO REMAIN. REMOVE EXISTING GYPSUM WALL PANEL.
5. ON INTERIOR WALLS, REMOVE GYPSUM/WALL PANEL, STUD LUMBER. AND REPLACE WITH NEW.
6. REMOVE ALL FIXTURES, CABINET, FURNITURE, APPLIANCES AS INDICATED BY CLIENT.
7. ALL ELECTRICAL, PLUMBING, AND MECHANICAL DECONNECTION TO BE PERFORMED PRIOR TO THE REMOVAL OF THE WALLS.
8. REMOVE CEILING, EXISTING RAFTERS AND SHINGLES FOR PREPERATION OF NEW ROOF.
9. EXISTING DECK IS NOT ATTACHED TO THE HOUSE. CONTRACTOR TO ENSURE THAT DECK, POSTS AND BEAMS ARE STILL IN PLACE. REFER TO PHOTO APPENDIX. DOOR AT THE BACK STEPS OUT ONTO THE DECK.

TO BE REMOVED

NO.	DATE	DESCRIPTION
3	2023/03/17	FOR MINOR VARIANCE
2	2022/06/03	FOR STRUCTURAL REVIEW
1	2022/04/29	FOR 90% REVIEW

REVISIONS:



PROJECT
HOTCHKISS HOUSE RENOVATIONS
 2992 Beaman Lane Kemptville, ON

DRAWING TITLE
ROOF PLAN - DEMOLITION

DRAWN BY
 D.MOMPEROUSSE

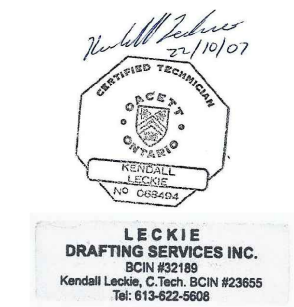
SCALE
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DATE
 MARCH 17 2023

FILE NUMBER
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SHEET

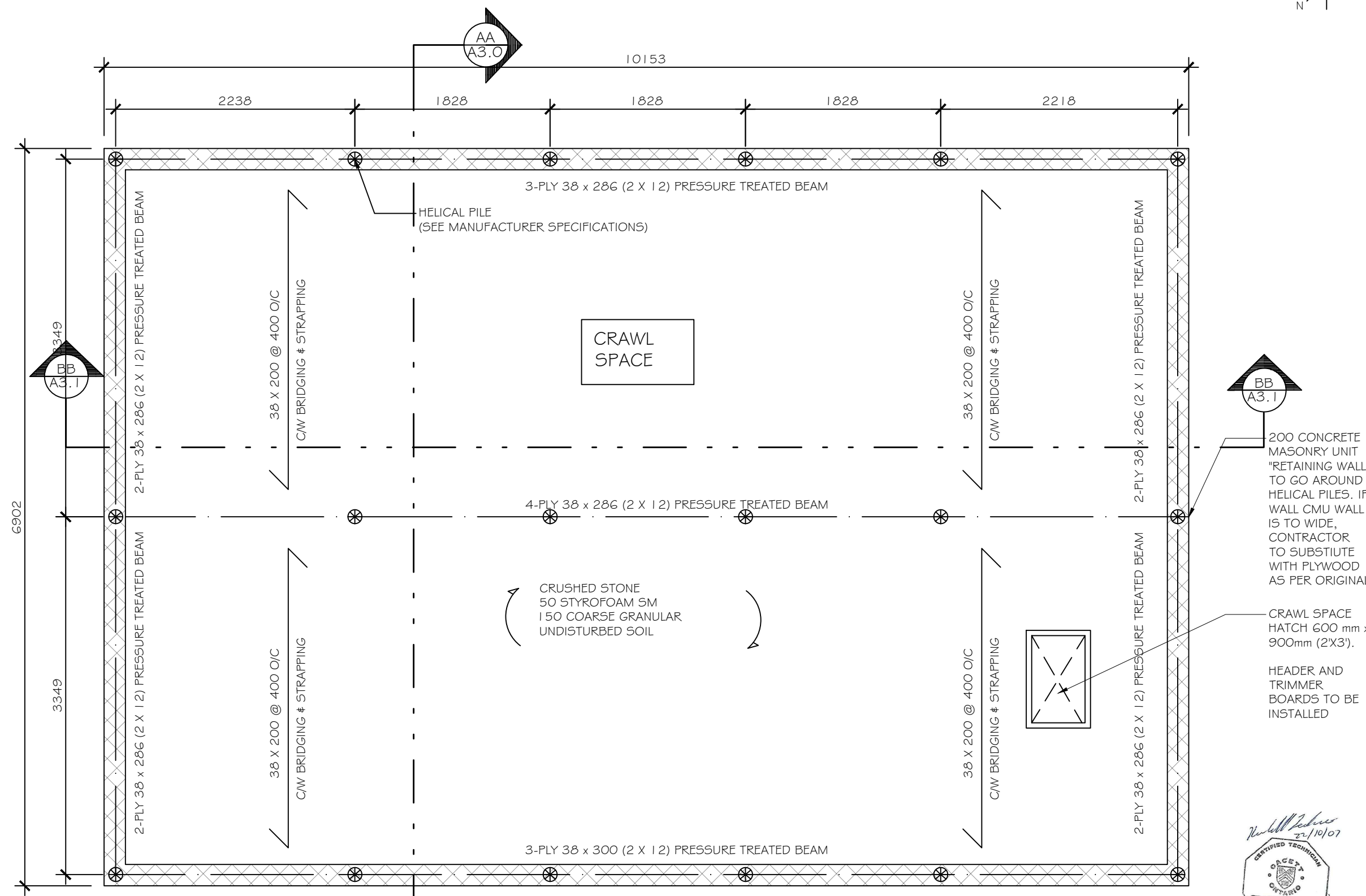
A1.4



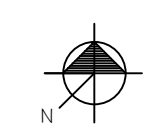
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 A1.4

ROOF PLAN - DEMOLITION

SCALE 1:40



1 CRAWL SPACE/FOUNDATION PLAN SCALE 1:40
A1.5



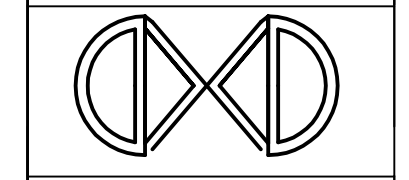
DRAWING NOTES

1. INTERIOR NON LOAD BEARING WALL 38X89 UNLESS OTHERWISE MENTIONED
2. ALL GUARDS MUST BE A5 5B-7 (LOOK INTERIOR GUARD)
3. PROVIDE BLOCKING @900 MM O.C IN JOIST WHERE PARTITION WALL ABOVE RUN PARALLEL AND AREN'T DIRECTLY ABOVE A FLOOR JOIST
4. ALL TRIMMERS AND HEADERS MUST BE DOUBLES
5. SA - SMOKE ALARM WITHOUT VISUAL SIGNALING COMPONENT(ALL INTERCONNECTED WITHOUT BATTERY BACK UP)
6. 9.17(OBC) 101 X 101 ASS COLUMN WITHOUT 150 X 150 STEEL TOP/BOTTOM PLATES 6.4mm
7. ALL LINTELS TO BE 2- 38X200 UNLESS OTHERWISE NOTED
8. DO NOT SCALE DRAWINGS
9. EXISTING DECK IS NOT ATTACHED TO THE HOUSE. CONTRACTOR TO ENSURE THAT DECK, POSTS AND BEAMS ARE STILL IN PLACE. REFER TO PHOTO APPENDIX. DOOR AT THE BACK STEPS OUT ONTO THE DECK.

NO.	DATE	DESCRIPTION
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1	2022/04/29	FOR 90% REVIEW

REVISIONS:

200 CONCRETE MASONRY UNIT "RETAINING WALL" TO GO AROUND HELICAL PILES. IF WALL CMU WALL IS TOO WIDE, CONTRACTOR TO SUBSTITUTE WITH PLYWOOD AS PER ORIGINAL



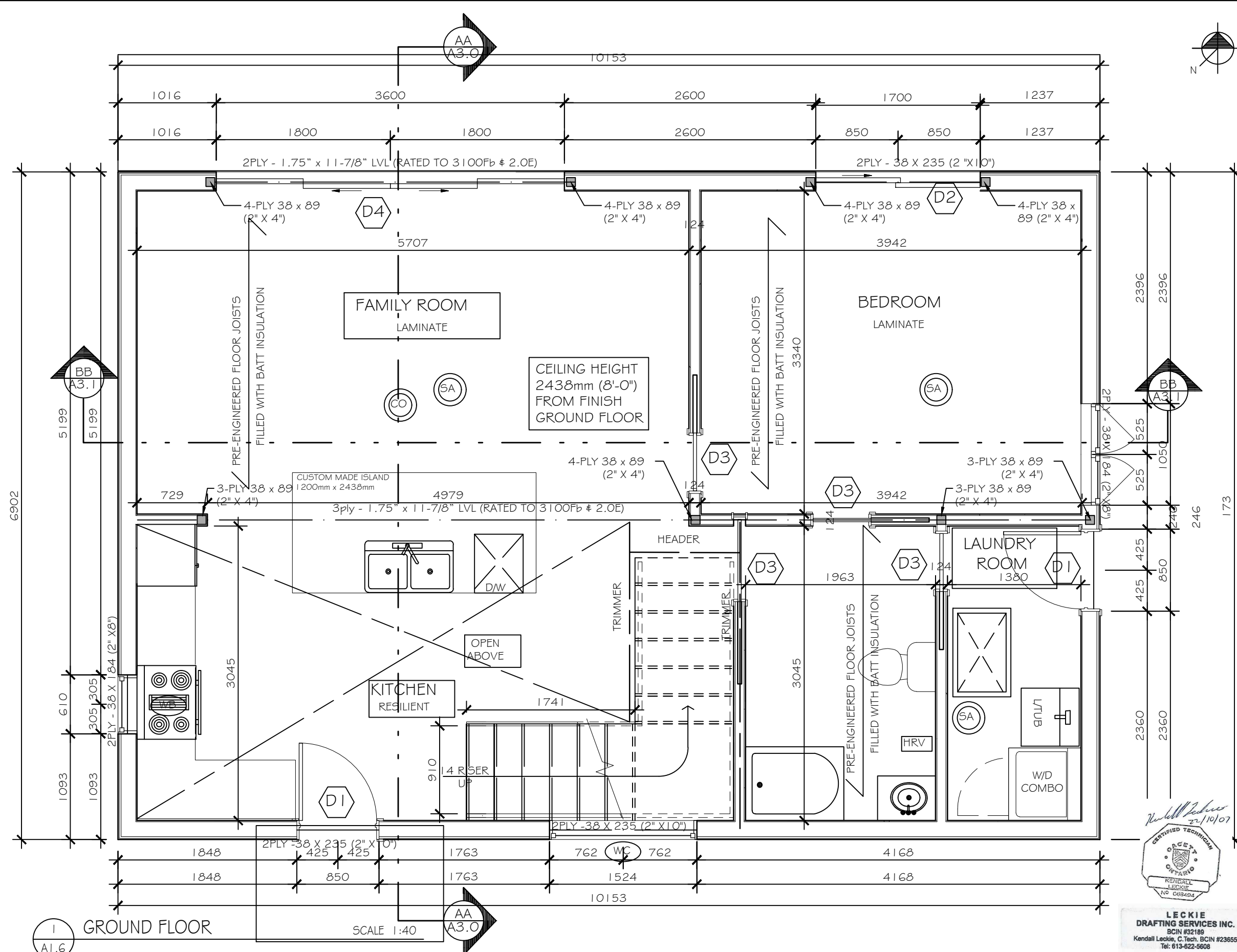
CRAWL SPACE HATCH 600 mm x 900mm (2'X3').
HEADER AND TRIMMER BOARDS TO BE INSTALLED

