

1 Site Plan
1" = 20'-0"

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2023-04-26
City of Ottawa | Ville d'Ottawa
Comité de dérogation



Melmar Group
Concept Drawings

PROJECT NUMBER:
ADDRESS: 1486 Baseline Rd

Site Plan

DRAWN BY: CK
CHECKED BY: CK
SCALE: 1" = 20'-0"
April 25, 2023



① Front Elevation
1/8" = 1'-0"



② Rear Elevation
1/8" = 1'-0"

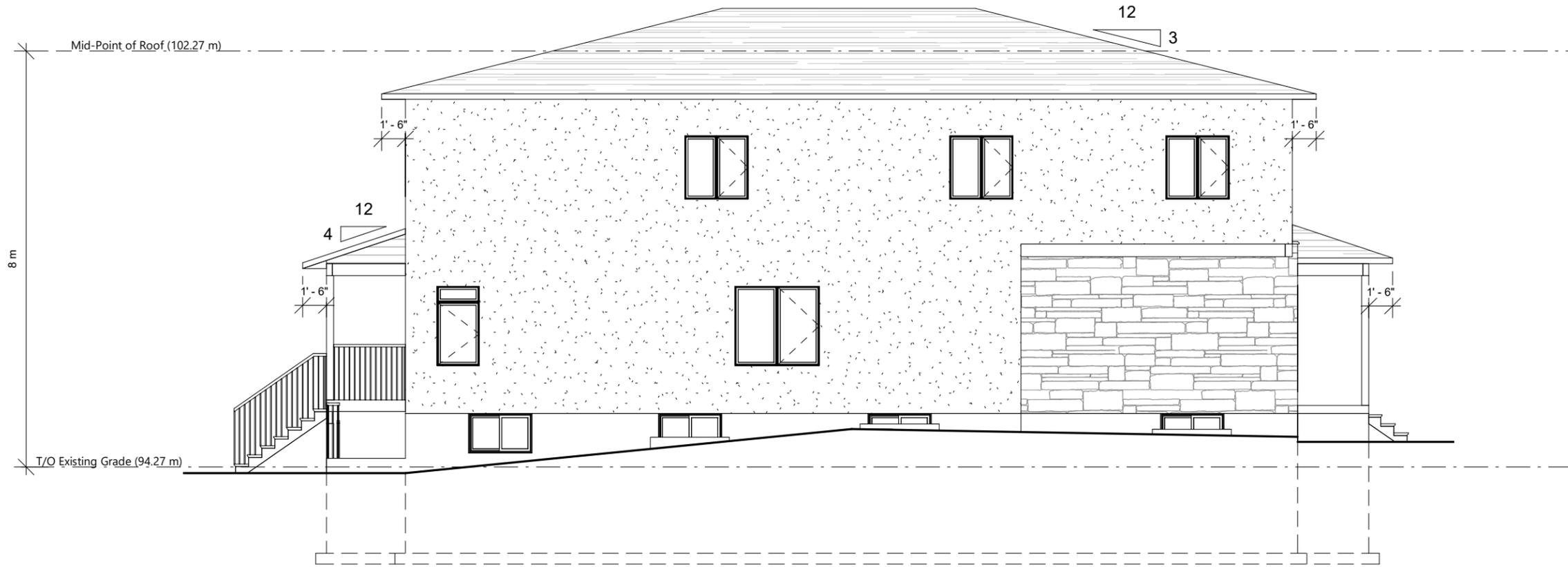
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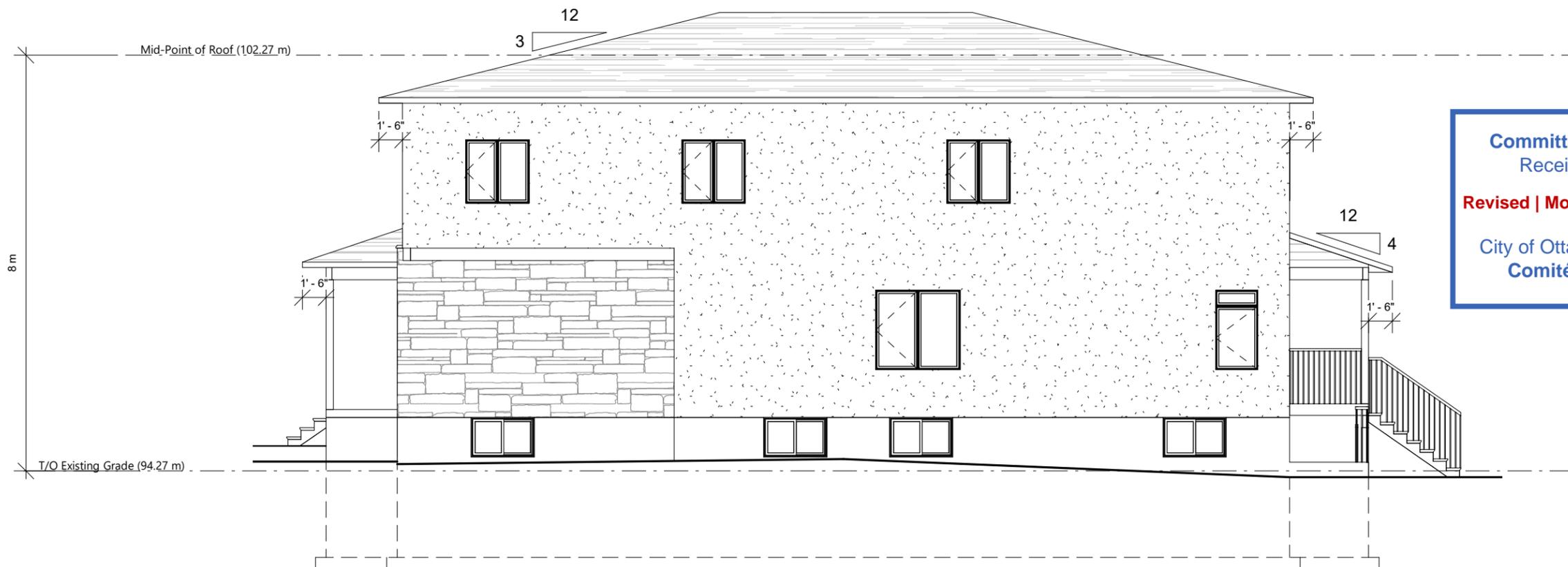
PROJECT NUMBER:
ADDRESS: 1486 Baseline Rd

