

Committee of Adjustment
Received | Reçu le

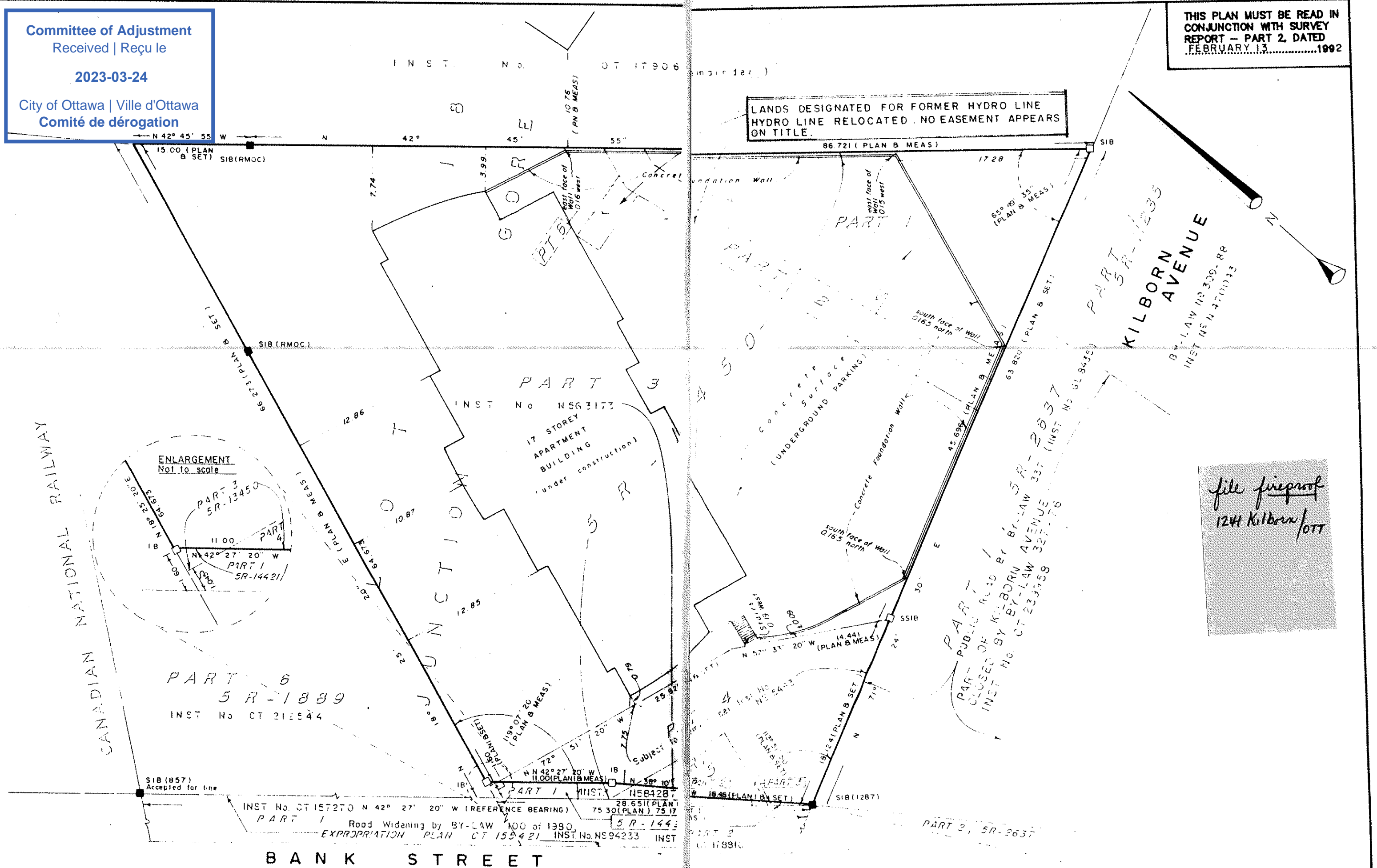
2023-03-24

City of Ottawa | Ville d'Ottawa
Comité de dérogation

THIS PLAN MUST BE READ IN
CONJUNCTION WITH SURVEY
REPORT - PART 2, DATED
FEBRUARY 13, 1992

INST. No. CT 17906

LANDS DESIGNATED FOR FORMER HYDRO LINE
HYDRO LINE RELOCATED. NO EASEMENT APPEARS
ON TITLE.



file fireproof
1244 Kilborn / OTT

LEGEND (IF APPLICABLE)	
■	SURVEY MONUMENT FOUND
□	SURVEY MONUMENT SET
SIB	STANDARD IRON BAR
SSIB	SHORT STANDARD IRON BAR
IB	IRON BAR
#	ROUND
CC	CUT CROSS
N/W	NAIL & WASHER
WT	WITNESS
X---X	FENCE
PROP	PROPORTIONED
PN	PREVIOUS NOTES (FSM - JAN 17, 1990)
OJ	ORIGIN UNKNOWN
647/HRF	H.R. FARLEY O.L.S.
1287/FSM	FARLEY, SMITH & MURRAY SURVEYING LTD.
NTS	NOT TO SCALE
PLAN	5R-13450
857	FAIRHALL, MOFFATT & WOODLAND O.L.S.
RMOC	REGIONAL MUNICIPALITY OF OTTAWA - CARLETON
PLAN 1	5R-14421

NOTES

BEARING NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO A PORTION OF THE NORTHEASTERLY LIMIT OF BANK STREET, AS WIDENED AND SHOWN ON PLAN 5R-13450, BEING N 42° 27' 20" W

METRIC NOTE
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

WARNING NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & MURRAY SURVEYING LTD.
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THIS REPORT ASSAULT, COPY AND THE USE BY OTHER PARTIES.

THIS PLAN VALID UNLESS OTHERWISE INDICATED BY THIS PLAN.

PREPARED FOR CONSTRUCTION LTD. ASSIGNED ACCEPTS NO RESPONSIBILITY FOR PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS COMPLETED ON THE 6th DAY OF DECEMBER, 1991.
DATE: DECEMBER 31st, 1991

RONALD A DENIS
ONTARIO LAND SURVEYOR

FARLEY, SMITH & MURRAY SURVEYING LTD.
ONTARIO LAND SURVEYORS
CANADA LANDS SURVEYORS
190 COLONNADE ROAD, NEPEAN, ONTARIO K2E 7J5
TEL (613) 727-8226 FAX (613) 727-1823

SURVEYOR'S REAL PROPERTY REPORT - PART 1
PLAN OF
PART OF THE SOUTH HALF OF THE WEST HALF OF LOT 18, JUNCTION GORE TOWNSHIP OF GLOUCESTER now in the CITY OF OTTAWA REGIONAL MUNICIPALITY OF OTTAWA-CARLETON

SCALE 1:300 metres REVISED FEB. 13, 1992 JOB No. 467/91

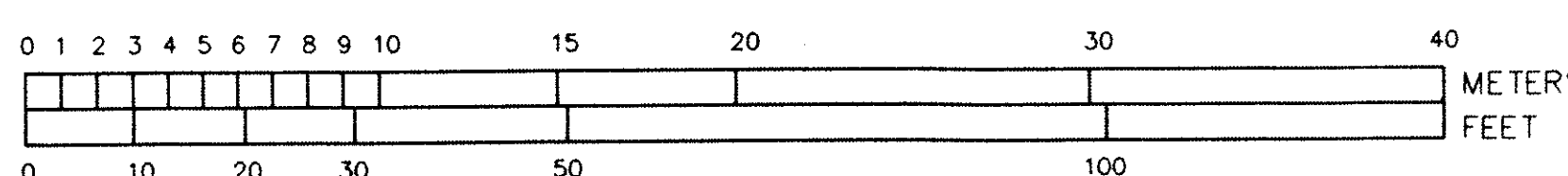
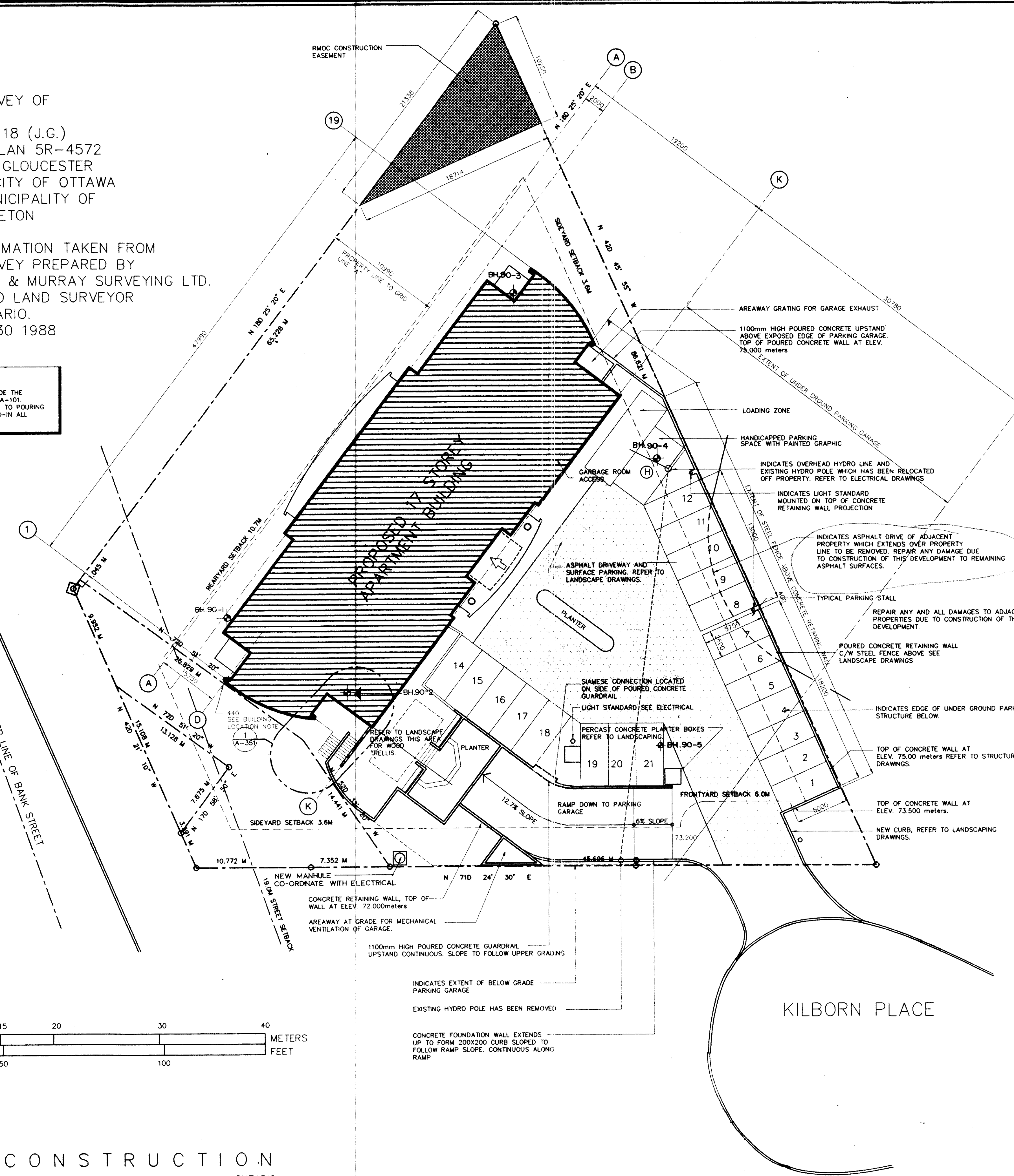
March 1, 1996

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City of Ottawa | Ville d'Ottawa
Comité de dérogation

PLAN OF SURVEY OF
PART OF LOT 18 (J.G.)
REGISTERED PLAN 5R-4572
TOWNSHIP OF GLOUCESTER
NOW IN THE CITY OF OTTAWA
REGIONAL MUNICIPALITY OF
OTTAWA CARLETON

SURVEY INFORMATION TAKEN FROM
PLAN OF SURVEY PREPARED BY
FARLEY SMITH & MURRAY SURVEYING LTD.
1988, ONTARIO LAND SURVEYOR
NEPEAN, ONTARIO.
DATED JUNE 30 1988

BUILDING LOCATION NOTE:
THE INTERSECTION OF GRIDS "I" & "D" IS 440mm INSIDE THE
PROPERTY EASEMENT LINE AS INDICATED ON DRAWING A-101.
THE CONTRACTOR IS TO LAYOUT ALL GRID LINES PRIOR TO POURING
ANY CONCRETE TO VERIFY PROPOSED BUILDING IS WITH-IN ALL
PROPERTY AND SITE SETBACK LINES.