PROJECT
HOTCHKISS HOUSE RENOVATIONS
2992 Beaman Lane Kemptville, ON

DRAWING TITLE
FOUNDATION/CRAWL SPACE PLAN
DRAWN BY
D.MOMPEROUSSE
SCALE
1:40

DATE
MARCH 17 2023
FILE NUMBER
00 00 03
SHEET
A1.5

Kendall Leckie
22/10/07
CERTIFIED TECHNICAL
DRAFTSMAN
LECKIE
DRAFTING SERVICES INC.
BCIN #32189
Kendall Leckie, C.Tech. BCIN #23655
Tel: 613-622-5608



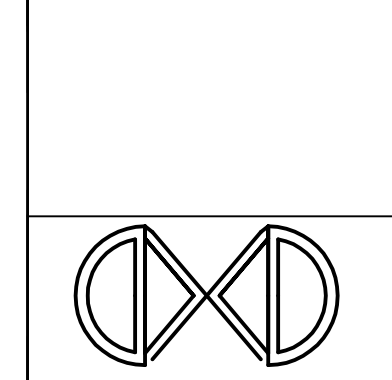
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1. INTERIOR NON LOAD BEARING WALL 38X89 UNLESS OTHERWISE MENTIONED
2. ALL GUARDS MUST BE A5 5B-7 (LOOK INTERIOR GUARD)
3. PROVIDE BLOCKING @900 MM O.C IN JOIST WHERE PARTITION WALL ABOVE RUN PARALLEL AND ARENT DIRECTLY ABOVE A FLOOR JOIST
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5. SA - SMOKE ALARM WITHOUT VISUAL SIGNALING COMPONENT(ALL INTERCONNECTED WITHOUT BATTERY BACK UP)
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10. ALL UNITS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.

(SA)	SMOKE ALARM
(CO)	CARBON MONOXIDE ALARM

NO.	DATE	DESCRIPTION
3	2023/03/17	FOR MINOR VARIANCE
2	2022/06/03	FOR STRUCTURAL REVIEW
1	2022/04/29	FOR 90% REVIEW

REVISIONS:



HOTCHKISS HOUSE RENOVATIONS
2992 Beaman Lane Kemptonville, ON

GROUND FLOOR PLAN

PROJECT: HOTCHKISS HOUSE RENOVATIONS
2992 Beaman Lane Kemptonville, ON

DRAWING TITLE: GROUND FLOOR PLAN

SCALE: 1:40

DATE: MARCH 17 2023

FILE NUMBER: 00 00 03

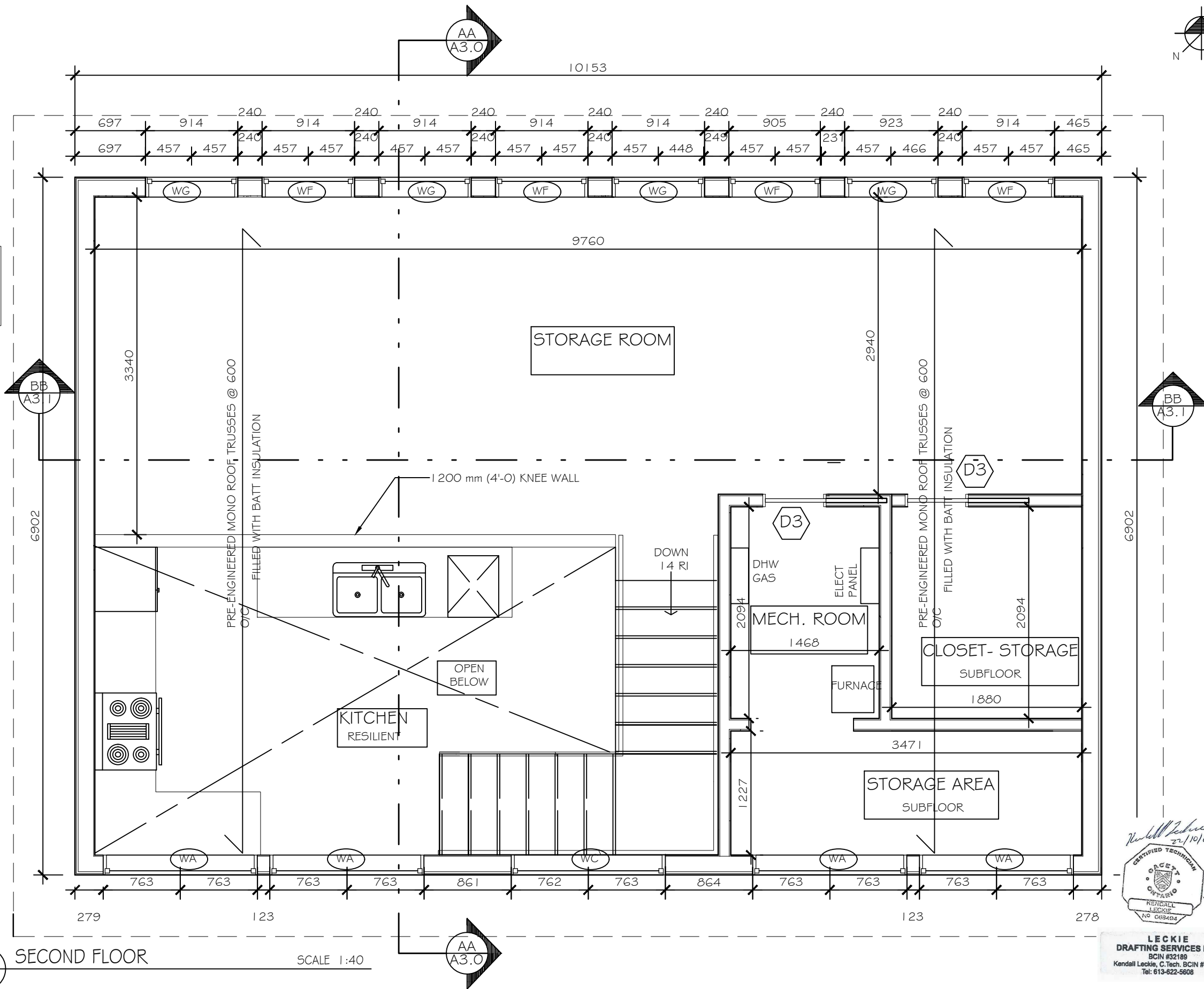
Kendall Leckie
22/10/07

LECKIE DRAFTING SERVICES INC.
BCIN #32189
Kendall Leckie, C.Tech. BCIN #23655
Tel: 613-622-5608

I GROUND FLOOR

SCALE 1:40

ALL LINTELS TO BE
2- 38X184 (2 X 8 ")
UNLESS OTHERWISE
NOTED



1 SECOND FLOOR SCALE 1:40

Kendall Leckie
22/10/07

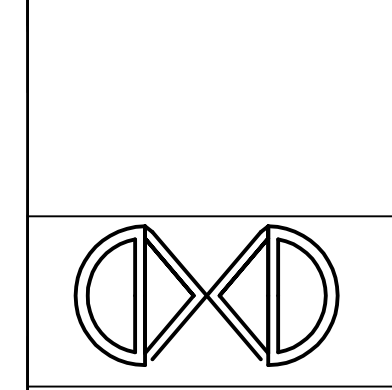
LECKIE DRAFTING SERVICES INC.
BCIN #32189
Kendall Leckie, C.Tech. BCIN #23655
Tel: 613-622-5608

DRAWING NOTES

1. INTERIOR NON LOAD BEARING WALL 38X89 UNLESS OTHERWISE MENTIONED
2. ALL GUARDS MUST BE A5 5B-7 (LOOK INTERIOR GUARD)
3. PROVIDE BLOCKING @900 MM O.C IN JOIST WHERE PARTITION WALL ABOVE RUN PARALLEL AND ARENT DIRECTLY ABOVE A FLOOR JOIST
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7. ALL LINTELS TO BE 2- 38X200 UNLESS OTHERWISE NOTED
8. DO NOT SCALE DRAWINGS
9. ALL UNITS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.
10. FURNACE TO BE RELOCATED ON SECOND FLOOR. MECHANICAL CONTRACTOR TO PROVIDE DUCT LAYOUT PRIOR TO INSTALLATION.
11. NEW DOMESTIC WATER HEATER TO BE INSTALLED.

(SA)	SMOKE ALARM	
(CO)	CARBON MONOXIDE ALARM	
3	2023/03/17	FOR MINOR VARIANCE
2	2022/06/03	FOR STRUCTURAL REVIEW
1	2022/04/29	FOR 90% REVIEW
NO.	DATE	DESCRIPTION

REVISIONS:



PROJECT
HOTCHKISS HOUSE RENOVATIONS
2992 Beaman Lane Kemptonville, ON

DRAWING TITLE
ATTIC/SECOND FLOOR

DRAWN BY
D.MOMPEROUSSE

SCALE
1:40

DATE
MARCH 17 2023

FILE NUMBER
00 00 03

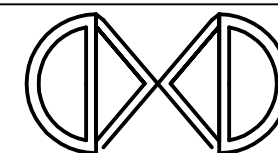
A1.7

DRAWING NOTES

1. INTERIOR NON LOAD BEARING WALL 38X89 UNLESS OTHERWISE MENTIONED
2. ALL GUARDS MUST BE A5 SB-7 (LOOK INTERIOR GUARD)
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6. 9.17(OBC) 101 X 101 ASS COLUMN WITHOUT 150 X 150 STEEL TOP/BOTTOM PLATES 6.4mm
7. ALL LINTELS TO BE 2- 38X200 UNLESS OTHERWISE NOTED
8. DO NOT SCALE DRAWINGS
9. EXISTING DECK IS NOT ATTACHED TO THE HOUSE. CONTRACTOR TO ENSURE THAT DECK, POSTS AND BEAMS ARE STILL IN PLACE. REFER TO PHOTO APPENDIX. DOOR AT THE BACK STEPS OUT ONTO THE DECK.