Elevations

DRAWN BY: CK
CHECKED BY: CK
SCALE: 1/8" = 1'-0"
April 25, 2023



① Left Elevation
1/8" = 1'-0"



② Right Elevation
1/8" = 1'-0"

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- LEGEND**
- EXISTING CATCHBASIN
 - EXISTING MANHOLE
 - STORM SEWER
 - SANITARY SEWER
 - WATERMAIN
 - UTILITY POLE
 - FIRE HYDRANT
 - WATER VALVE
 - TEMPORARY BENCHMARK

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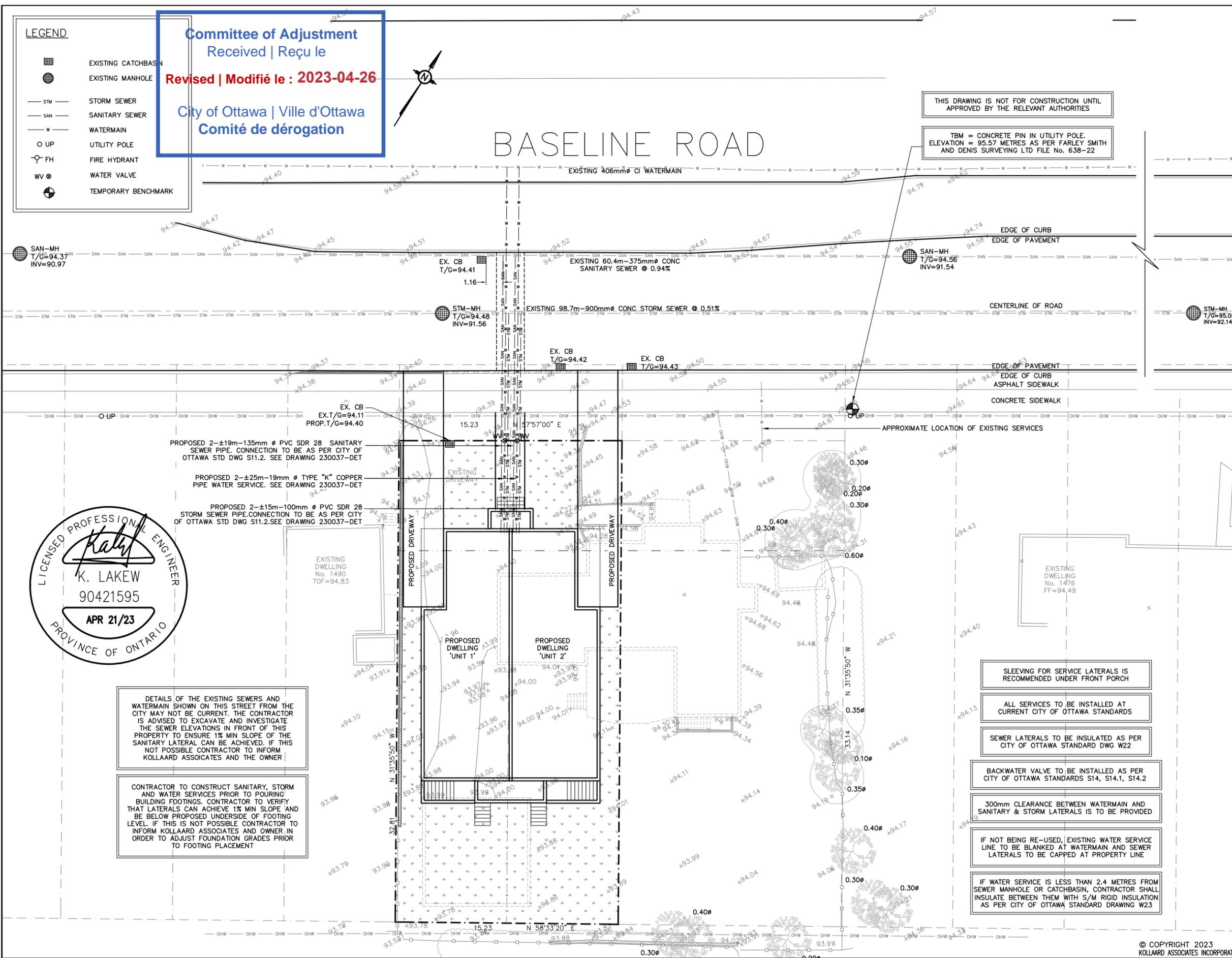


BASELINE ROAD

THIS DRAWING IS NOT FOR CONSTRUCTION UNTIL APPROVED BY THE RELEVANT AUTHORITIES

TBM = CONCRETE PIN IN UTILITY POLE. ELEVATION = 95.57 METRES AS PER FARLEY SMITH AND DENIS SURVEYING LTD FILE No. 638-22

- CONSTRUCTION NOTES:**
1. All dimensions and elevations are in metres. Do not scale drawing.
 2. This drawing is not a legal survey, a utility plan or a site plan and is for sanitary, storm and water servicing only.
 3. TBM = Concrete pin in utility pole. Elevation = 95.57 metres as per Farley, Smith and Denis Surveying Ltd File No. 638-22.
 4. This drawing cannot be accepted as acknowledging all of the utilities, and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 5. This drawing is not for construction until approved by the relevant authorities.
 6. Top of Foundation (TOF) elevations and assumed Underside of Footing (USF) elevations are shown on drawing.
 7. Existing location of watermain, sanitary sewer and storm sewer as shown on this plan are approximate. Contractor to verify in the field to confirm exact location prior to construction.
 8. Service laterals to be insulated where soil is cover is less than 2.4 metres for water services and 2 metres sanitary and storm services as per City of Ottawa Standard Drawing W22.
 9. If water service is less than 2.4 metres from sewer manhole or catchbasin, contractor shall insulate between them with s/m rigid insulation as per City of Ottawa Standard Drawing W23.
 10. Bedding for sewers and watermain installation shall be granular type "A" compacted to 95% dry proctor density.
 11. All dimensions to be verified on site by contractor prior to construction.
 12. Client is responsible for acquiring all necessary permits.
 13. A geotechnical engineer should be retained to provide geotechnical recommendations with respect to the subgrade conditions prior to footing installation.
 14. Elevations of existing storm and sanitary services were provided by the Information Centre at the City of Ottawa.
 15. Any changes made to this plan must be verified and approved by Kollaard Associates Inc.