KILBORN PLACE
APARTMENT BUILDING
1243 KILBORN AVENUE
OTTAWA ONTARIO

ZONING: R7-X
LOT AREA: 3353 sq. meters

GROSS FLOOR AREAS
B3 LEVEL 456.0 sq. meters
B2 LEVEL 456.0 sq. meters
B1 LEVEL 456.0 sq. meters
GROUND FLOOR . . . 692.0 sq. meters
TYPICAL FLOORS . . 713.0 sq. meters X 16 floors
TOTAL G.F.A. . . . 13467 sq. meters

APARTMENT COUNT

UNITS TYPE	NO. BEDROOM	TOTAL NO. UNITS
UNIT 1A	1 BEDROOM	38
UNIT 1B	1 BEDROOM	38
UNIT 1C	1 BEDROOM	16
UNIT 1D	1 BEDROOM	16
UNIT 1E	1 BEDROOM	1
UNIT 2A	2 BEDROOM	38
UNIT 2B	2 BEDROOM	31
UNIT 2C	2 BEDROOM	2
TOTAL NUMBER OF UNITS		180

COMMON AREAS :
COMMON ROOM.....122 square meters
LAUNDRY ROOM.....33 square meters
TUCK SHOP.....49 square meters

PARKING COUNT

PARKING ON GRADE	22
B1 LEVEL PARKING	38
B2 LEVEL PARKING	40
B3 LEVEL PARKING	44
TOTAL NUMBER OF PARKING SPACES PROVIDED	144

PARKING REQUIRED BY ZONING Z2K :

SPACES FOR FIRST 12 UNITS @ 7/UNIT	= 8.4
VISITOR PARKING FOR FIRST 12 UNITS	= 0.0
SPACES FOR 150 UNITS @ 7/UNIT	= 105.0
SPACES FOR REMAINING UNITS @ 6/UNIT	= 10.8
UP TO MAXIMUM 150 UNITS. (18 UNITS)	
VISITOR PARKING FOR 168 UNITS @ 17/UNIT	= 28.6
TOTAL NUMBER OF PARKING SPACES REQUIRED	= 153.0

INDICATES FIRE ACCESS ROUTE TO BUILDING'S PRINCIPAL ENTRANCE.
BH.90-X INDICATES BOREHOLE LOCATION SEE SOILS REPORT.

GENERAL NOTES:

- REFER TO DRAWING A-104, GROUND FLOOR FOR PLAN FOR INFORMATION ON UPPER DECK OF PARKING GARAGE
- REFER TO LANDSCAPE DRAWINGS FOR EXISTING AND NEW GRADES, AND FOR HARD AND SOFT LANDSCAPING.
- REFER TO SITE SERVICES, ELECTRICAL, AND MECHANICAL DRAWINGS FOR EXISTING AND NEW SERVICES. PROVIDE ALL TRENCHING AND BACKFILLING REQUIRED FOR NEW AND RELOCATED SERVICES.

ONTARIO BUILDING CODE CLASSIFICATION:
BUILDING CLASSIFICATION: GROUP C - RESIDENTIAL OCCUP.
3.2.2.29. ANY HEIGHT, ANY AREA
(2) NONCOMBUSTIBLE CONSTRUCTION
a. FLOOR ASSEMBLIES - 2HR. FIRE SEPARATION
c. ROOF ASSEMBLIES - 1HR. FIRE RESIST. RATING
d. SUPPORTING STRUCTURE - FIRE RESIST. RATING EQUAL TO SUPPORTED ASSEMBLY.

3 BASEMENT FLOORS PARKING AND APARTMENTS ARE SPRINKLERED.
BUILDING FACES ONE STREET, WITH FIRE ACCESS ROUTE TO PRINCIPAL ENTRANCE.

3.2.6. ADDITIONAL REQUIREMENTS FOR HIGH BUILDINGS ALL GENERAL REQUIREMENTS OUTLINED IN SECTION 3.2.6. ARE REQUIRED AND ARE TO BE PROVIDED. THE REQUIREMENTS OF SENTENCES 3.2.6.2.2. TO 3.2.6.2.3. ARE NOT APPLICABLE DUE TO ARTICAL 3.2.6.2.10.

ADDITIONAL FIRE SEPARATIONS:
ALL SUITES ARE TO BE SEPARATED BY A FIRE SEPARATION HAVING A FIRE RESIST. RATING OF 1HR.
PUBLIC CORRIDORS ARE SEPARATED FROM THE REMAINING FLOOR AREAS BY A FIRE SEPARATION HAVING A FIRE RESIST. RATING OF 1HR.

no.	date	revision	ISSUED FOR FOUNDATION PERMIT	by
1	OCT. 15 . 90		FIRE ACCESS ROUTE INDICATED	DB

GRIFFITHS RANKIN COOK ARCHITECTS
47 CLARENCE STREET, SUITE 230, OTTAWA, ONTARIO K1N9K1
(613) 232 8203

consultant

north point

professional stamp
ONTARIO ASSOCIATION OF ARCHITECTS
J.A. GRIFFITHS
LICENCE 3203

project title
KILBORN PLACE APARTMENT BUILDING
OTTAWA ONTARIO

drawing title
SITE PLAN

date	MARCH 1990	job no.	3188
scales	1:200	drawn	JLS
approved		drawing no.	A-001
revision	1		

1. DO NOT SCALE THIS DRAWING.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCEMENT.
3. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS: STRUCTURAL, MECHANICAL, ELECTRICAL.

ASSALY CONSTRUCTION
1510 WAKLEY ROAD, OTTAWA ONTARIO

GENERAL NOTES

1. ANY DEVIATION FROM THE CONDITIONS SHOWN ON THESE DRAWINGS SHALL BE SUBMITTED TO THE DESIGNER FOR REVIEW AND APPROVAL.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCING WORK. REPORT ANY INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS ARE IN MILLIMETERS (mm) UNLESS NOTED OTHERWISE. DO NOT SCALE THESE DRAWINGS.
3. ALL CONSTRUCTION IS TO CONFORM TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE AND THE ONTARIO CONSTRUCTION SAFETY ACT REGULATION INCLUDING AMENDMENTS AND OTHER CODES OR PROVINCIAL AND LOCAL APPLICATION. IN CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
4. COMPLY WITH ALL REQUIREMENTS FOR INSPECTION AS REQUIRED BY THE BUILDING PERMIT. DO NOT COVER ANY WORK UNTIL APPLICABLE INSPECTION HAS BEEN PERFORMED BY AUTHORIZED PERSONAL AND PERMISSION TO COVER HAS BEEN GRANTED.
5. ALL WORK SHALL BE PERFORMED AND SUPERVISED BY QUALIFIED PERSONNEL.
6. WORKMANSHIP SHALL BE TO THE HIGHEST STANDARD FOR EACH RESPECTIVE TRADE. ERECT ALL WORK ACCURATELY, SQUARE, SECURE, PLUMBS, STRAIGHT, TRUE AND TO ACCEPTED TOLERANCES. PROVIDE AND COMPLY WITH MANUFACTURER'S SPECIFICATIONS. CARRY ON WORK ONLY IN WEATHER, TEMPERATURE OR ENVIRONMENTAL CONDITIONS ACCEPTABLE. MAKE GOOD ALL EXISTING CONDITIONS AS REQUIRED FOR A COMPLETE JOB. CLEAN ALL WORK AND WORK AREAS ON AN ONGOING BASIS.
7. PREVENT ELECTROLYTIC ACTION BETWEEN DISSIMILAR METALS AND MATERIALS.
8. USE NON-CORROSIVE HOT DIP GALVANIZED STEEL FASTENERS AND ANCHORS FOR SECURING EXTERIOR WORK, UNLESS STAINLESS STEEL OR OTHER MATERIAL IS SPECIFICALLY REQUIRED.

EXISTING CONDITIONS

1. EXECUTE WORK TO PREVENT DAMAGE TO PORTIONS OF EXISTING WORK WHICH ARE TO REMAIN, REPAIR PORTIONS OF EXISTING WORK WHICH HAVE BEEN ALTERED DURING CONSTRUCTION TO MATCH EXISTING OR ADJOINING WORK, CONDITION TO BE EQUAL TO OR BETTER THAN EXISTING.

METALS

1. REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS AND DETAILS.
2. PROVIDE METALS, LINTELS AND OTHER MEMBERS FOR FRAMING WHERE INDICATED AND REQUIRED TO SUPPORT CONSTRUCTION.
3. SUPPLY AND INSTALL METALS AS SHOWN ON THE DRAWINGS. SHOP-PRIMED FOR INTERIOR WORK, GALVANIZED FOR EXTERIOR WORK UNLESS NOTED OTHERWISE. TOUCH-UP WELDS IN THE FILED AS REQUIRED (PRIMER AND ZINC RICH PAINT FOR GALVANIZED WORK).
4. FABRICATE WORK SQUARE, TRUE, STRAIGHT AND ACCURATE TO REQUIRED SIZE WITH JOINTS CLOSELY FITTED AND PROPERLY SECURED.
5. PRE-FINISHED METAL PANEL:
 - 5.1. SUPPLY AND INSTALL 26-GAUGE GALVANIZED SHEET STEEL SIDING, PRE-PAINTED COLOUR TO BE SELECTED BY OWNER FOR MANUFACTURER'S STANDARD COLOUR RANGE.
 - 5.2. INCLUDE ALL FASTENERS, TRIMS, ACCESSORIES, ETC. AS REQUIRED FOR A COMPLETE JOB. ALL FASTENERS AND TRIMS TO MATCH PANEL COLOUR.
6. METAL FLASHING:
 - 6.1. ROOF FLASHING: FABRICATE AND INSTALL:
 - 6.1.1. 26-GAUGE PRE-FINISHED SHEET METAL AT ALL PERIMETER CONDITIONS COMPLETE WITH HEMMED DRIP EDGE.
 - 6.2. BASE AND TOP OF WALL FLASHING, WINDOW AND DOOR HEAD FLASHING: FABRICATE AND INSTALL:
 - 6.2.1. 26-GAUGE PRE-FINISHED SHEET METAL FLASHING COMPLETE WITH HEMMED DRIP EDGE.
 - 6.3. JAMB FLASHING: FABRICATE AND INSTALL:
 - 6.3.1. 26-GAUGE PRE-FINISHED SHEET METAL FLASHING.
 - 6.4. SITE MEASURE PRIOR TO FABRICATION OF ALL METAL FLASHINGS/TRIMS.
 - 6.5. FLASHING COLOUR TO MATCH ADJACENT CLADDING MATERIAL.

THERMAL AND MOISTURE PROTECTION

1. PROVIDE JOINT SEALANTS, PRIMER(S) AND BACKERS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH JOINT SUBSTRATE UNDER CONDITIONS OF SERVICE AND APPLICATION AS DEMONSTRATED BY JOINT SEALANT MANUFACTURER BASED ON PROVEN TEST RESULTS AND FIELD EXPERIENCE.
 - 1.1. JOINTS SEALANT SHALL MATCH COLOR OR PREDOMINATE ADJACENT MATERIAL.
 - 1.2. EXTERIOR JOINT: DOW CORNING 790 SILICONE BUILDING SEALANT OR TREMCO SPECTRUM 1.
 - 1.3. INTERIOR JOINT: TREMCO TREMFLEX 834.
 - 1.4. COMPLY WITH MANUFACTURERS' RECOMMENDATIONS AND DIRECTION FOR INSTALLATION AND APPLICATION OF PRODUCT BEING USED.
 - 1.5. CLEAN AND PRIME JOINT WHERE NECESSARY, INSTALL JOINT BACKER ROD TO ACHIEVE CORRECT JOINT DEPTH AND SHAPE.
 - 1.6. TOOL EXPOSED SURFACES BEFORE SKINNING TO GIVE SLIGHTLY CONCAVE SHAPE.