NO.	DATE	DESCRIPTION
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2	2022/06/03	FOR STRUCTURAL REVIEW
1	2022/04/29	FOR 90% REVIEW

REVISIONS:



PROJECT
HOTCHKISS HOUSE RENOVATIONS
 2992 Beaman Lane Kemptville, ON

DRAWING TITLE
ROOF PLAN

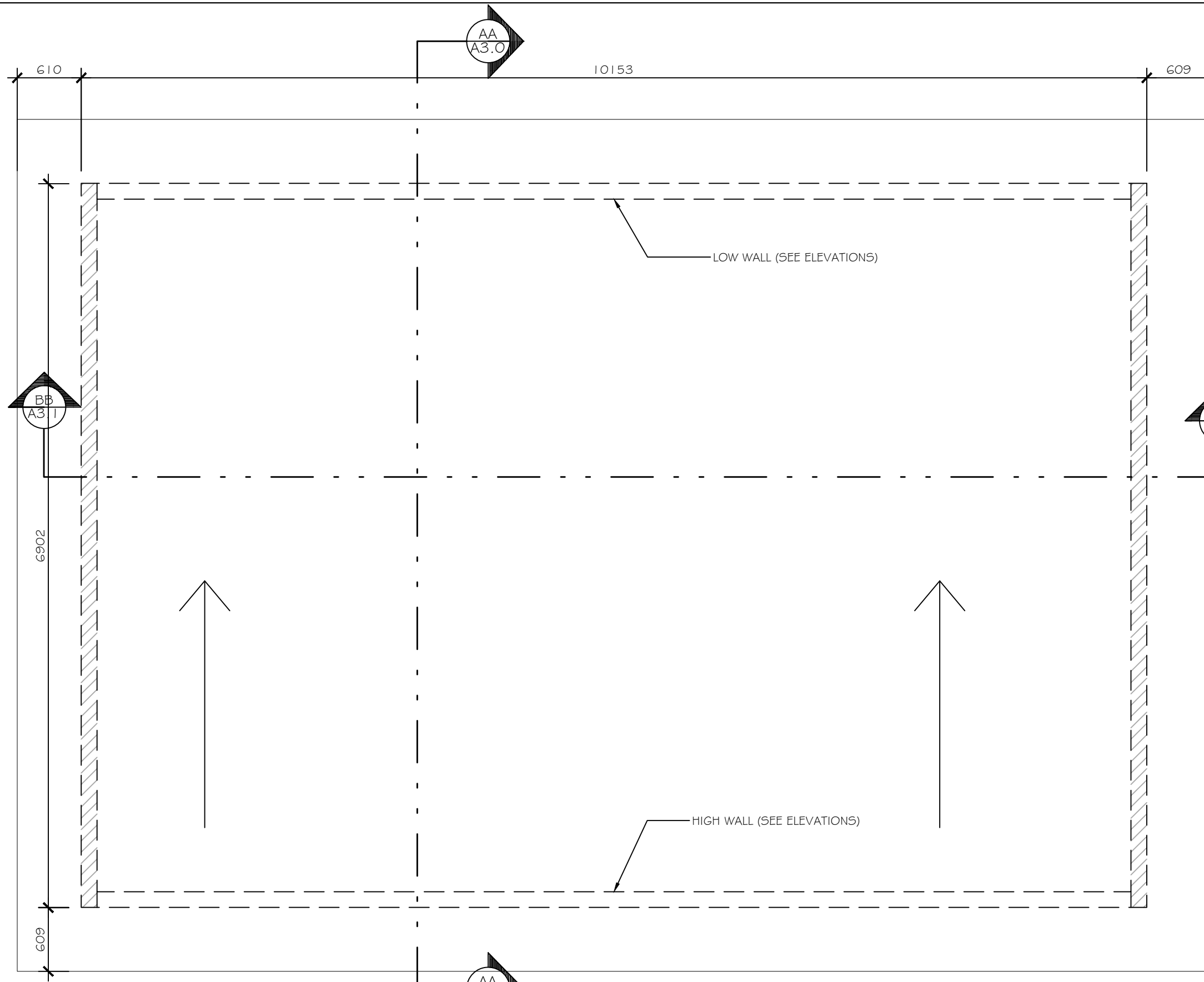
DRAWN BY
 D.MOMPEROUSSE

SCALE
 1:40

DATE
 MARCH 17 2023

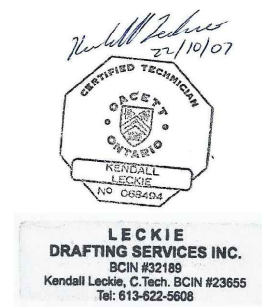
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A1.8



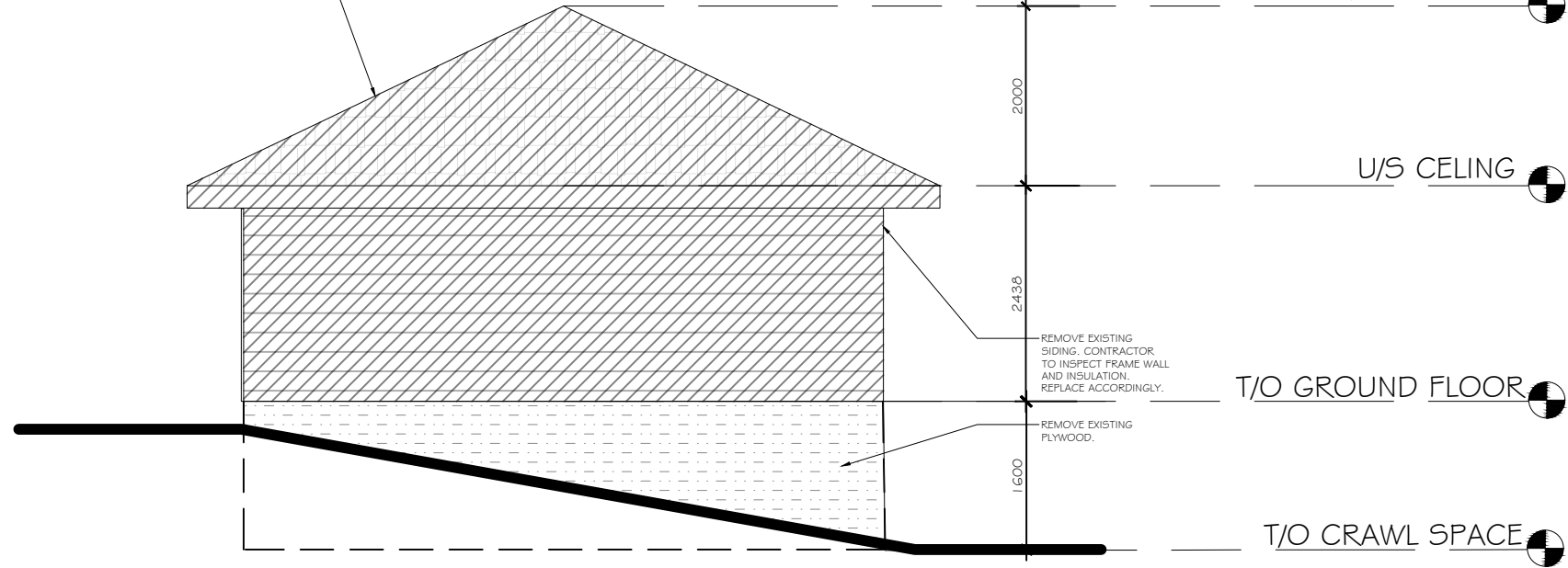
1 ROOF PLAN
 A1.8

SCALE 1:40



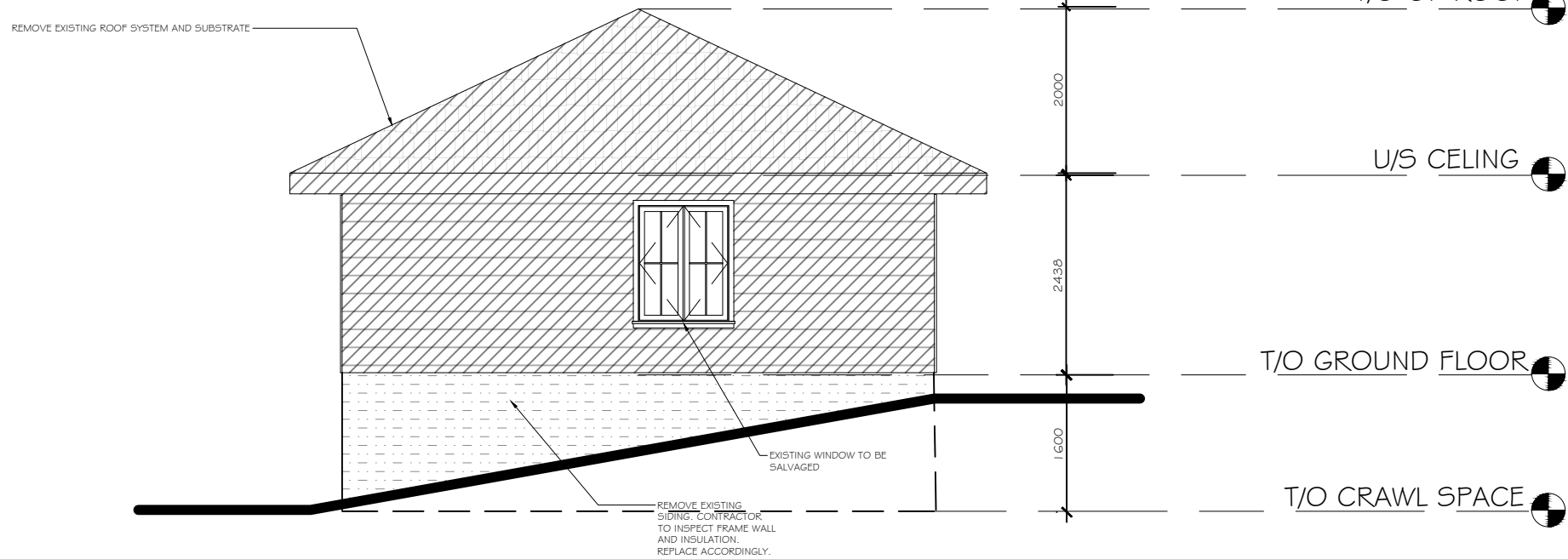
LECKIE DRAFTING SERVICES INC.
 BCIN #32189
 Kendall Leckie, C.Tech. BCIN #23655
 Tel: 613-622-5608