DETAILS OF THE EXISTING SEWERS AND WATERMAIN SHOWN ON THIS STREET FROM THE CITY MAY NOT BE CURRENT. THE CONTRACTOR IS ADVISED TO EXCAVATE AND INVESTIGATE THE SEWER ELEVATIONS IN FRONT OF THIS PROPERTY TO ENSURE 1% MIN SLOPE OF THE SANITARY LATERAL CAN BE ACHIEVED. IF THIS NOT POSSIBLE CONTRACTOR TO INFORM KOLLAARD ASSOCIATES AND THE OWNER

CONTRACTOR TO CONSTRUCT SANITARY, STORM AND WATER SERVICES PRIOR TO POURING BUILDING FOOTINGS. CONTRACTOR TO VERIFY THAT LATERALS CAN ACHIEVE 1% MIN SLOPE AND BE BELOW PROPOSED UNDERSIDE OF FOOTING LEVEL. IF THIS IS NOT POSSIBLE CONTRACTOR TO INFORM KOLLAARD ASSOCIATES AND OWNER IN ORDER TO ADJUST FOUNDATION GRADES PRIOR TO FOOTING PLACEMENT

- SLEEVING FOR SERVICE LATERALS IS RECOMMENDED UNDER FRONT PORCH
- ALL SERVICES TO BE INSTALLED AT CURRENT CITY OF OTTAWA STANDARDS
- SEWER LATERALS TO BE INSULATED AS PER CITY OF OTTAWA STANDARD DWG W22
- BACKWATER VALVE TO BE INSTALLED AS PER CITY OF OTTAWA STANDARDS S14, S14.1, S14.2
- 300mm CLEARANCE BETWEEN WATERMAIN AND SANITARY & STORM LATERALS IS TO BE PROVIDED
- IF NOT BEING RE-USED, EXISTING WATER SERVICE LINE TO BE BLANKED AT WATERMAIN AND SEWER LATERALS TO BE CAPPED AT PROPERTY LINE
- IF WATER SERVICE IS LESS THAN 2.4 METRES FROM SEWER MANHOLE OR CATCHBASIN, CONTRACTOR SHALL INSULATE BETWEEN THEM WITH S/M RIGID INSULATION AS PER CITY OF OTTAWA STANDARD DRAWING W23

REV.	NR	DATE	DESCRIPTION
1.	NR	APR 21, 2023	AS PER CLIENT

Kollaard Associates
Engineers
(613) 860-0923
210 PRESCOTT STREET
PO BOX 189
KEMPTVILLE ONTARIO
K0G 1J0
FAX (613) 258-0475
www.kollaard.ca
info@kollaard.ca

CLIENT: 14251211 CANADA INC.

PROJECT: SEMI-DETACHED DWELLING

DRAWING: PROPOSED LOT SERVICING PLAN

LOCATION:
1486 BASELINE ROAD-UNITS 1 & 2
R.PLAN 375, PART OF LOTS 2624,
2625, 2626 & 2627
LOT 35, CONC. 1,
CITY OF OTTAWA, ONTARIO

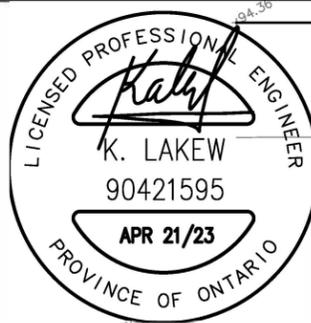
DESIGNED BY: NR DATE: MAR 23, 2023

DRAWN BY: NR SCALE: 1:250

KOLLAARD FILE NUMBER: 230037

LEGEND

---XX.XX	EXISTING ELEVATIONS
XX.XX	PROPOSED ELEVATIONS
→	DRAINAGE SLOPE
~	EXISTING DRAINAGE
- - -	PROPERTY LINE
- . - . -	TERRACING AS NOTED
⊕ FH	FIRE HYDRANT
○ UP	UTILITY POLE
---XX.XX	TOP OF RETAINING WALL
---XX.XX	BOTTOM OF RETAINING WALL
---XX.XX	PROPOSED SWALE
⊕	TEMPORARY BENCHMARK
○ DS	DOWN SPOUT