OPENINGS

1. ALL DOOR AND WINDOW OPENINGS TO BE FLASHED AND SEALED TO PREVENT WATER FROM ENTERING THE BUILDING.
2. METAL OVERHEAD DOORS:
 - 2.1. SUPPLY AND INSTALL SECTION OVERHEAD DOORS TO SIZES AS SHOWN ON THE DRAWINGS, COMPLETE WITH ALL REQUISITE HARDWARE, TRACKS, SPRINGS, WEATHERSTIPPING, MOTORS, CONTROLS, ETC. FOR A COMPLETE JOB.
 - 2.2. SUPPLY AND INSTALL ALL STEEL PLATES, WOOD BLOCKING, ETC. REQUIRED FOR MOUNTING OF DOOR ASSEMBLY, MOTORS, CONTROLS, WIRING, ETC.
 - 2.3. OVERHEAD DOOR INSTALLER TO PROVIDE ALL CONDUITS, CONNECTIONS, AND WIRING FOR A COMPLETE INSTALLATION. CONDUIT TO BE INSTALLED IN A NEAT MANNER.
3. SUPPLY AND INSTALL GLAZING FOR SKYLIGHTS.

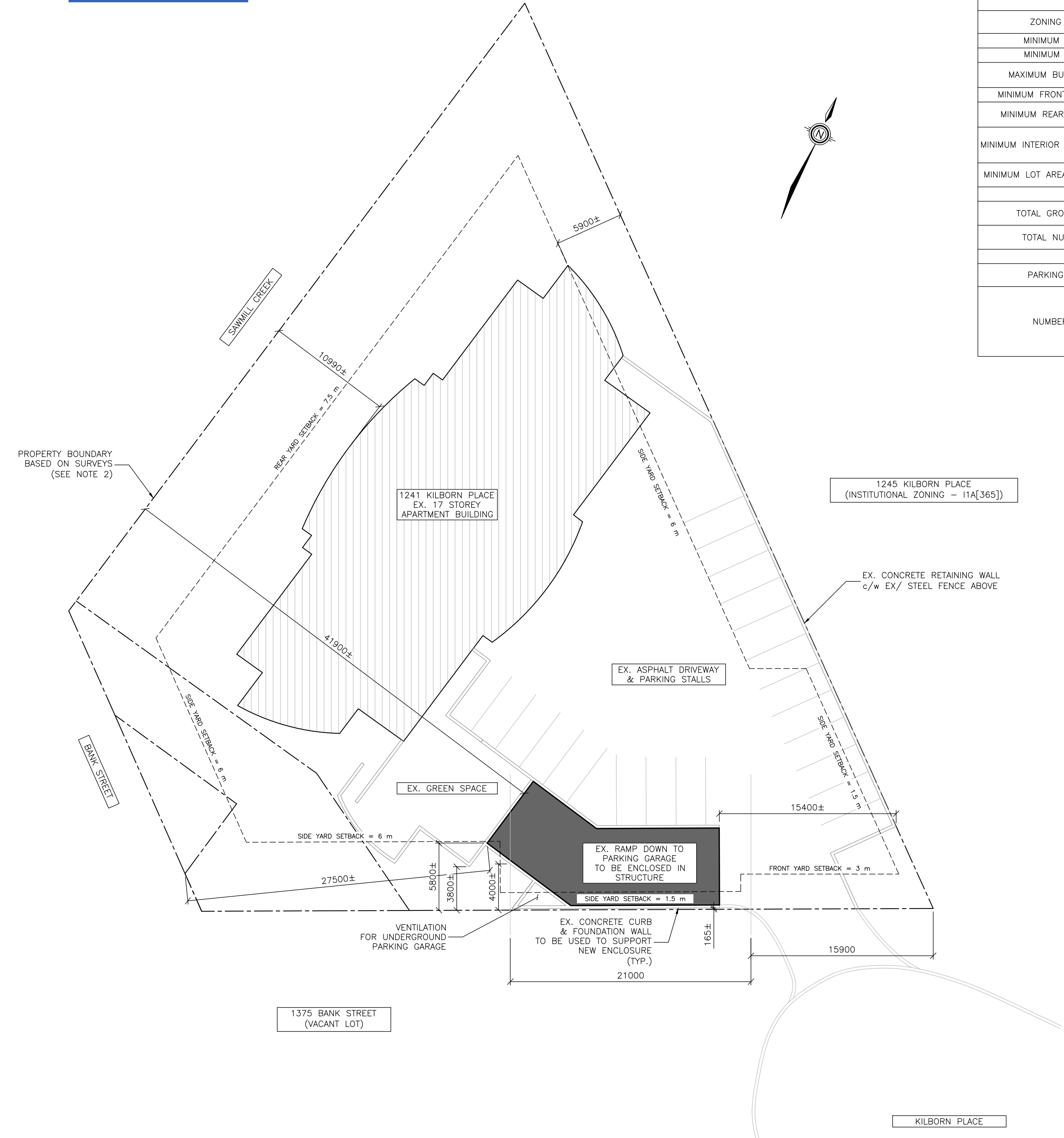
ELECTRICAL

1. ALL ELECTRICAL WORK TO CONFORM TO THE ONTARIO ELECTRICAL SAFETY CODE AND OTHER CODES OF LOCAL APPLICATION.
2. PROVIDE AND INSTALL NEW ELECTRICAL AS REQUIRED TO COMPLETE THE WORK.

FIRE PROTECTION

1. ALL FIRE SUPPRESSION WORK TO CONFORM TO THE ONTARIO FIRE CODE AND OTHER CODES OF LOCAL APPLICATION.
2. AT PENETRATION OF FIRE RATED WALL, CEILING, OR FLOOR CONSTRUCTION, COMPLETELY SEAL VOIDS WITH FIRESTOPPING MATERIAL, FULL THICKNESS OF THE CONSTRUCTION ELEMENT AS REQUIRED TO MAINTAIN FIRE RESISTANCE RATING.
3. INSTALL FIRESTOPPING AND SMOKE SEAL SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN REQUIREMENTS AND IN COMPLIANCE WITH LISTED SYSTEM DESIGN.

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ZONING: 1241 KILBORN PLACE -- R5C H(122) ASL		
PRINCIPAL USE	APARTMENT DWELLING, HIGH RISE (BY LAW 2014-292)	
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT WIDTH (m)	18	63.8 (UNCHANGED)
MINIMUM LOT AREA (m²)	540	3353 (UNCHANGED)
MAXIMUM BUILDING HEIGHT (m)	122	MAXIMUM (EXISTING): 59.5 MAXIMUM (PROPOSED): 3.73
MINIMUM FRONT YARD SETBACK (m)	3	33 (UNCHANGED)
MINIMUM REAR YARD SETBACK (m)	MINIMUM OF 25% LOT DEPTH OR 7.5m	MINIMUM (EXISTING): 11 MINIMUM (PROPOSED): 41.9
MINIMUM INTERIOR SIDE YARD SETBACK (m)	1.5 (WITHIN 21 m OF FRONT LOT LINE) 6 (FURTHER THAN 21m OF FRONT LOT LINE)	MINIMUM (EXISTING): 3.6 MINIMUM (PROPOSED): 0.165 VARIANCE REQUIRED
MINIMUM LOT AREA FOR LANDSCAPING (%)	30	43 (UNCHANGED)
TOTAL GROSS FLOOR AREAS	13,467 m²	
TOTAL NUMBER OF UNITS	180	
PARKING REQUIREMENT	PROVIDED	REQUIRED
NUMBER OF SPACES	PARKING ON GRADE: 22 B1 LEVEL PARKING: 38 B2 LEVEL PARKING: 40 B3 LEVEL PARKING: 44 TOTAL SPACES: 144	AREA B- OUTER URBAN/INNER SUBURBAN MINIMUM: 0.5 PER DWELLING UNIT = 90 VISITORS: 0.2 PER DWELLING UNIT = 36 MINIMUM TOTAL SPACES = 126



CURRENT VIEW OF RAMP LOOKING NORTH



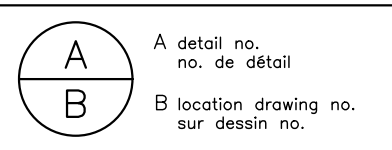
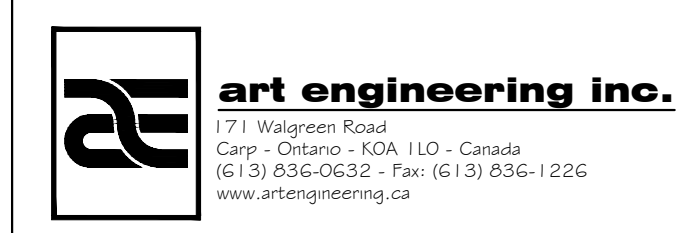
CURRENT VIEW OF RAMP LOOKING WEST

DRAWING NOTES:

1. DRAWING PROVIDES A REPRESENTATION OF THE SITE CONDITIONS AT 1241 KILBORN PLACE, OTTAWA, ONTARIO. THIS DRAWING IS NOT TO BE USED AS A LEGAL SURVEY.
2. SURVEY INFORMATION FROM:
 - "SITE PLAN" PREPARED BY GRIFFITHS RANKIN COOK ARCHITECTS DATED MARCH 1990, WHICH REFERS TO PLAN OF SURVEY PREPARED BY FARLEY, SMITH & MURRAY SURVEYING LTD. DATED JUNE 30 1988.
 - "SURVEYOR'S REAL PROPERTY REPORT - PART 1 PLAN OF PART OF THE SOUTH HALF OF THE WEST HALF OF LOT 18, JUNCTION GORE TOWNSHIP OF GLOUCESTER NOW IN THE CITY OF OTTAWA REGIONAL MUNICIPALITY OF OTTAWA-CARLETON" PREPARED BY FARLEY, SMITH & MURRAY SURVEYING LTD. DATED FEBRUARY 13, 1992.