REMOVE EXISTING ROOF SYSTEM AND SUBSTRATE



1 RIGHT ELEVATION SCALE 1:75
A2.0

REMOVE EXISTING ROOF SYSTEM AND SUBSTRATE



2 LEFT ELEVATION SCALE 1:75
A2.0

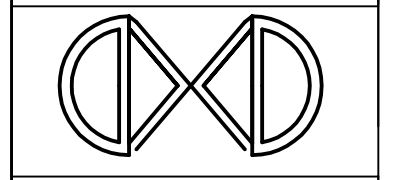
DEMOLITION NOTES

1. THE CONTRACTOR SHALL REMOVE EXISTING WALLS AND OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLANS.
2. THE CONTRACTOR SHALL PROVIDE NECESSARY PROTECTIONS OF INTERIOR SPACE AND EXTERIOR SPACE WHILE DEMOLISHING.
3. ALL DEMOLITION, REMOVE EXISTING WINDOW/FRAME AND/OR DOOR/FRAME, AND PREPARE TO RECEIVE NEW WINDOWS/DOORS TO THE SATISFACTION OF THE WINDOW/DOOR SUPPLIER AND INSTALLER.
4. ON EXTERIOR WALLS, REMOVE EXISTING SIDING, INSPECT EXISTING TRUE 38X89 STUD WALL. EXISTING STUD WALL AND INSULATION TO REMAIN. REMOVE EXISTING GYPSUM WALL PANEL.
5. ON INTERIOR WALLS, REMOVE GYPSUM WALL PANEL, STUD LUMBER. AND REPLACE WITH NEW.
6. REMOVE ALL FIXTURES, CABINET, FURNITURE, APPLIANCES AS INDICATED BY CLIENT.
7. ALL ELECTRICAL, PLUMBING, AND MECHANICAL DISCONNECTION TO BE PERFORMED PRIOR TO THE REMOVAL OF THE WALLS.
8. REMOVE CEILING, EXISTING RAFTERS AND SHINGLES FOR PREPARATION OF NEW ROOF.
9. EXISTING DECK IS NOT ATTACHED TO THE HOUSE. CONTRACTOR TO ENSURE THAT DECK, POSTS AND BEAMS ARE STILL IN PLACE. REFER TO PHOTO APPENDIX. DOOR AT THE BACK STEPS OUT ONTO THE DECK.

TO BE REMOVED

NO.	DATE	DESCRIPTION
3	2023/03/17	FOR MINOR VARIANCE
2	2022/06/03	FOR STRUCTURAL REVIEW
1	2022/04/29	FOR 90% REVIEW

REVISIONS:



PROJECT
HOTCHKISS HOUSE RENOVATIONS
2992 Beaman Lane Kemptville, ON

DRAWING TITLE
LEFT AND RIGHT ELEVATION DEMOLITION

DRAWN BY
D.MOMPEROUSSE

SCALE
1:75

DATE
MARCH 17 2023

FILE NUMBER
00 00 03


A2.0

Kendall Leckie
22/10/07

LECKIE DRAFTING SERVICES INC.
BCIN #32189
Kendall Leckie, C.Tech. BCIN #23655
Tel: 613-622-5608

DEMOLITION NOTES

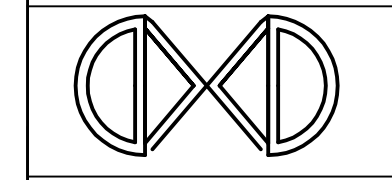
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 TO BE REMOVED

NO.	DATE	DESCRIPTION
3	2023/03/17	FOR MINOR VARIANCE
2	2022/06/03	FOR STRUCTURAL REVIEW
1	2022/04/29	FOR 90% REVIEW

REVISIONS:

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PROJECT
HOTCHKISS HOUSE RENOVATIONS
 2992 Beaman Lane Kemptville, ON