BASELINE ROAD

* THIS GRADING PLAN IS NOT A SITE PLAN. BUILDING LOCATION AS PER SITE PLAN/SKETCH PROVIDED BY CLIENT/DESIGNER

* CLIENT IS RESPONSIBLE TO ENSURE BUILDING LOCATION MEETS MUNICIPAL ZONING BY-LAWS

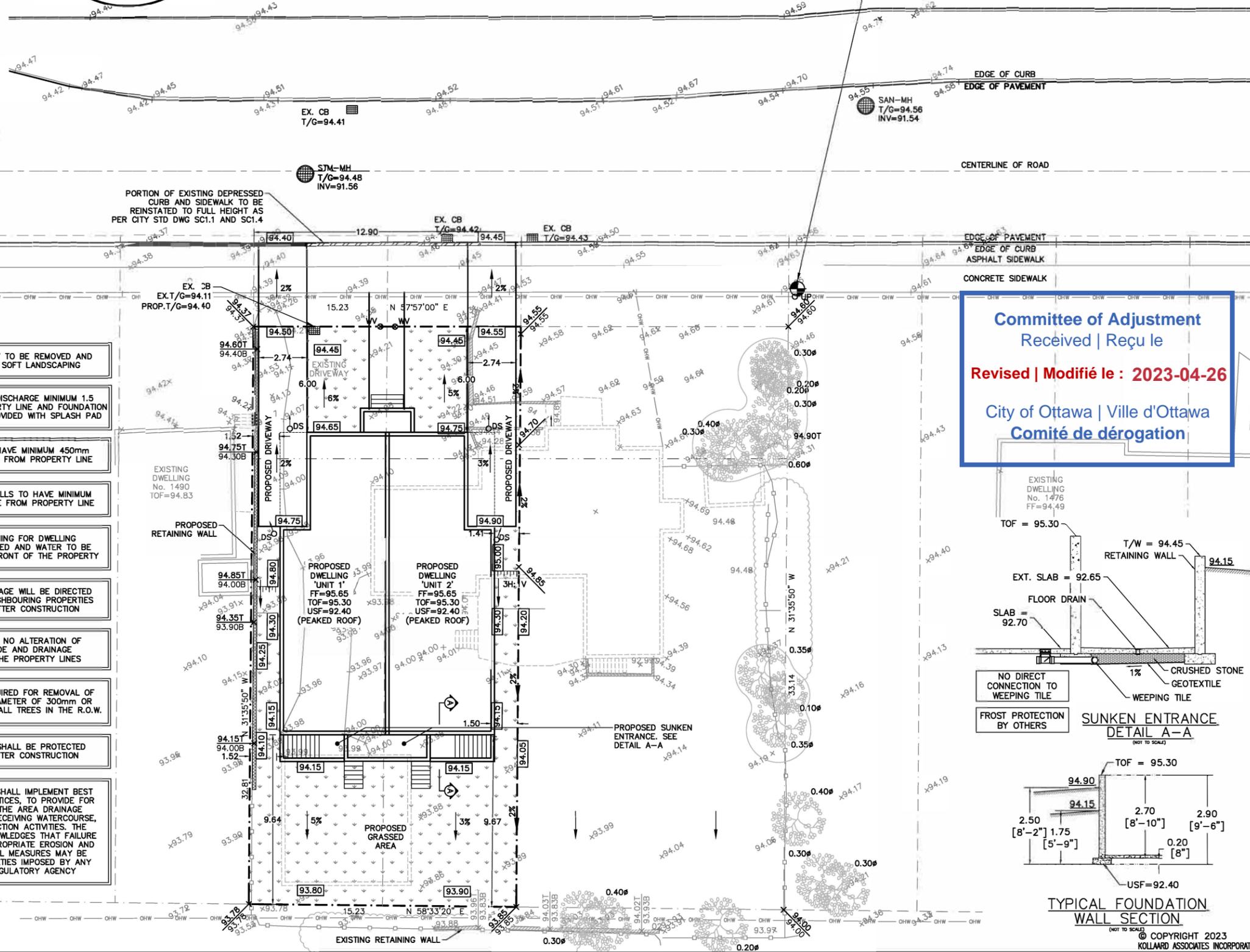
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TBM = CONCRETE PIN IN UTILITY POLE. ELEVATION = 95.57 METRES AS PER FARLEY SMITH AND DENIS SURVEYING LTD FILE No. 638-22