Client
HOMESTEAD LAND HOLDINGS LIMITED

Project
1241 KILBORN PLACE



Scale: N/A

Revisions	date
0 ISSUED FOR MINOR VARIANCE	17-08-22

PARKING RAMP ENCLOSURE GENERAL NOTES & LAYOUT

Stamp
NOT FOR CONSTRUCTION

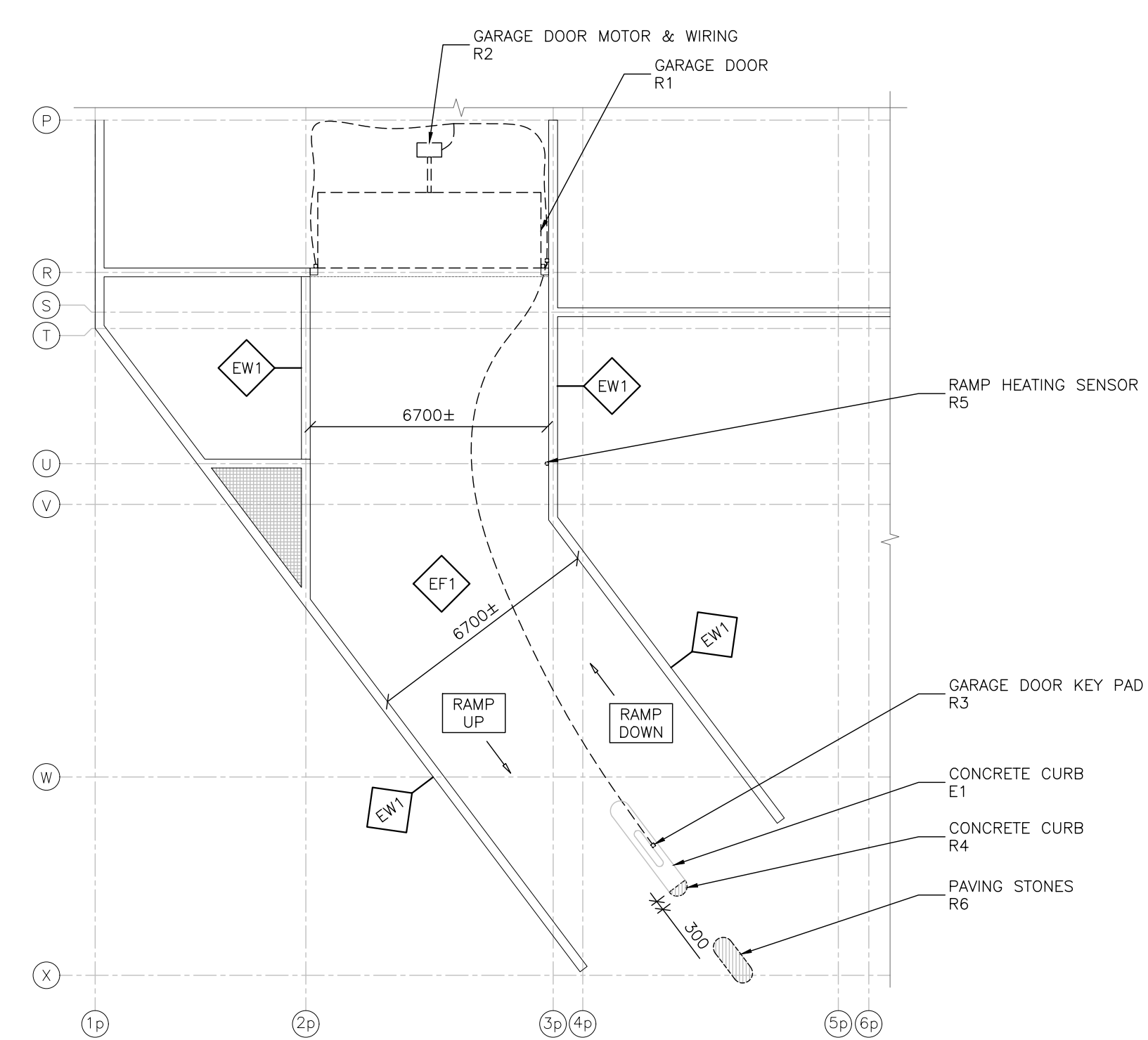
designed	drawn	reviewed	approved
B. H.	B. H.	----	----
date	project number	drawing number	
August 17, 2022	4400	A01	

PROPOSED EXTERIOR WALL SCHEDULE		
ANNOTATION	ILLUSTRATION	ASSEMBLY
W1		STEEL SIDING PANEL 1.5" METAL Z-BAR 3.625" STEEL STUDS @ 16" O.C. 1.5" METAL Z-BAR STEEL SIDING PANEL
W2		STEEL SIDING PANEL 1.5" METAL Z-BAR 6" STEEL STUD @ 16" O.C. 1.5" METAL Z-BAR STEEL SIDING PANEL

EXISTING EXTERIOR WALL SCHEDULE		
ANNOTATION	ILLUSTRATION	ASSEMBLY
EW1		10" REINFORCED CONCRETE (TO REMAIN)

PROPOSED ROOF SCHEDULE		
ANNOTATION	ILLUSTRATION	ASSEMBLY
R1		GALVANIZED STEEL ROOF DECK (SEE STRUCTURAL) 12" STEEL JOIST @ 16" O.C.
R2		GALVANIZED STEEL ROOF DECK (SEE STRUCTURAL) 12" STEEL JOIST @ 16" O.C. c/w BLOCKING

EXISTING FLOOR SCHEDULE		
ANNOTATION	ILLUSTRATION	ASSEMBLY
EF1		10.75" REINFORCED CONCRETE (TO REMAIN)



EXISTING TO REMAIN:

EXISTING WALLS & FLOOR TO REMAIN

E1 PARTIAL CONCRETE CURB & PILLAR

REMOVALS:

- R1 REMOVE & RETAIN GARAGE DOOR
- R2 REMOVE & RETAIN GARAGE DOOR MOTOR & ASSOCIATED WIRING, CONDUITS & SENSORS. ENSURE NO WIRES ARE LEFT ENERGIZED.
- R3 REMOVE & RETAIN GARAGE DOOR KEY PAD & ASSOCIATED WIRING & CONDUITS
- R4 PARTIAL REMOVAL OF CONCRETE CURB TO ALLOW FOR GARAGE DOOR TO CLOSE. SAW CUT REMOVAL AREA & ENSURE NOT TO DAMAGE CONCRETE TO REMAIN
- R5 REMOVE RAMP HEATING SENSOR, WIRE & CONDUIT. ENSURE NO WIRES ARE LEFT ENERGIZED.
- R6 REMOVE & RETAIN PATIO STONE PAVERS IN AREA WHERE NEW CURB TO BE PLACED

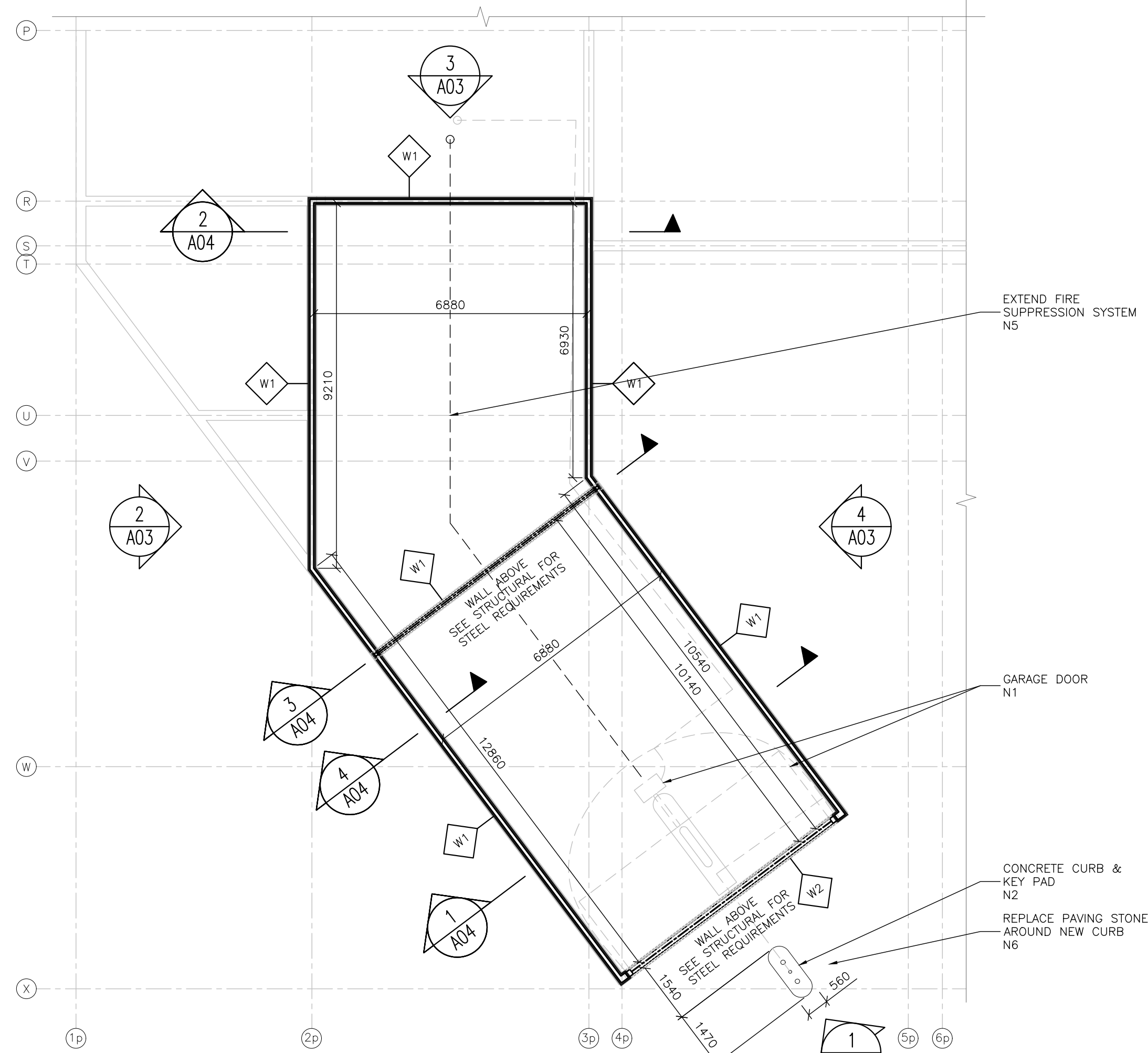
NEW CONSTRUCTION:

WALL & ROOF ASSEMBLIES AS INDICATED IN THE CORRESPONDING SCHEDULES

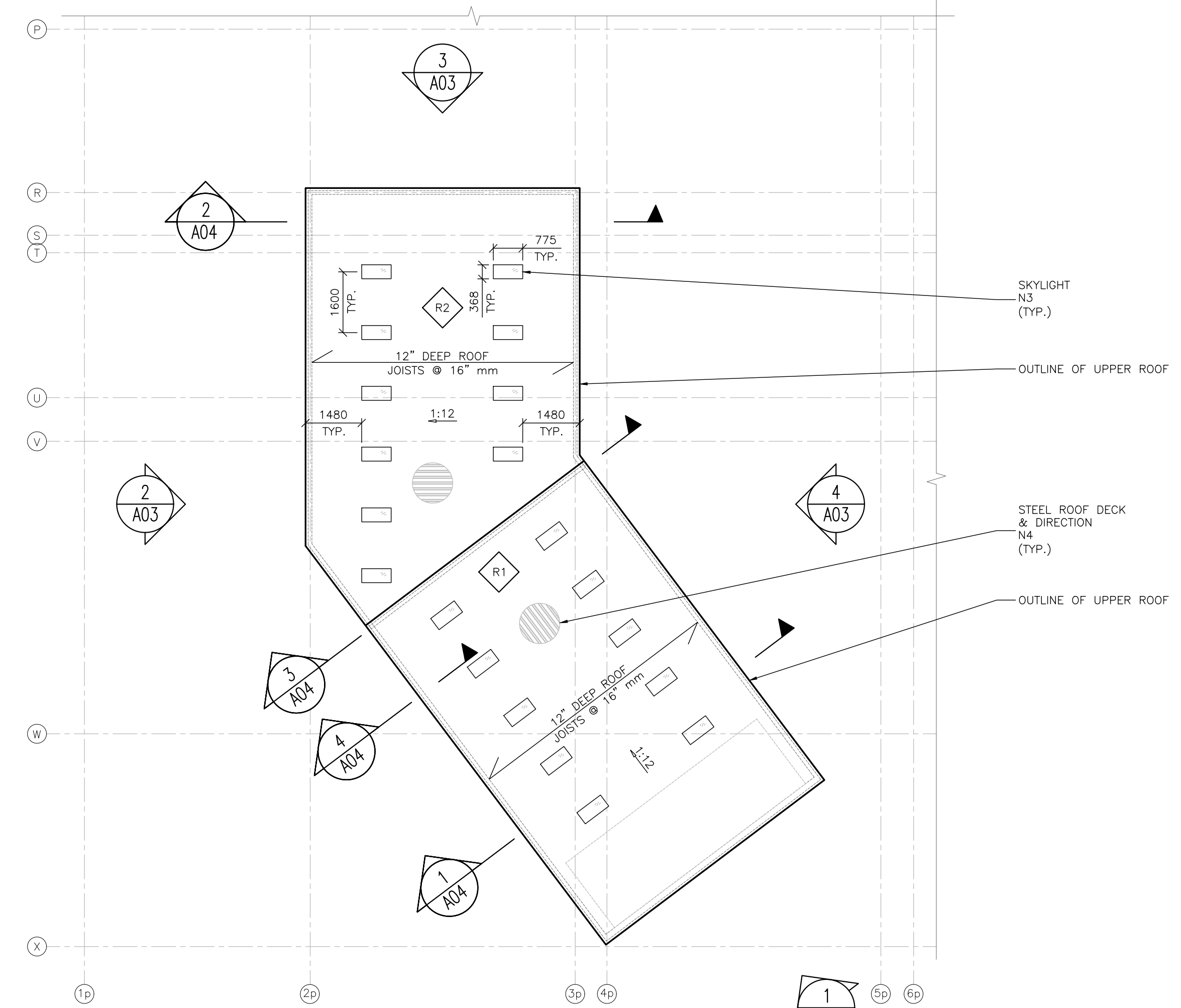
- N1 INSTALL GARAGE DOOR, MOTOR, WIRING, SENSORS, KEY PADS & CONDUIT THAT WERE RETAINED DURING REMOVALS. ELECTRICAL POWER TO COME FROM EXISTING CONNECTION. EXTEND AS REQUIRED TO NEW POSITION.
- N2 NEW CONCRETE CURB, BOLLARDS & GARAGE DOOR KEY PAD
- N3 SUPPLY & INSTALL NEW SKYLIGHTS BETWEEN ROOF JOISTS AS SHOWN ON PLAN
- N4 GALVANIZED STEEL ROOF DECK. SLOPE AS INDICATED ON PLAN (SEE STRUCTURAL FOR REQUIREMENTS)
- N5 EXTEND EXISTING FIRE SUPPRESSION SYSTEM INTO NEW ENCLOSURE.
- N6 INSTALL PATIO STONE THAT WERE RETAINED DURING REMOVALS.