DRAWING TITLE
REAR AND FRONT ELEVATION DEMOLITION

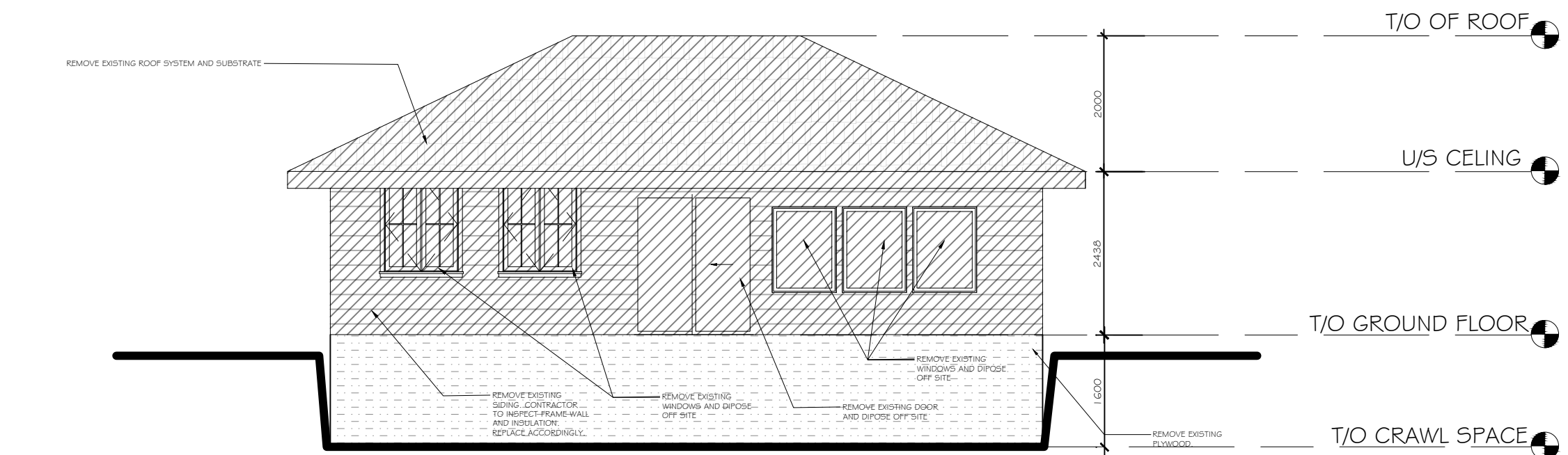
DRAWN BY
 D.MOMPEROUSSE

SCALE
 1:75

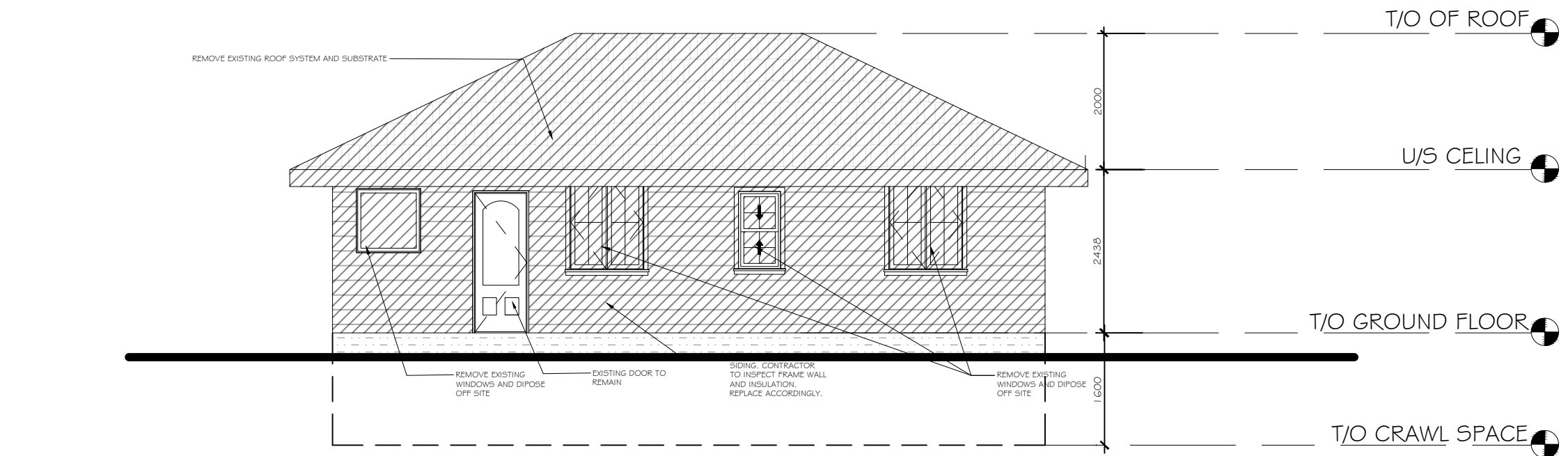
DATE
 MARCH 17 2023

FILE NUMBER
 00 00 03

A2.1



1 REAR ELEVATION SCALE 1:75
 A2.1



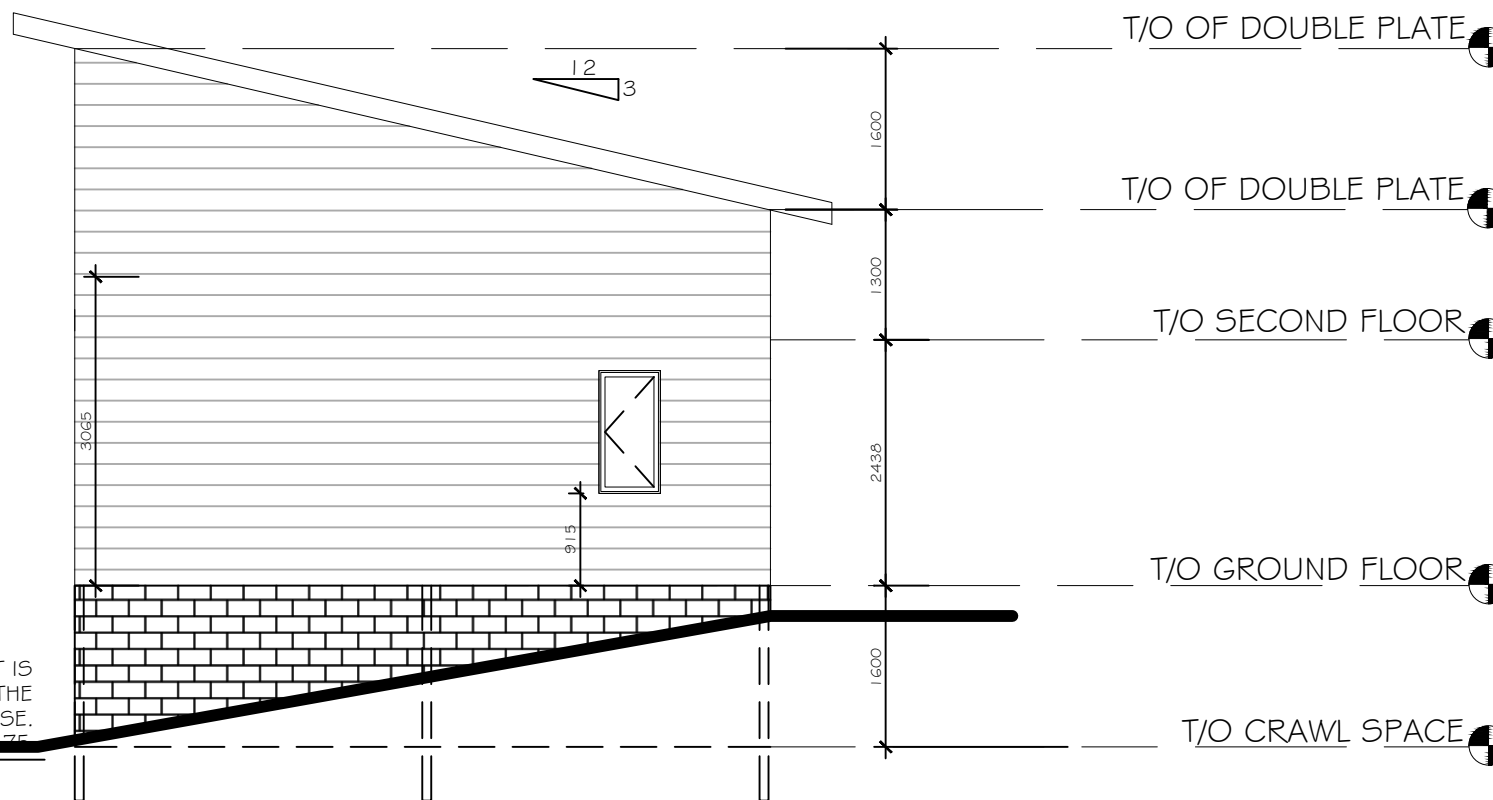
2 FRONT ELEVATION SCALE 1:75
 A2.1

Kendall Leckie
 22/10/07
 CERTIFIED TECHNICAL
 DRAFTSMAN
 ONTARIO
 KENDALL LECKIE
 NO. 038494

LECKIE DRAFTING SERVICES INC.
 BCIN #32189
 Kendall Leckie, C.Tech. BCIN #23655
 Tel: 613-622-5608

1 RIGHT ELEVATION
A2.2

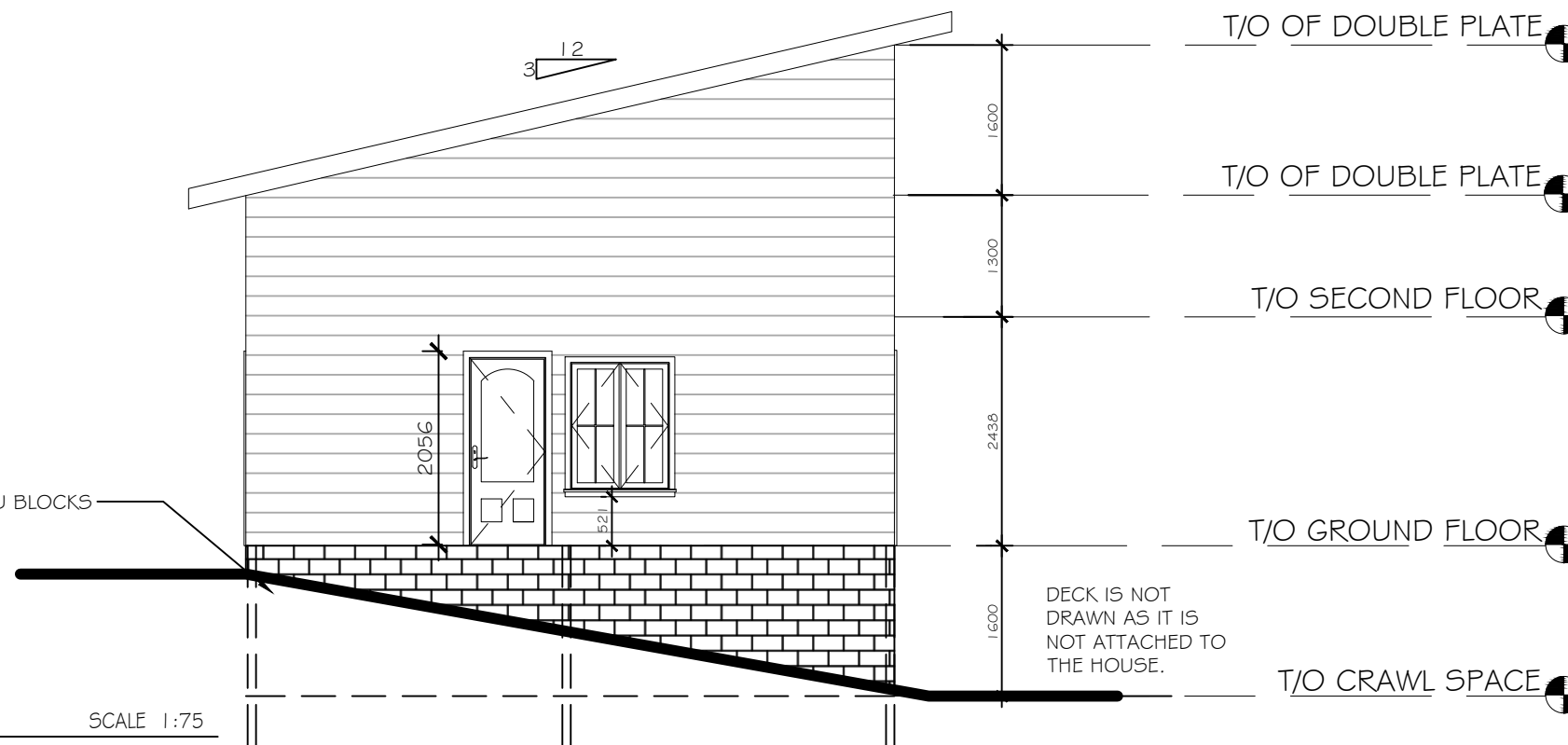
DECK IS NOT DRAWN AS IT IS NOT ATTACHED TO THE HOUSE.
SCALE 1:75



2 LEFT ELEVATION
A2.2

SCALE 1:75

NON-STRUCTURAL CMU BLOCKS

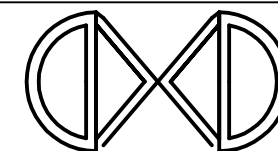


ELEVATION NOTES

1. PROVIDE DRIP CAP FLASHING ABOVE ALL EXTERIOR OPENING.
2. PROVIDE SELF ADHERING MEMBRANE AT EAVES AND VALLEYS.
3. ROOF FLASHING INSTALLED AT ALL VALLEYS, WALL INTERSECTIONS, AND JUNCTION WHERE WATER COULD PENETRATE THE ROOF DECK.
4. VENTING TO BE UNIFORMLY DISTRIBUTED ON OPPOSITE SIDES OF THE BUILDING FOR CROSSVENTILATION WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF ROOF SPACE AND NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE BOTTOM OF ROOF SPACE.
5. EXISTING DECK IS NOT ATTACHED TO THE HOUSE. CONTRACTOR TO ENSURE THAT DECK, POSTS AND BEAMS ARE STILL IN PLACE. REFER TO PHOTO APPENDIX. DOOR AT THE BACK STEPS OUT ONTO THE DECK.

NO.	DATE	DESCRIPTION
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1	2022/04/29	FOR 90% REVIEW

REVISIONS:



PROJECT
HOTCHKISS HOUSE RENOVATIONS
2992 Beaman Lane Kemptonville, ON

DRAWING TITLE
RIGHT AND LEFT ELEVATION

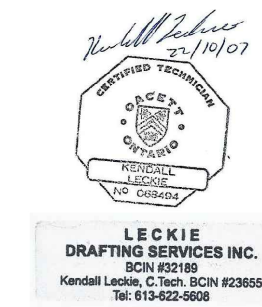
DRAWN BY
D.MOMPEROUSSE

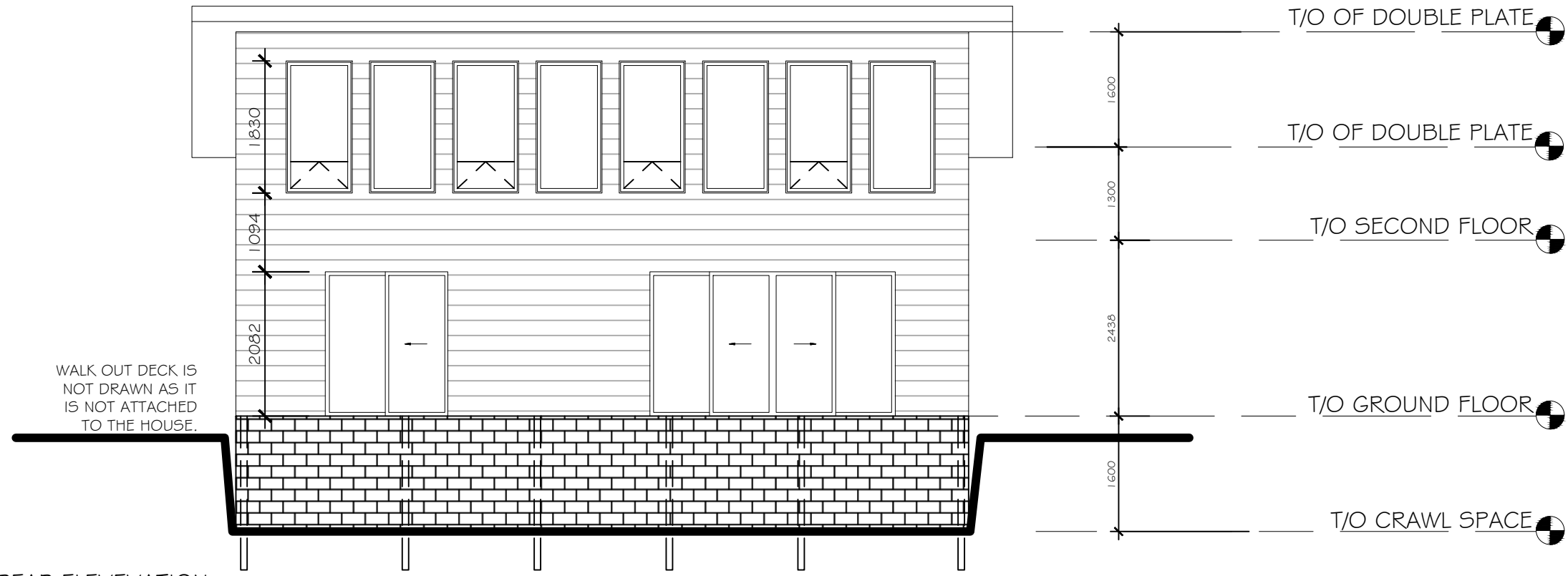
SCALE
1:75

DATE
MARCH 17 2023

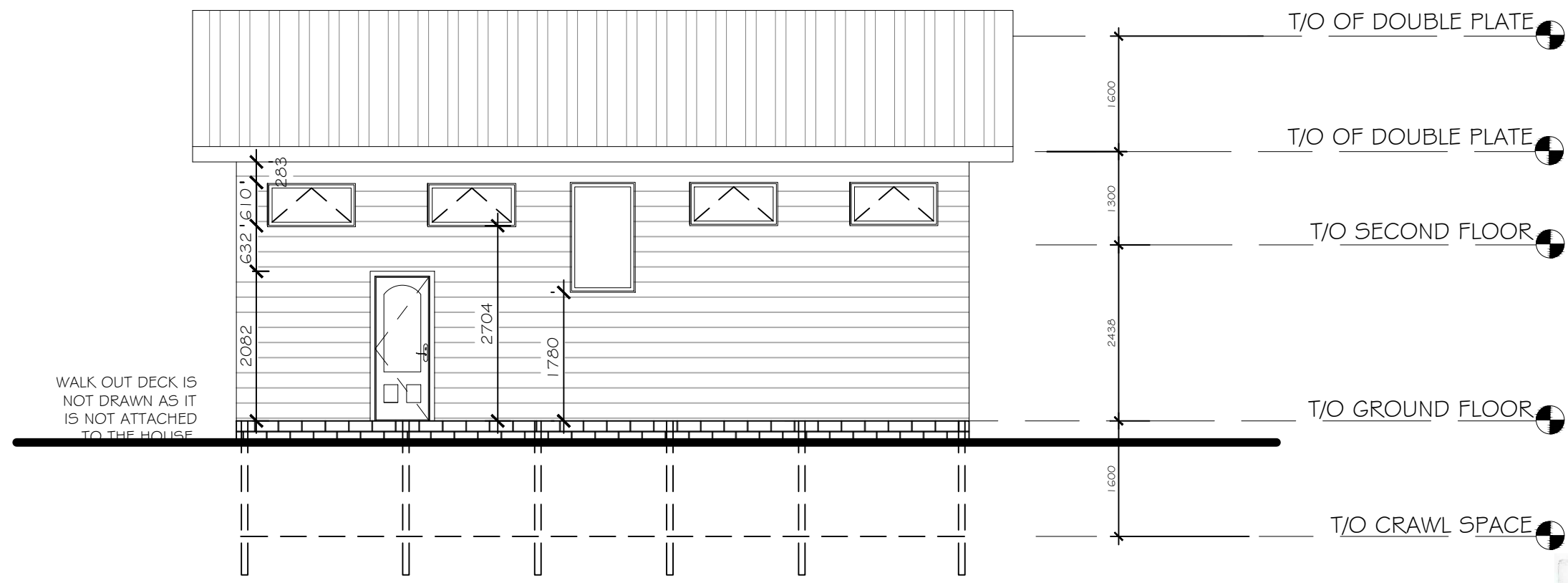
FILE NUMBER
00 00 03

A2.2





1 REAR ELEVATION SCALE 1:75
A2.3



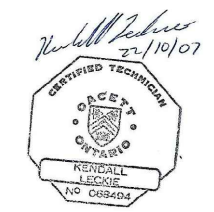
2 FRONT ELEVATION SCALE 1:75
A2.3

WALK OUT DECK IS NOT DRAWN AS IT IS NOT ATTACHED TO THE HOUSE.

WALK OUT DECK IS NOT DRAWN AS IT IS NOT ATTACHED TO THE HOUSE.

T/O OF DOUBLE PLATE
T/O OF DOUBLE PLATE
T/O SECOND FLOOR
T/O GROUND FLOOR
T/O CRAWL SPACE

T/O OF DOUBLE PLATE
T/O OF DOUBLE PLATE
T/O SECOND FLOOR
T/O GROUND FLOOR
T/O CRAWL SPACE



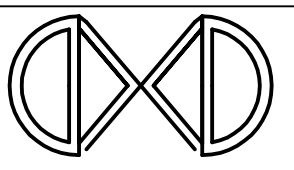
LECKIE DRAFTING SERVICES INC.
BCIN #32189
Kendall Leckie, C.Tech. BCIN #23655
Tel: 613-622-5608

ELEVATION NOTES

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2. PROVIDE SELF ADHERING MEMBRANE AT EAVES AND VALLEYS.
3. ROOF FLASHING INSTALLED AT ALL VALLEYS, WALL INTERSECTIONS, AND JUNCTION WHERE WATER COULD PENETRATE THE ROOF DECK.
4. VENTING TO BE UNIFORMLY DISTRIBUTED ON OPPOSITE SIDES OF THE BUILDING FOR CROSSVENTILATION WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF ROOF SPACE AND NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE BOTTOM OF ROOF SPACE.
5. EXISTING DECK IS NOT ATTACHED TO THE HOUSE. CONTRACTOR TO ENSURE THAT DECK, POSTS AND BEAMS ARE STILL IN PLACE. REFER TO PHOTO APPENDIX. DOOR AT THE BACK STEPS OUT ONTO THE DECK.

NO.	DATE	DESCRIPTION
3	2023/03/17	FOR MINOR VARIANCE
2	2022/06/03	FOR STRUCTURAL REVIEW
1	2022/04/29	FOR 90% REVIEW

REVISIONS:



PROJECT
HOTCHKISS HOUSE RENOVATIONS
2992 Beaman Lane Kemptville, ON

DRAWING TITLE
FRONT AND REAR ELEVATION

DRAWN BY
D.MOMPEROUSSE

SCALE
1:75

DATE
MARCH 17 2023

FILE NUMBER
00 00 03

A2.3

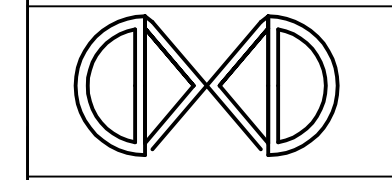
DRAWING NOTES

1. PROVIDE DRIP CAP FLASHING ABOVE ALL EXTERIOR OPENING.
2. PROVIDE SELF ADHERING MEMBRANE AT EAVES AND VALLEYS.
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6. CRAWL SPACE GRADE TO BE ADJUSTED ACCORDINGLY ONCE HELICAL PILES HAVE BEEN INSTALLED. CONTRACTOR TO BACKFILL.

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REVISIONS:

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HOTCHKISS HOUSE RENOVATIONS
2992 Beaman Lane Kemptonville, ON

BUILDING SECTION AA

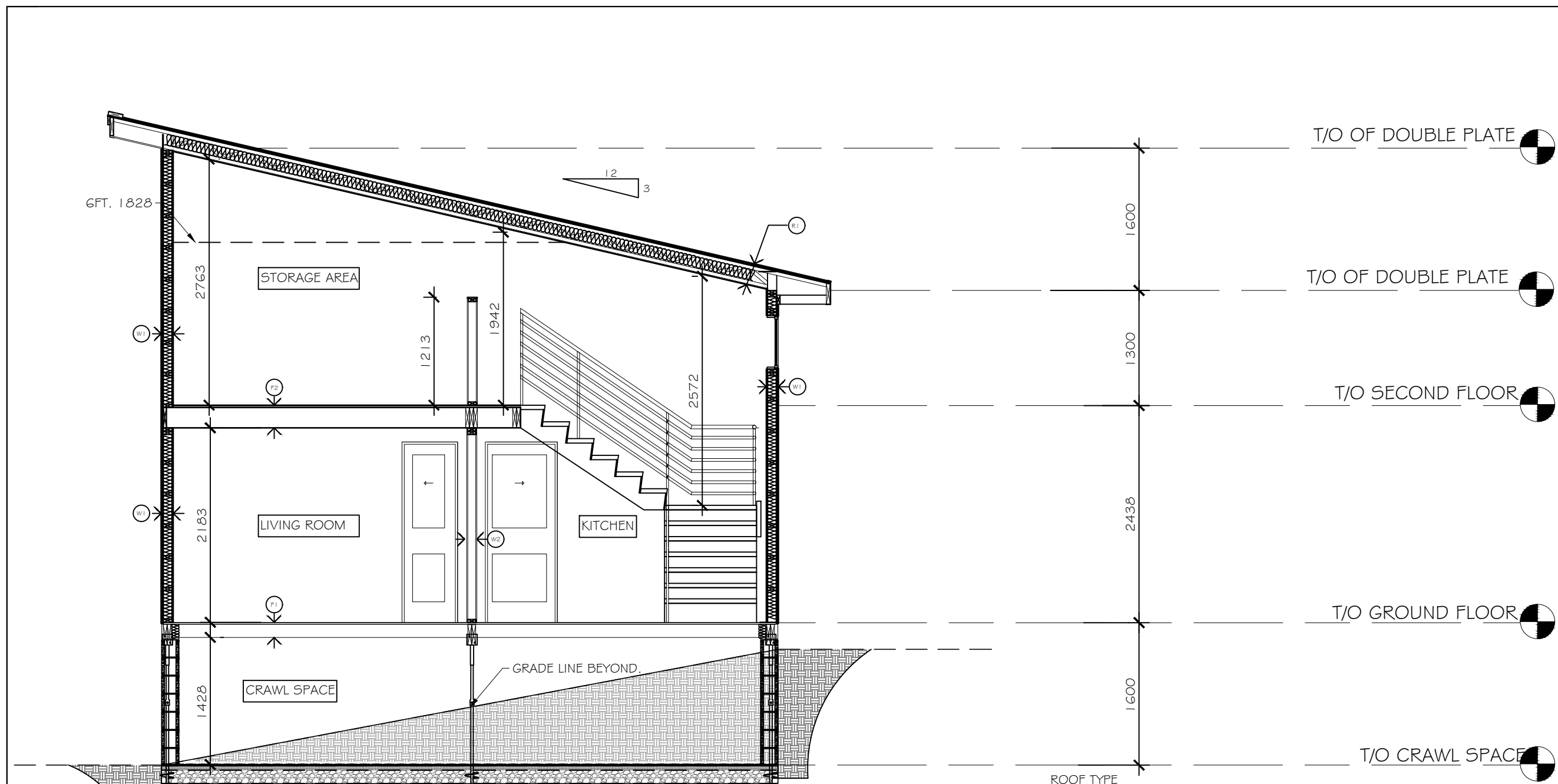
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SCALE: 1:75