DRAWING NUMBER: 230037-GR1

- CONSTRUCTION NOTES:**
- All dimensions and elevations are in metres. Do not scale drawing.
 - This drawing is not a legal survey, a utility plan or a site plan and is for grading purposes only.
 - TBM = Concrete pin in utility pole. Elevation = 95.57 metres as per Farley, Smith and Denis Surveying Ltd File No. 638-22.
 - This drawing cannot be accepted as acknowledging all of the utilities, and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 - This drawing is not for construction until approved by the relevant authorities.
 - Contractor is responsible for location and protection of utilities.
 - Top of Foundation (TOF) elevation and Underside of Footing (USF) elevation for dwelling are as shown on drawing.
 - Finished grade around dwelling to be as shown.
 - Maximum allowable slope on site is 3H:1V. Finished grade to slope away from house at all sides at a minimum of 2%, and a maximum of 7%. Maximum slope away from septic system area is 4H:1V.
 - All dimensions to be verified on site by contractor prior to construction.
 - Client is responsible for acquiring all necessary permits.
 - The proposed grades have been set and verified for site grading control only. The grade raise at the house location should be verified with regard to subsurface conditions by qualified geotechnical personnel after completion of the excavation.
 - The underside of footing elevation may not have accounted for actual ground water conditions at the exact house location and should be verified by qualified geotechnical personnel upon completion of the excavation.
 - A geotechnical engineer should be retained to provide geotechnical recommendations with respect to the subgrade conditions prior to footing installation.
 - Frost protection will be required for the foundation footing where the soil cover over the underside of footing is less than 1.52 metres.
 - Any changes made to this plan must be verified and approved by Kollaard Associates Inc.

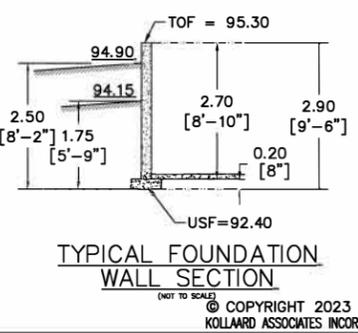
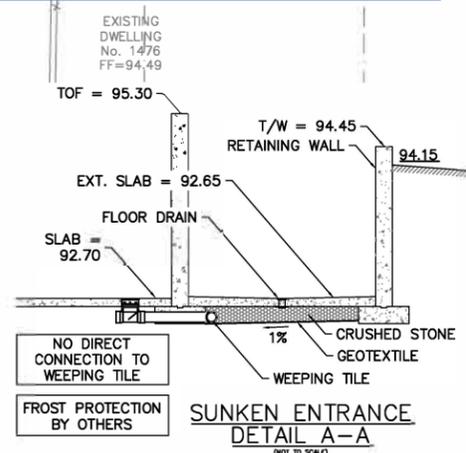
- EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH SOFT LANDSCAPING
- DOWNSPOUTS TO DISCHARGE MINIMUM 1.5 METRES FROM PROPERTY LINE AND FOUNDATION WALL OR TO BE PROVIDED WITH SPLASH PAD
- ALL SWALES TO HAVE MINIMUM 450mm METRE CLEARANCE FROM PROPERTY LINE
- ALL RETAINING WALLS TO HAVE MINIMUM 150mm CLEARANCE FROM PROPERTY LINE
- EAVESTROUCHING FOR DWELLING SHALL BE INSTALLED AND WATER TO BE DIRECTED TO THE FRONT OF THE PROPERTY
- NO EXCESS DRAINAGE WILL BE DIRECTED TOWARDS THE NEIGHBOURING PROPERTIES DURING AND AFTER CONSTRUCTION
- THERE IS TO BE NO ALTERATION OF EXISTING GRADE AND DRAINAGE PATTERNS ON THE PROPERTY LINES
- TREE PERMIT REQUIRED FOR REMOVAL OF TREES WITH A DIAMETER OF 300mm OR GREATER AND FOR ALL TREES IN THE R.O.W.
- EXISTING TREES SHALL BE PROTECTED DURING AND AFTER CONSTRUCTION
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE, DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY



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