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1 PLAN - EXISTING RAMP
 A02 1:150
 SHOWS EXISTING STRUCTURAL TO REMAIN & REMOVALS



2 PLAN - NEW WALL CONSTRUCTION
 A02 1:100



3 PLAN - NEW ROOF CONSTRUCTION
 A02 1:100

client
HOMESTEAD LAND HOLDINGS LIMITED

project
1241 KILBORN PLACE

art engineering inc.
 171 Walgreen Road
 Carp - Ontario - K0A 1L0 - Canada
 (613) 836-0632 - Fax: (613) 836-1226
 www.artengineering.ca

A detail no. de détail
 B location drawing no. sur dessin no.

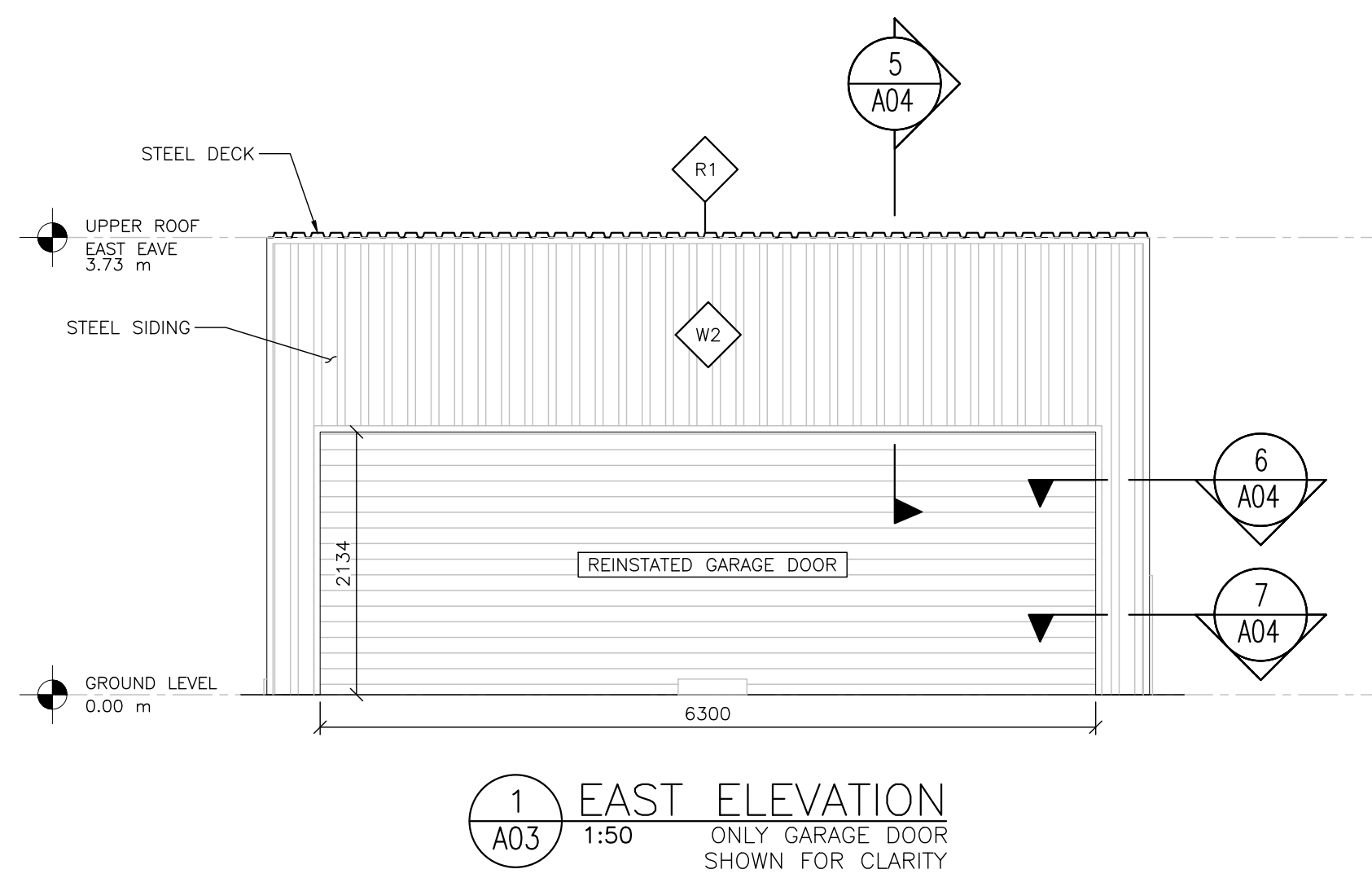
scale	AS NOTED	
revisions	0 ISSUED FOR MINOR VARIANCE	17-08-22
drawing		