DATE: APRIL 18 2022

FILE NUMBER: 00 00 02

A3.0



ROOF TYPE

- R1 - STEEL ROOF CLADDING
METAL EAVE STARTER
SELF ADHERING MEMBRANE AT EAVES AND VALLEYS
NO. 15 UNDERLAYMENT
9.5 MM SPF PLYWOOD ROOF SHEATHING W/H CLIP EDGE SUPPORT
ENGINEERED MONO-TRUSSES @ 610 MM O/C
25.4 mm AIR SPACE PROVIDED VIA BAFFLE
R31 BLOWN-IN CELLULOSE INSULATION (CEILING WITHOUT ATTIC SPACE)
6 MIL POLY AIR/VAPOR BARRIER
19 x 89 mm STRAPPING @ 400 O/C
12.7 mm GYPSUM BOARD

WALL TYPES

- W1 - METAL VERTICAL SIDING (12.7mm)
19 X89 mm HORIZONTAL STRAPPING
AIR BARRIER/ 2nd PLANE OF PROTECTION (9.27.3.1)
12.7 mm OSB WALL SHEATHING
38 X 89mm SPF STUDS @ 300 mm O/C
R22 SPRAY FOAM INSULATION
6 MIL POLY VAPOR BARRIER
12.7 mm GYPSUM BOARD (MOLD RESISTANT)

- TALL WALL NOTES-**
- (2) 38 X 89 SPF STUDS @ 300 O/C
SOLID BRIDGING @ 1M O/C
STUDS FASTENED @ TOP+ BOTTOM
PLATES W/ (3) 82 mm TOE-NAILS
DOUBLE TOP PLATES FASTENED
TOGETHER W/ 76 mm NAILS @ 200 O/C
TRUSSES FASTENED TO TOP PLATES
W/ (4) 82 mm TOE-NAILS
BOTTOM PLATE FASTENED TO RIMKOIST W/
82 mm @200 O/C

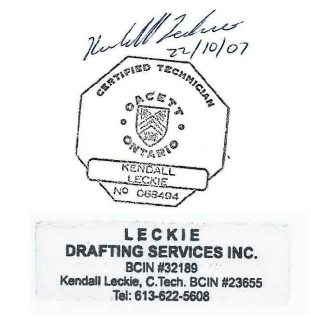
- W2- 12.7 mm GYPSUM BOARD
38 X 89 SPF STUDS @ 400 mm O/C
12.7 mm GYPSUM BOARD

FLOOR TYPES

- F1 - LAMINATE FLOOR FINISH
15.8 mm PLYWOOD T# G SUBFLOOR
38 X 200 @ 400 O/C FILLED WITH R31
SPRAY FOAM INSULATION
- F2- 15.8 mm PLYWOOD T# G SUBFLOOR
250mm PRE-ENGINEERED JOISTS
(SPACING AND BLOCKING AS PER
MANUFACTURER 'S SPECIFICATIONS)
19 x 89 mm STRAPPING @ 400 O/C
12.7 mm GYPSUM BOARD

1 BUILDING SECTION AA

SCALE 1:75



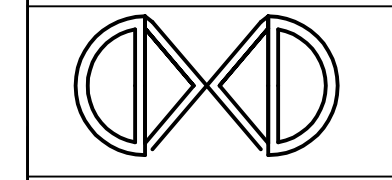
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PROJECT
HOTCHKISS HOUSE RENOVATIONS
 2992 Beaman Lane Kemptonville, ON

DRAWING TITLE
FRONT AND REAR ELEVATION

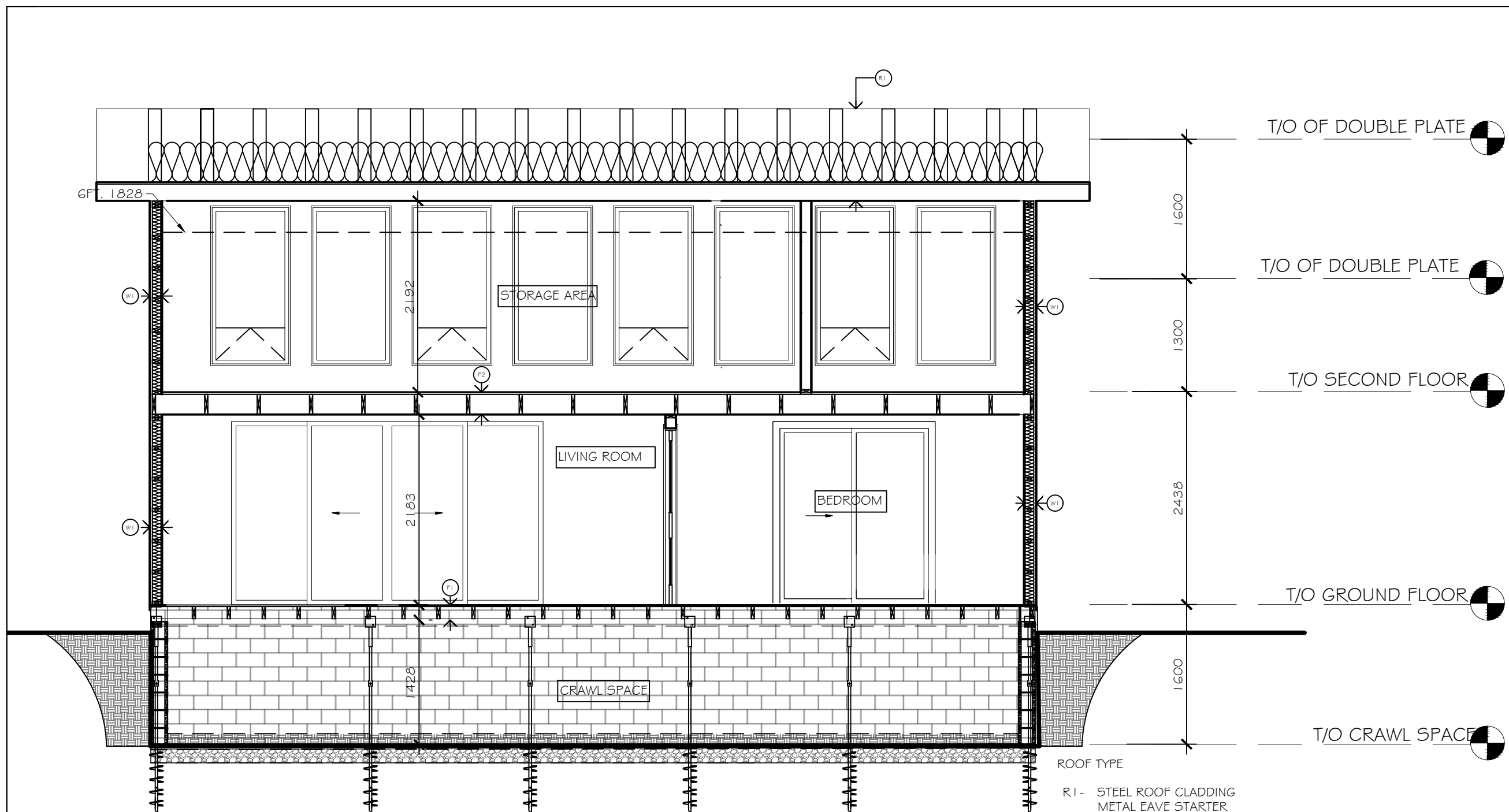
DRAWN BY
 D.MOMPEROUSSE

SCALE
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DATE
 MARCH 17 2023

FILE NUMBER
 00 00 03

A3.1



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WALL TYPES

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TALL WALL NOTES- (2) 38 X 89 SPF STUDS @ 300 O/C
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FLOOR TYPES

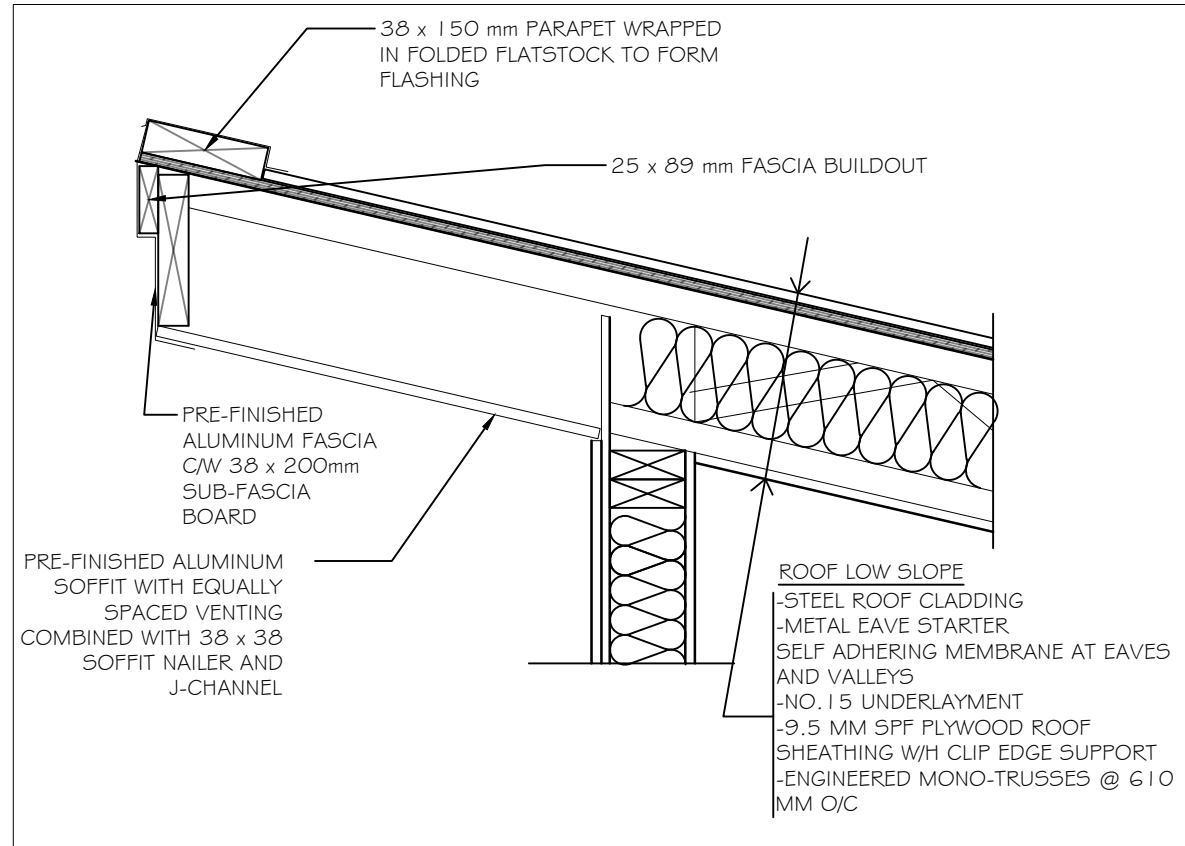
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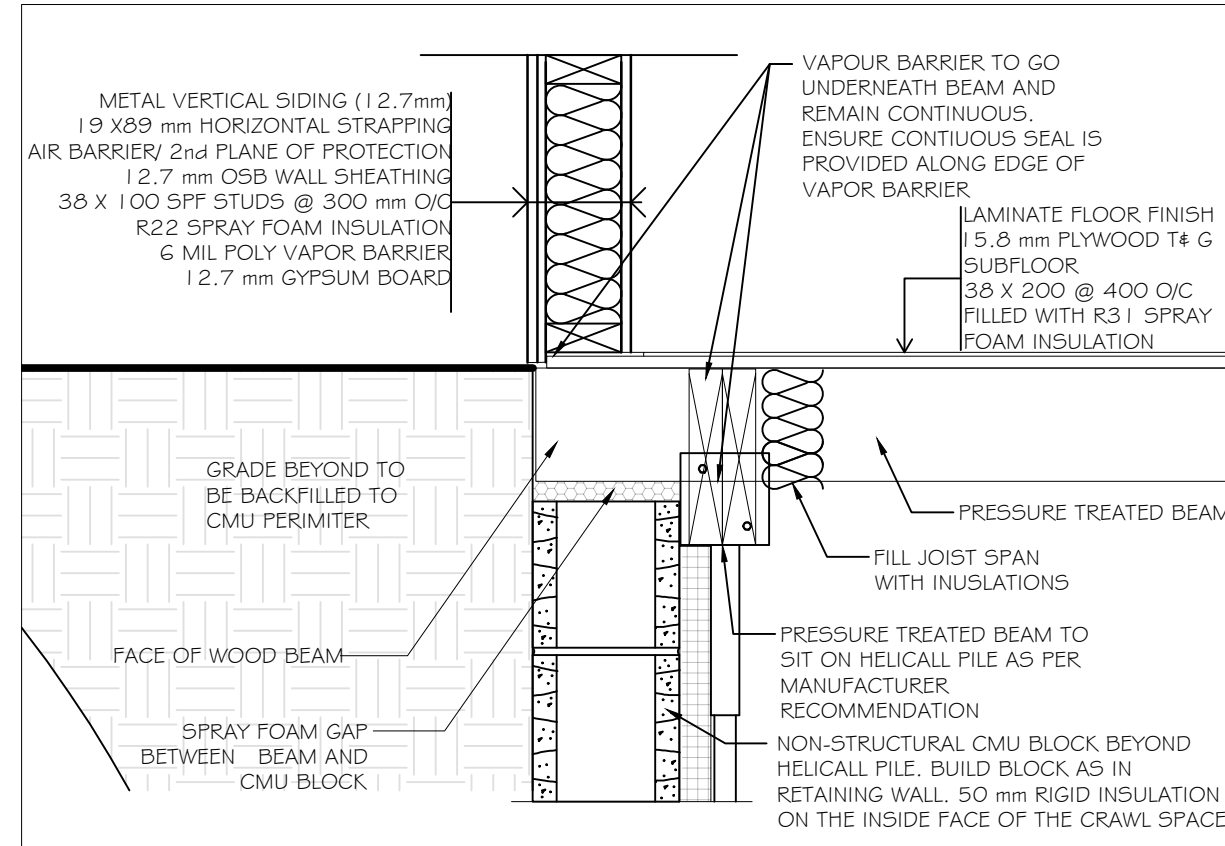