PARKING RAMP ENCLOSURE FLOOR PLANS

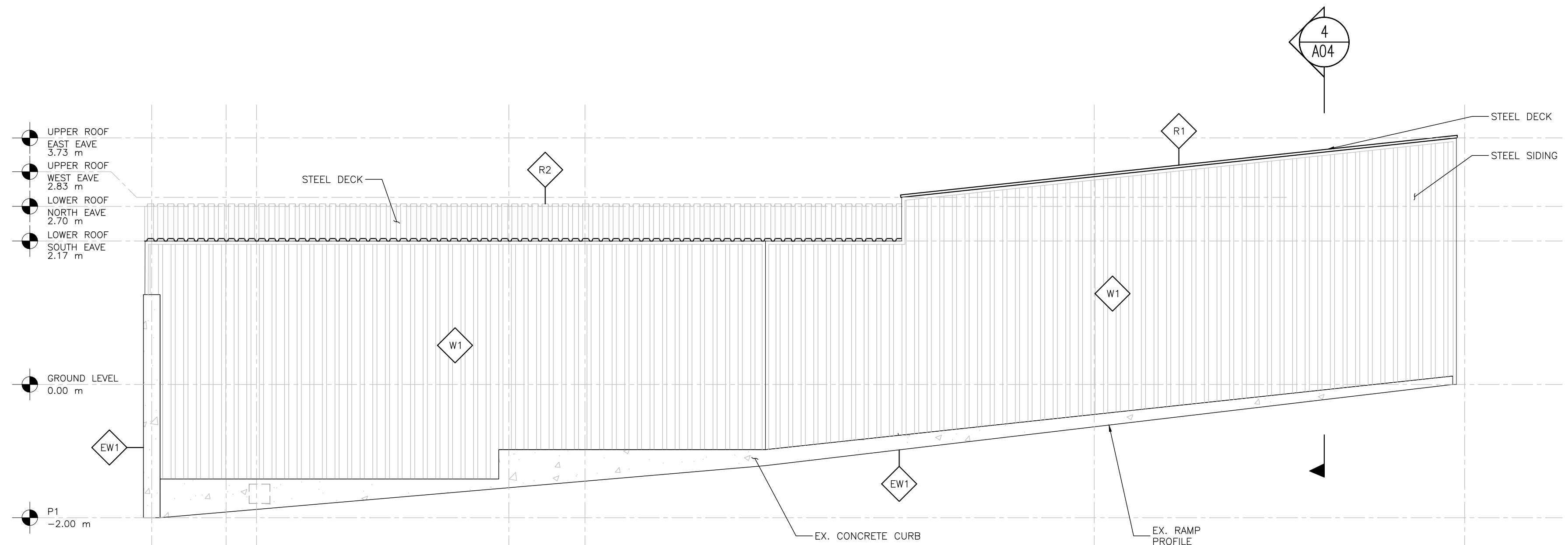
stamp
NOT FOR CONSTRUCTION

designed	drawn	reviewed	approved
B. H.	B. H.	----	----
date	project number	drawing number	
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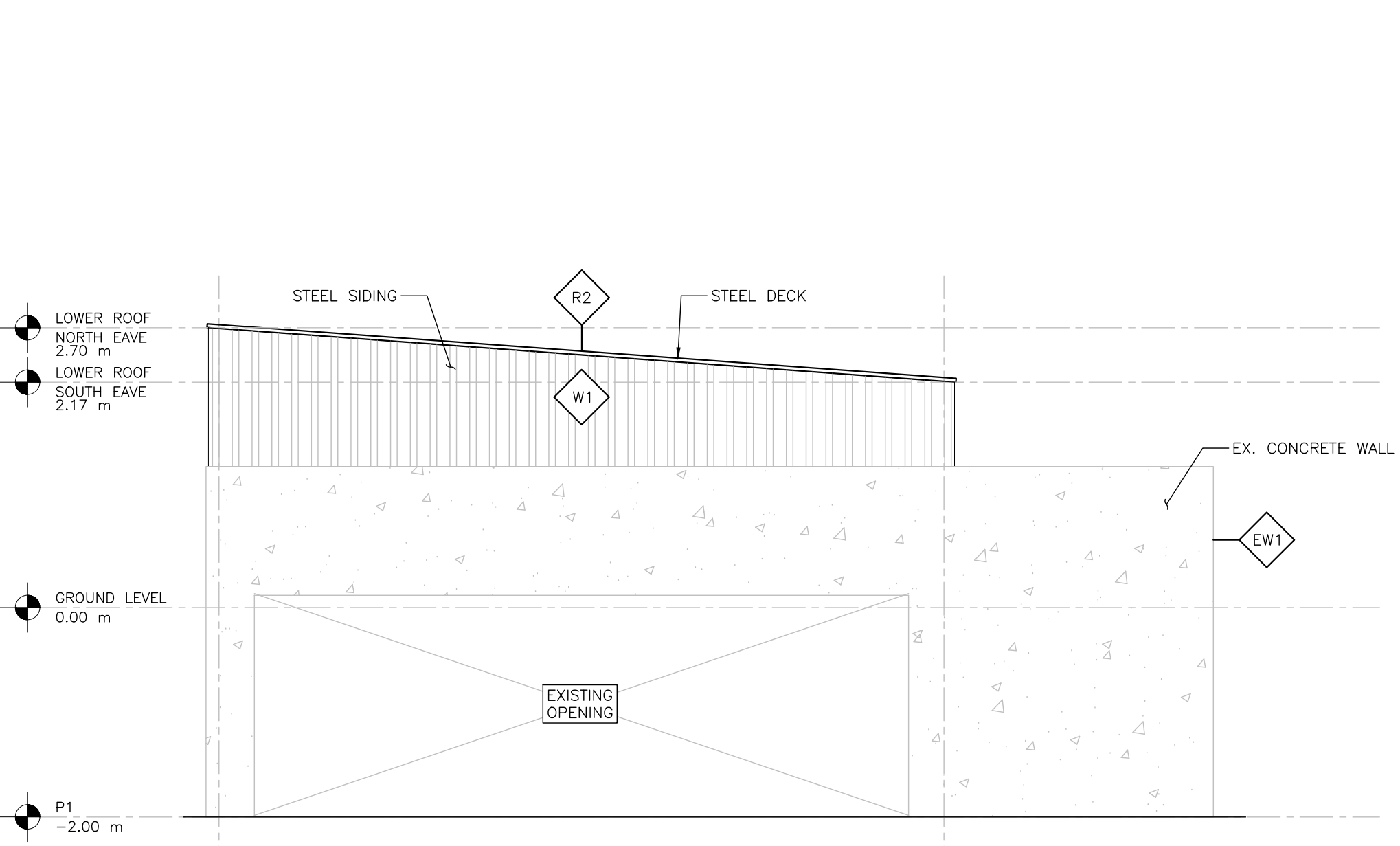
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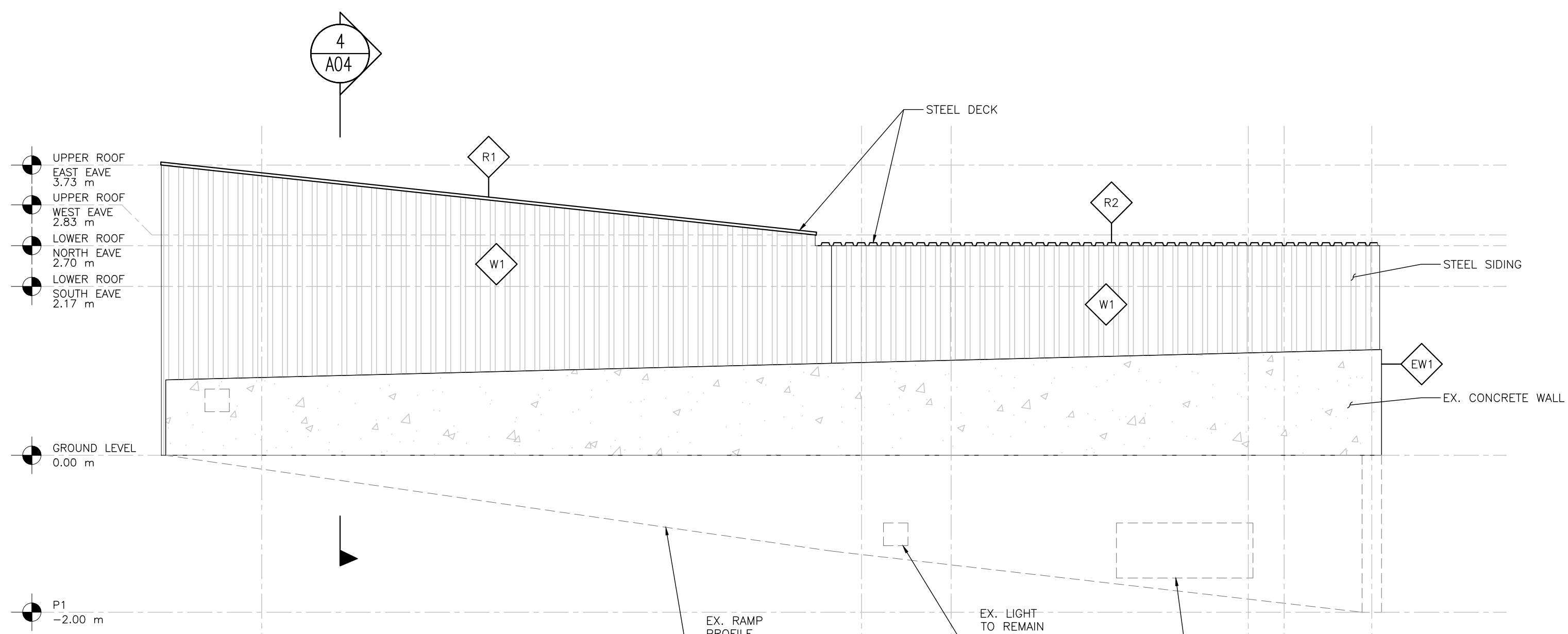
1 EAST ELEVATION
 A03 1:50 ONLY GARAGE DOOR SHOWN FOR CLARITY



2 SOUTH ELEVATION
 A03 1:50 PROJECTED



3 WEST ELEVATION
 A03 1:50



4 NORTH ELEVATION
 A03 1:50 PROJECTED

client
 HOMESTEAD LAND HOLDINGS LIMITED

project
 1241 KILBORN PLACE



A detail no. no. de détail
 B location drawing no. sur dessin no.

scale 1:50

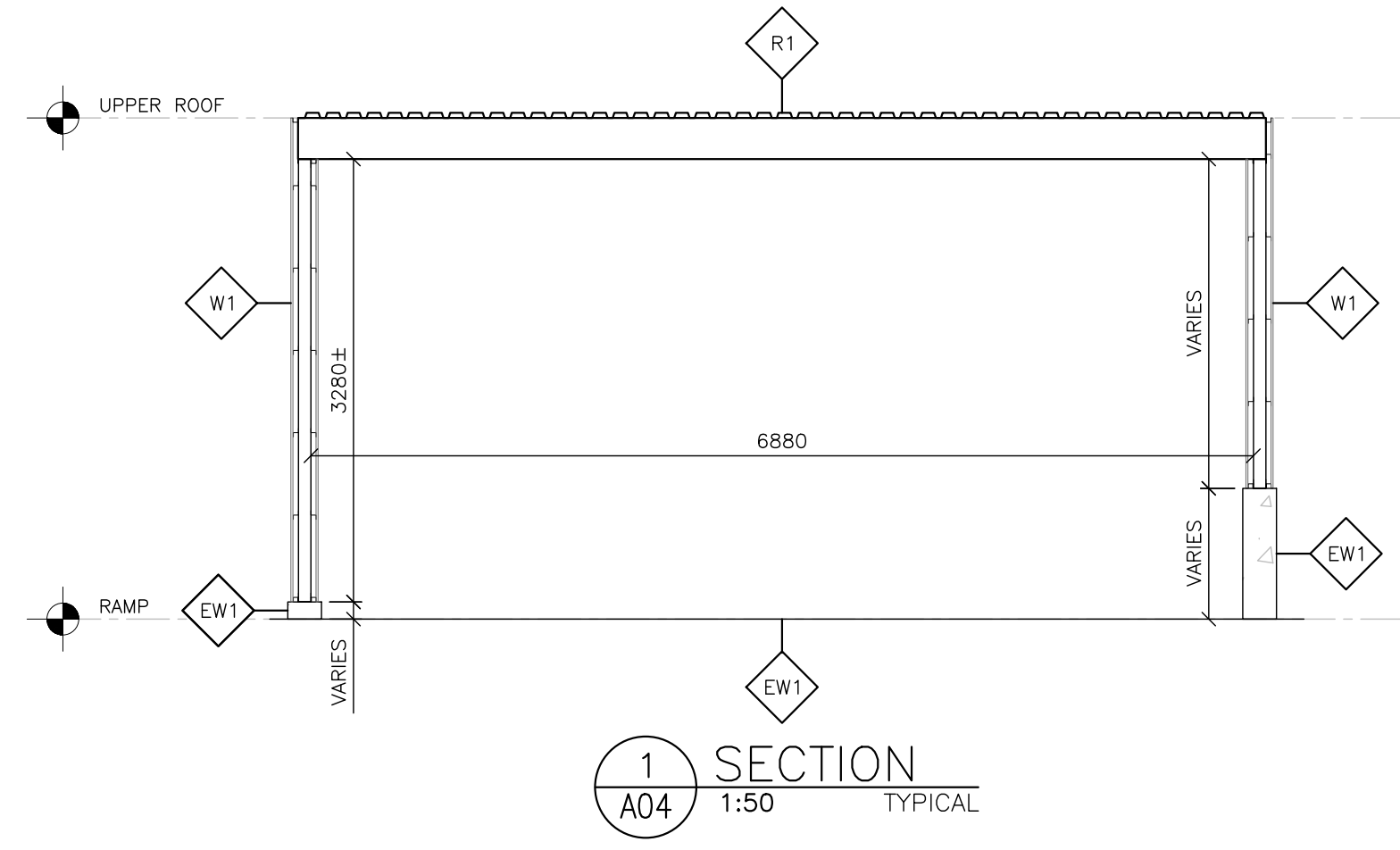
revisions	date
0 ISSUED FOR MINOR VARIANCE	17-08-22

PARKING RAMP ENCLOSURE ELEVATIONS

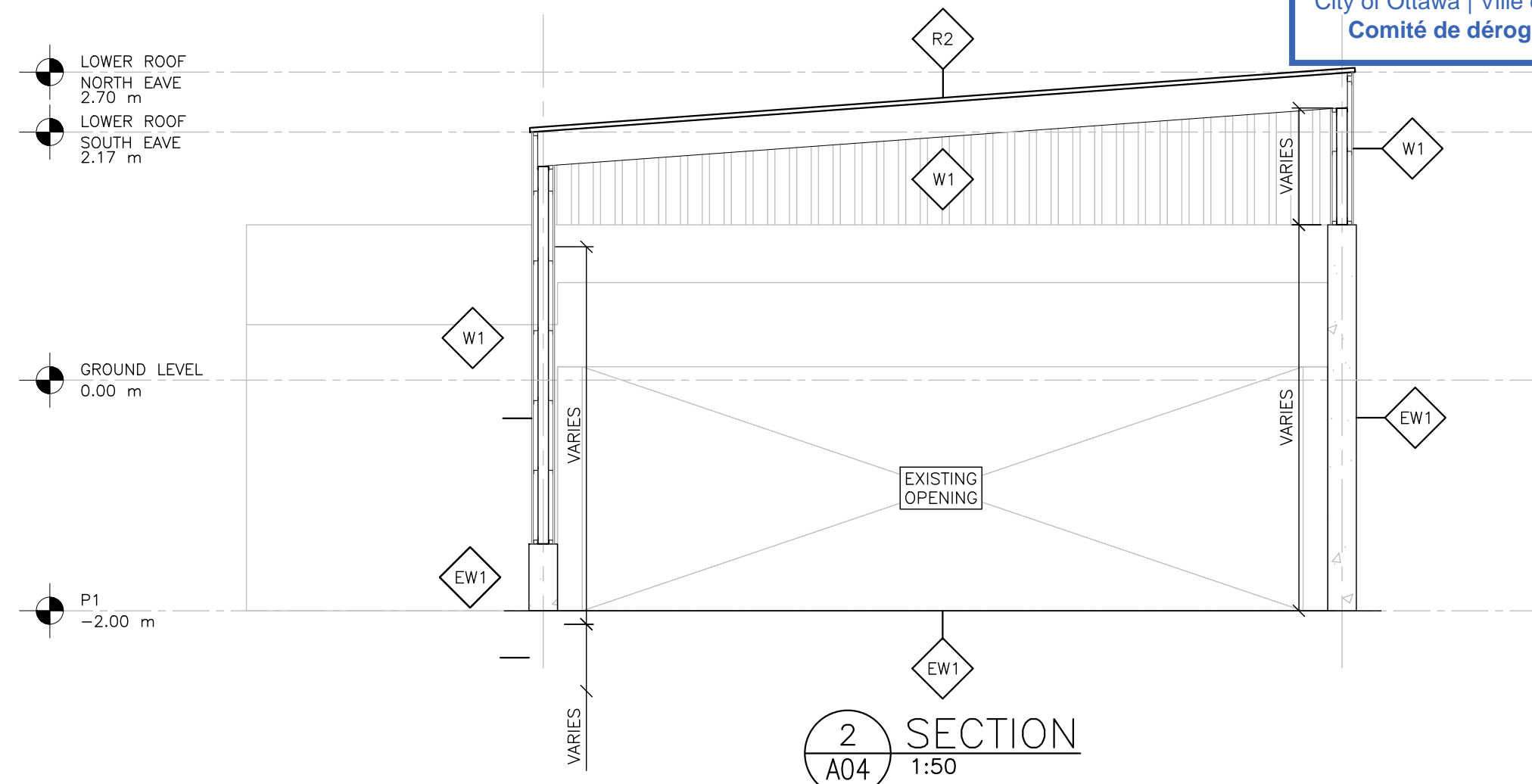
stamp
 NOT FOR CONSTRUCTION

designed	drawn	reviewed	approved
B. H.	B. H.	----	----
date	project number	drawing number	
August 17, 2022	4400	A03	

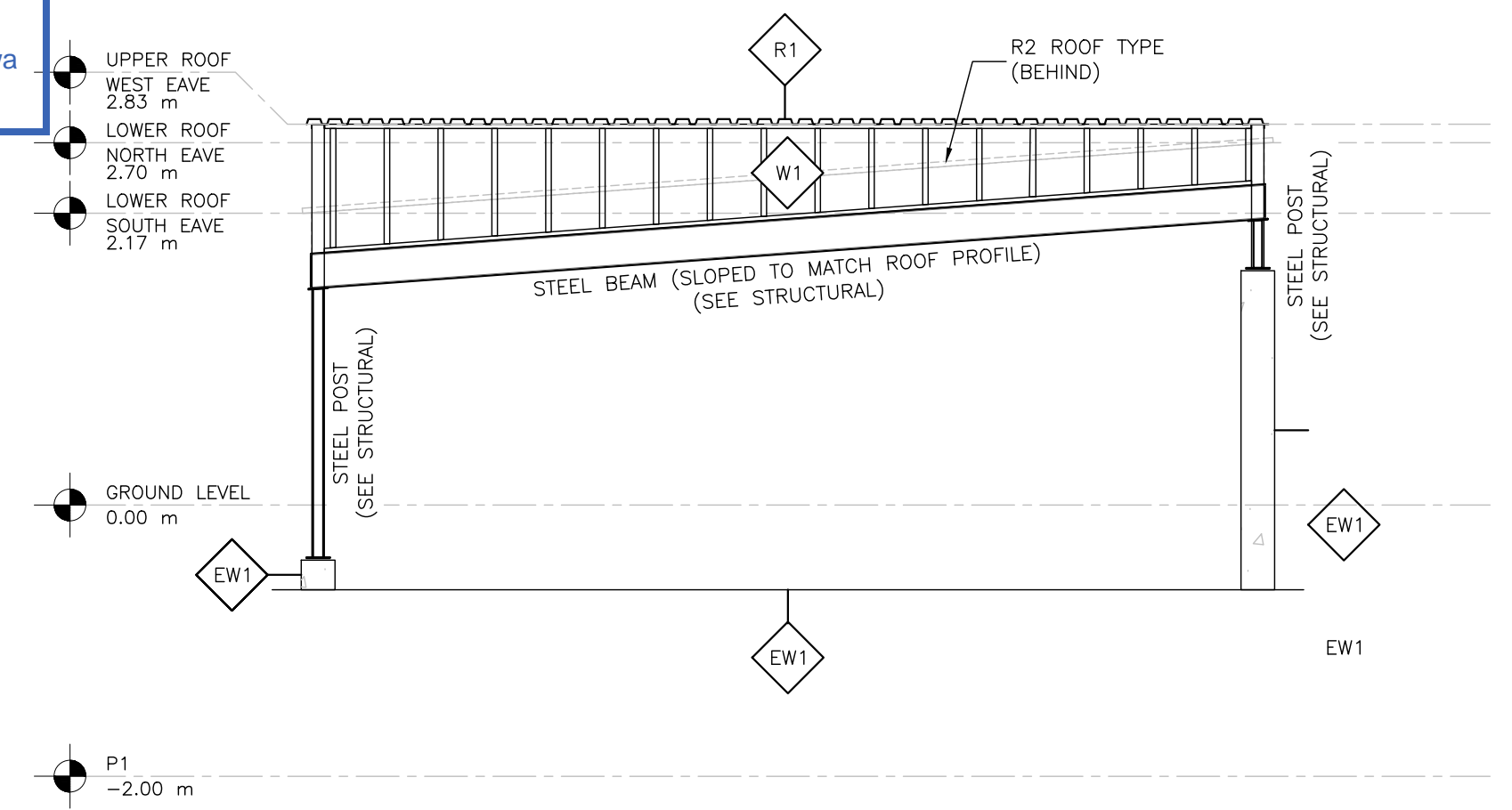
Committee of Adjustment
Received | Reçu le
2023-03-24
City of Ottawa | Ville d'Ottawa
Comité de dérogation