2 FRONT ELEVATION SCALE 1:75

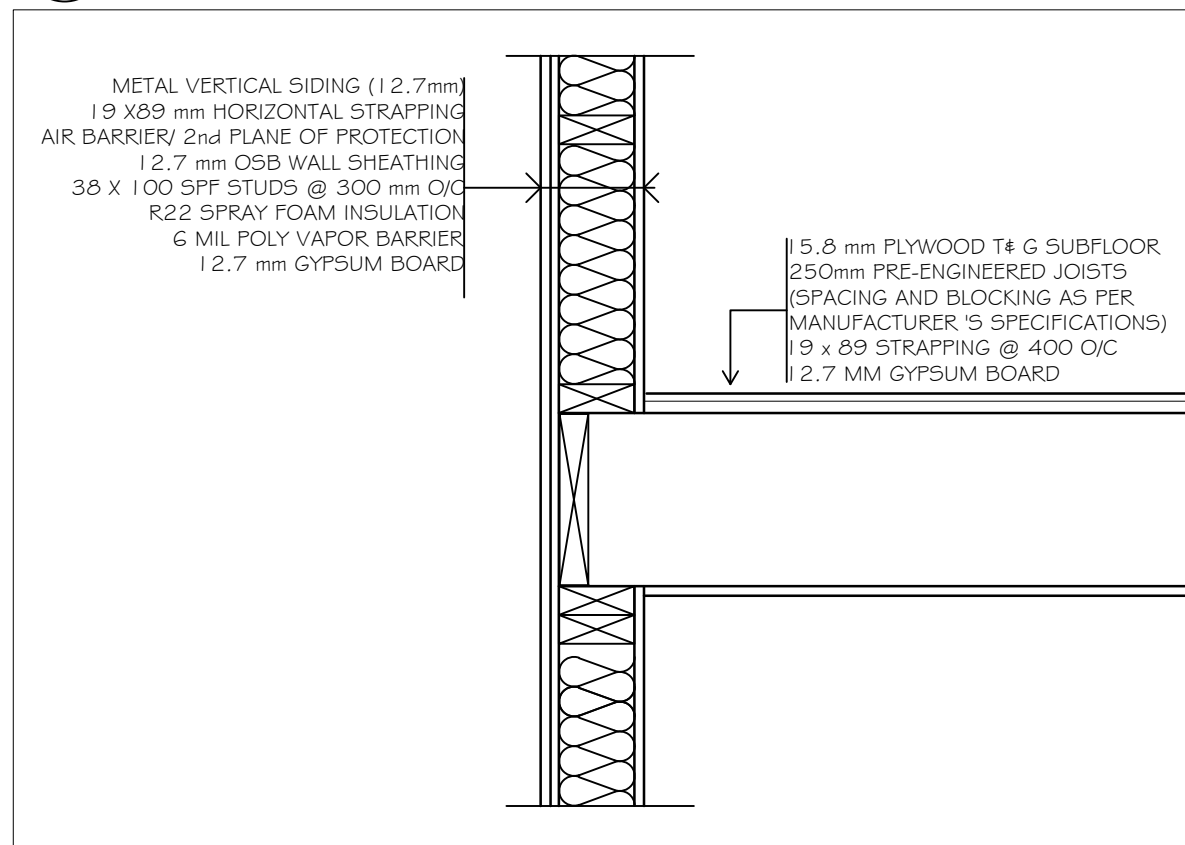
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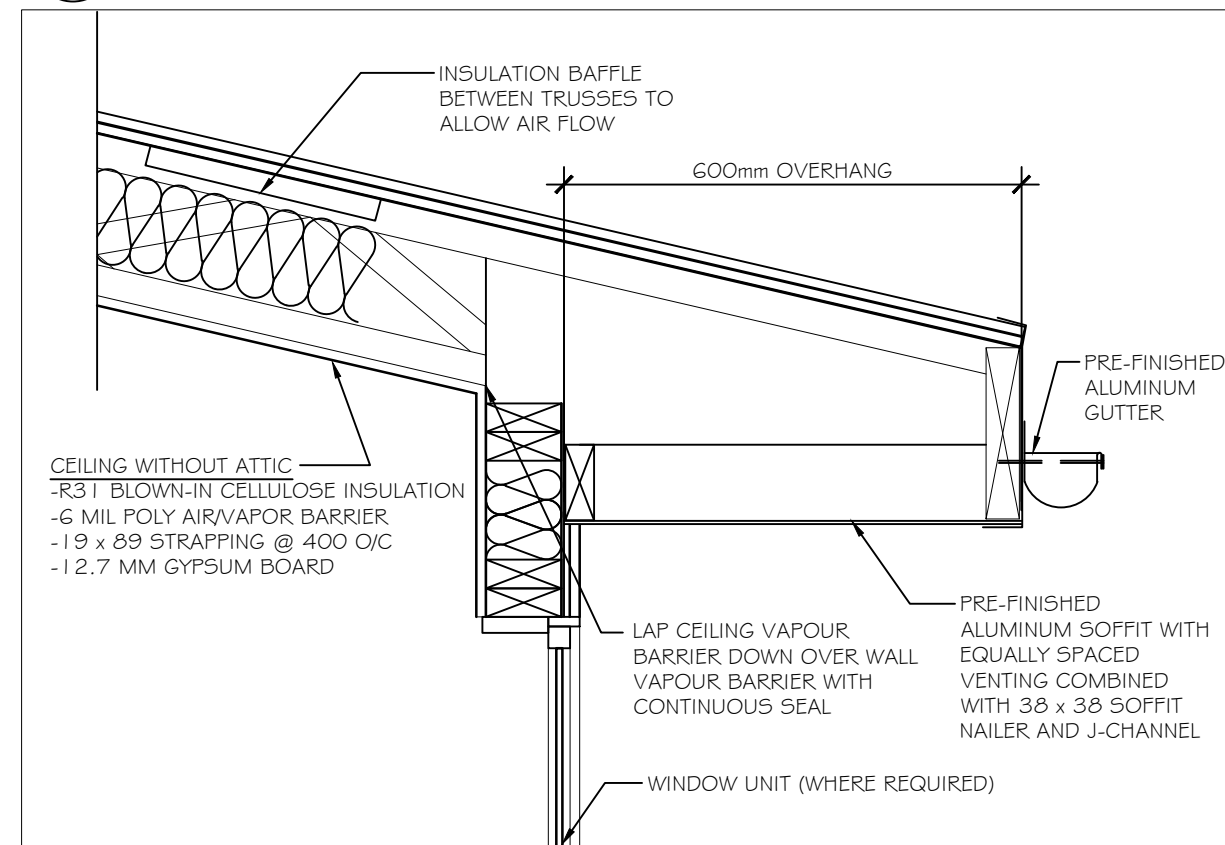
1 PARAPET DETAIL SCALE 1:10
A4.0



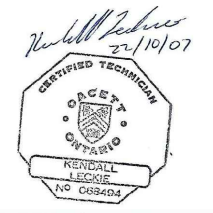
3 FLOOR AT CRAWL SPACE SCALE 1:10
A4.0



2 EXPOSED SECOND FLOOR SCALE 1:10
A4.0



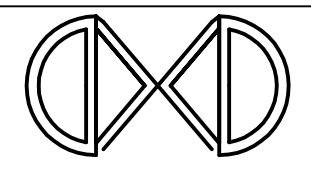
4 EAVE DETAIL SCALE 1:10
A201



LECKIE DRAFTING SERVICES INC.
BCIN #32189
Kendall Leckie, C. Tech. BCIN #23655
Tel: 613-822-5608

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DETAILS

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D.MOMPEROUSSE

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A4.0