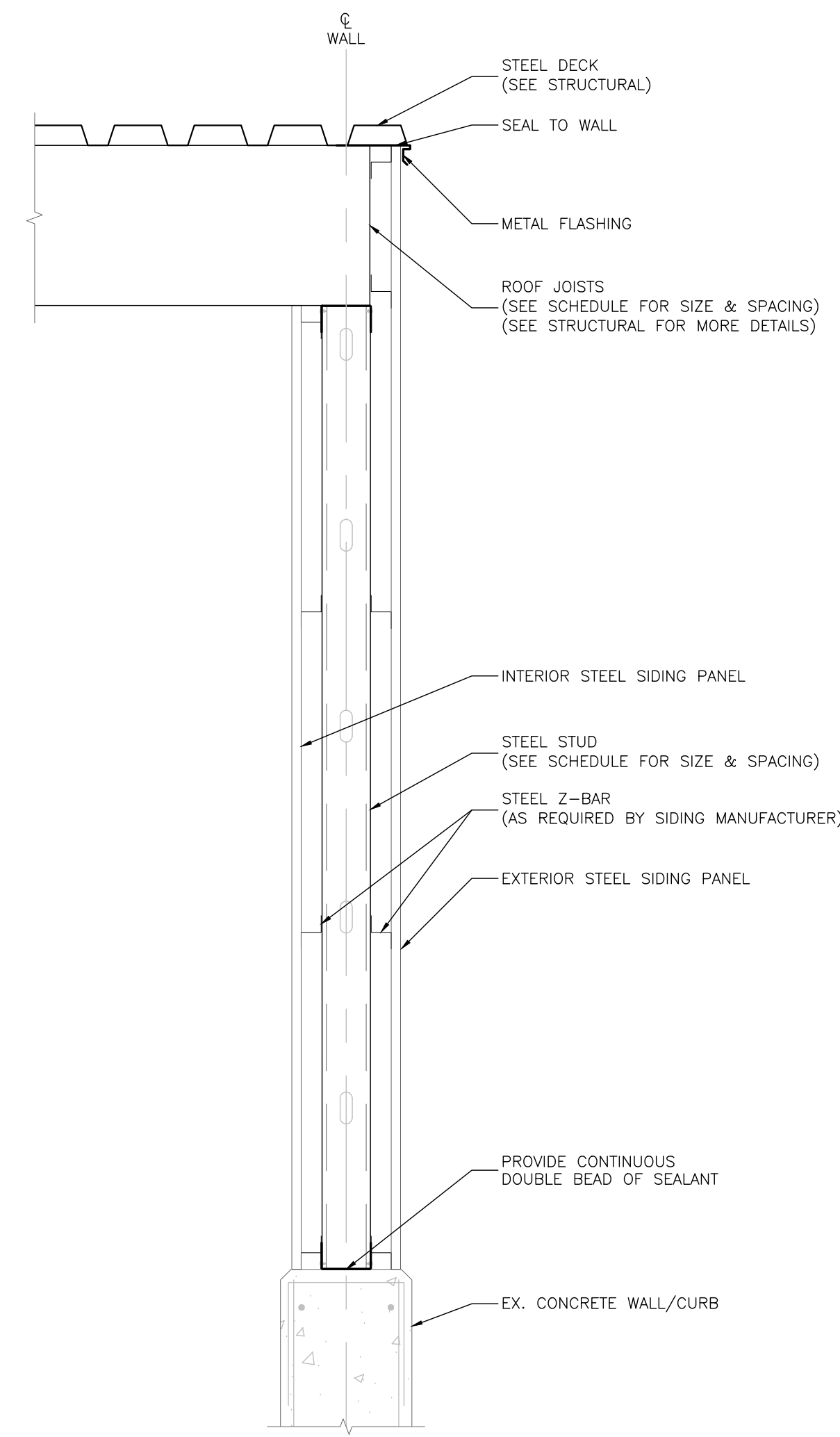
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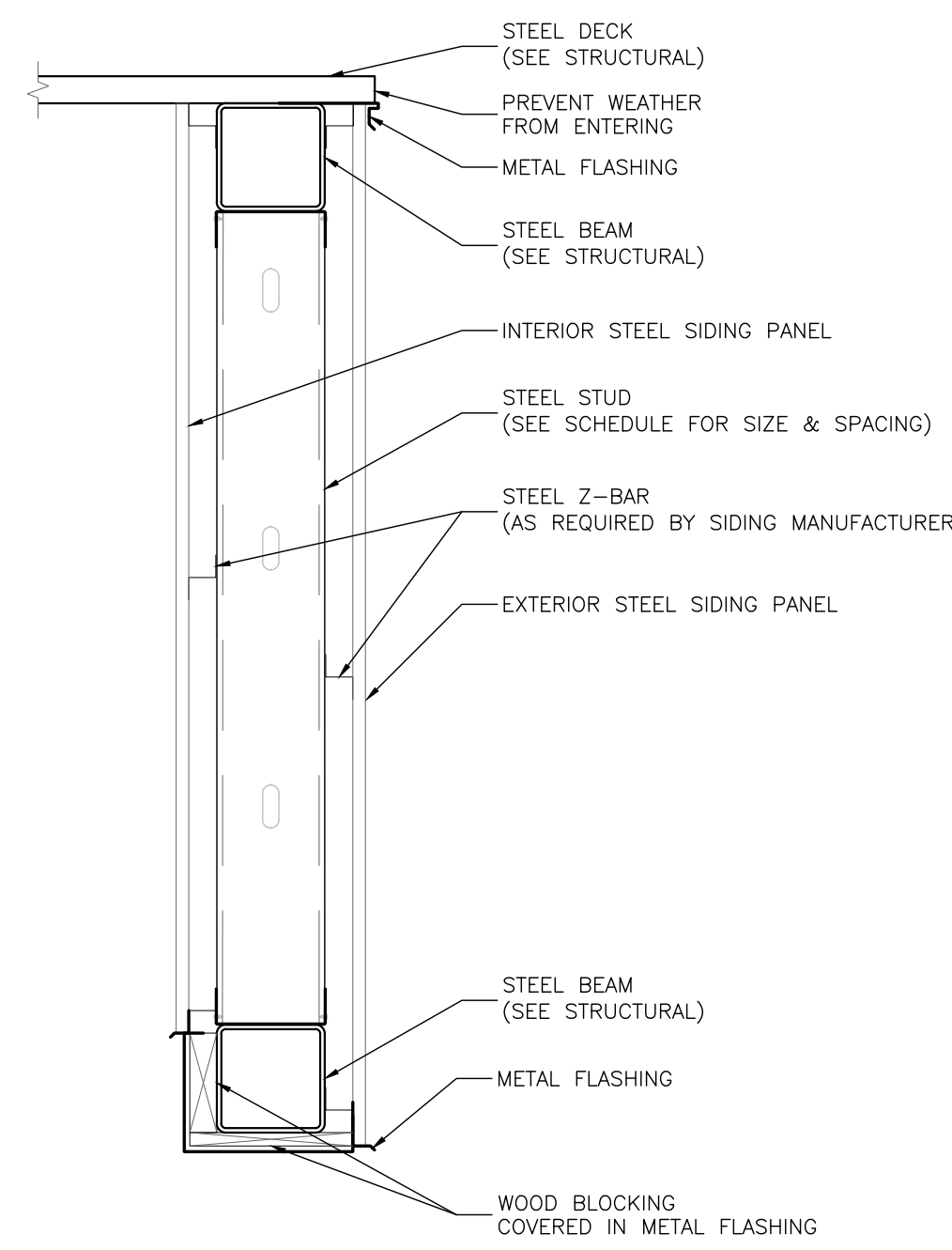
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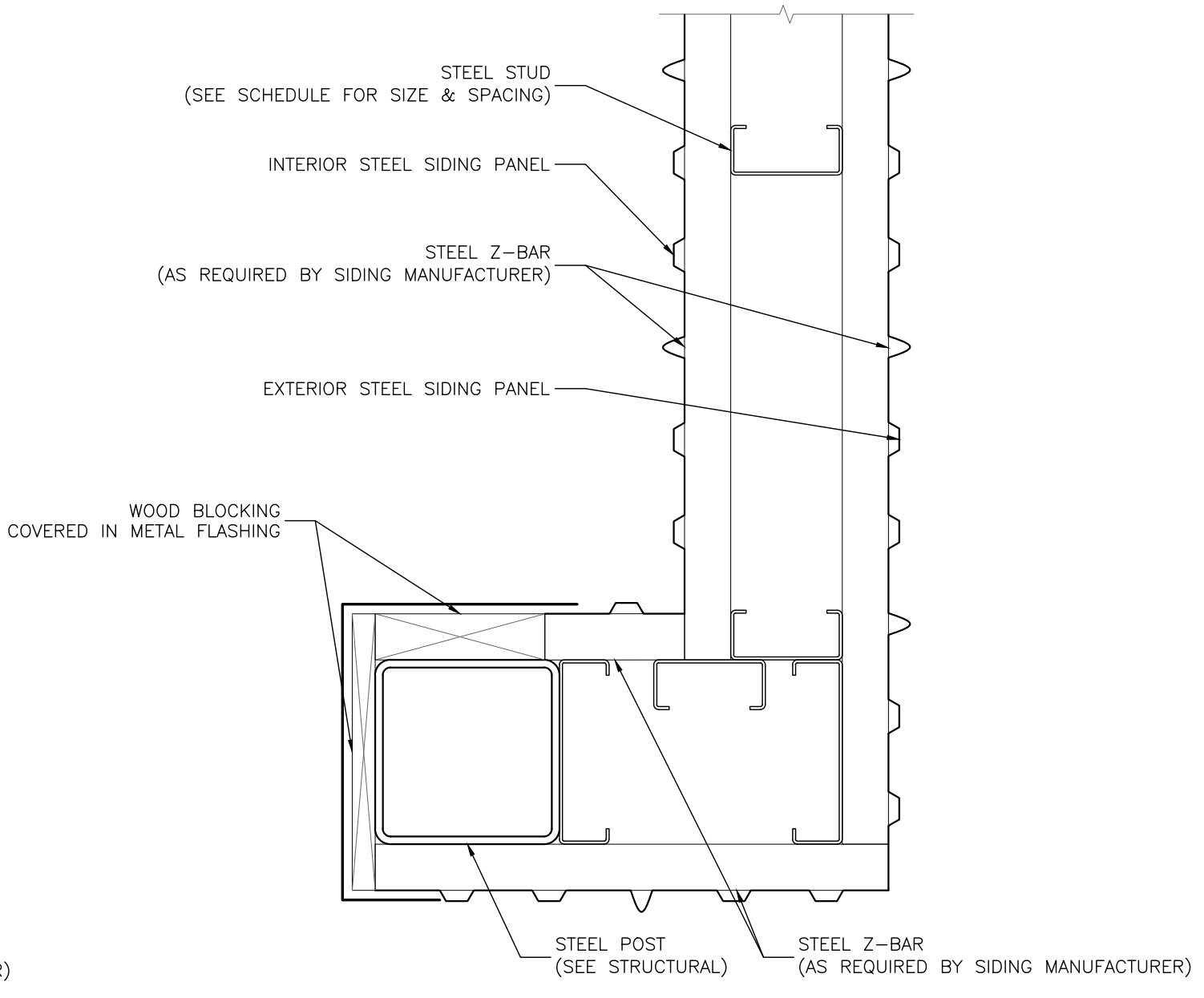
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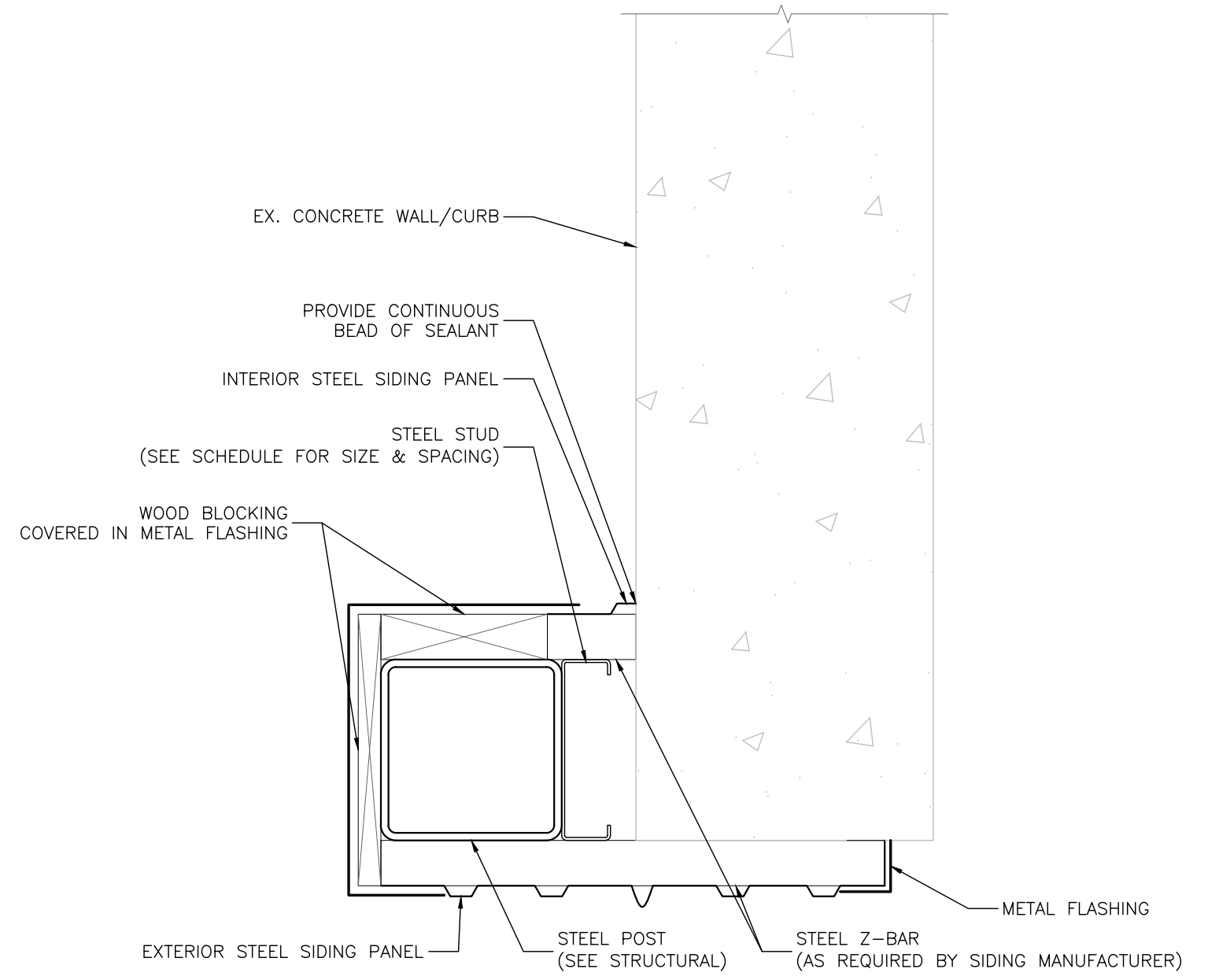
4 DETAIL
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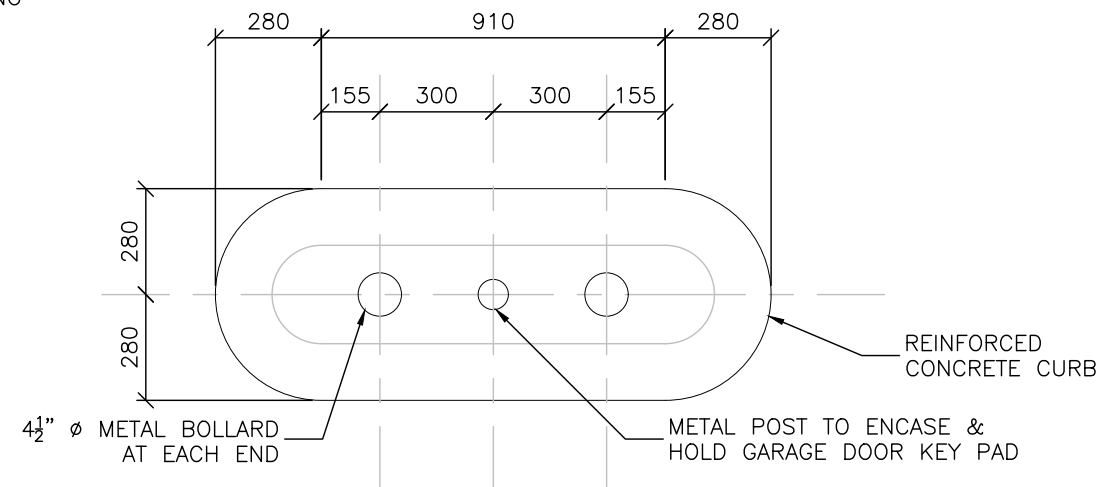
5 GARAGE DOOR HEAD
A04 1:10 TYPICAL



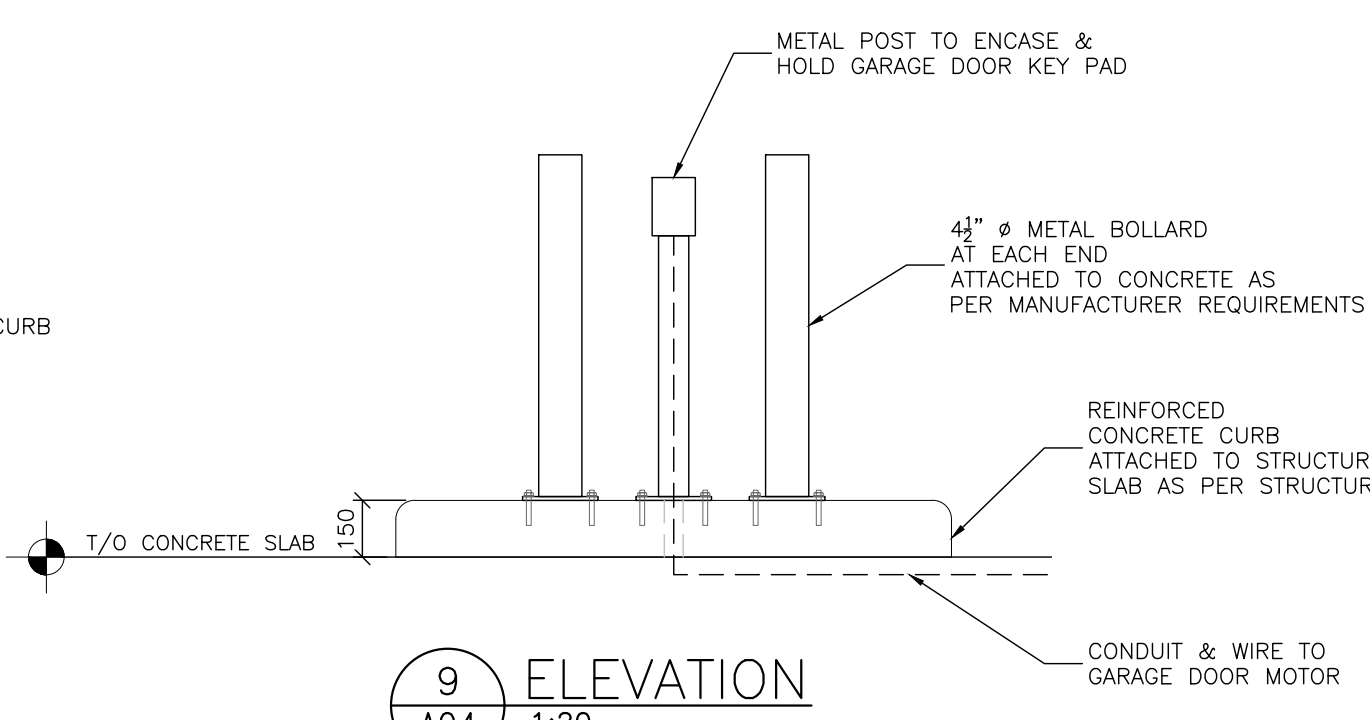
6 GARAGE DOOR JAMB
A04 1:10 TYPICAL
MIRROR AS REQUIRED
STEEL STUD CORNER



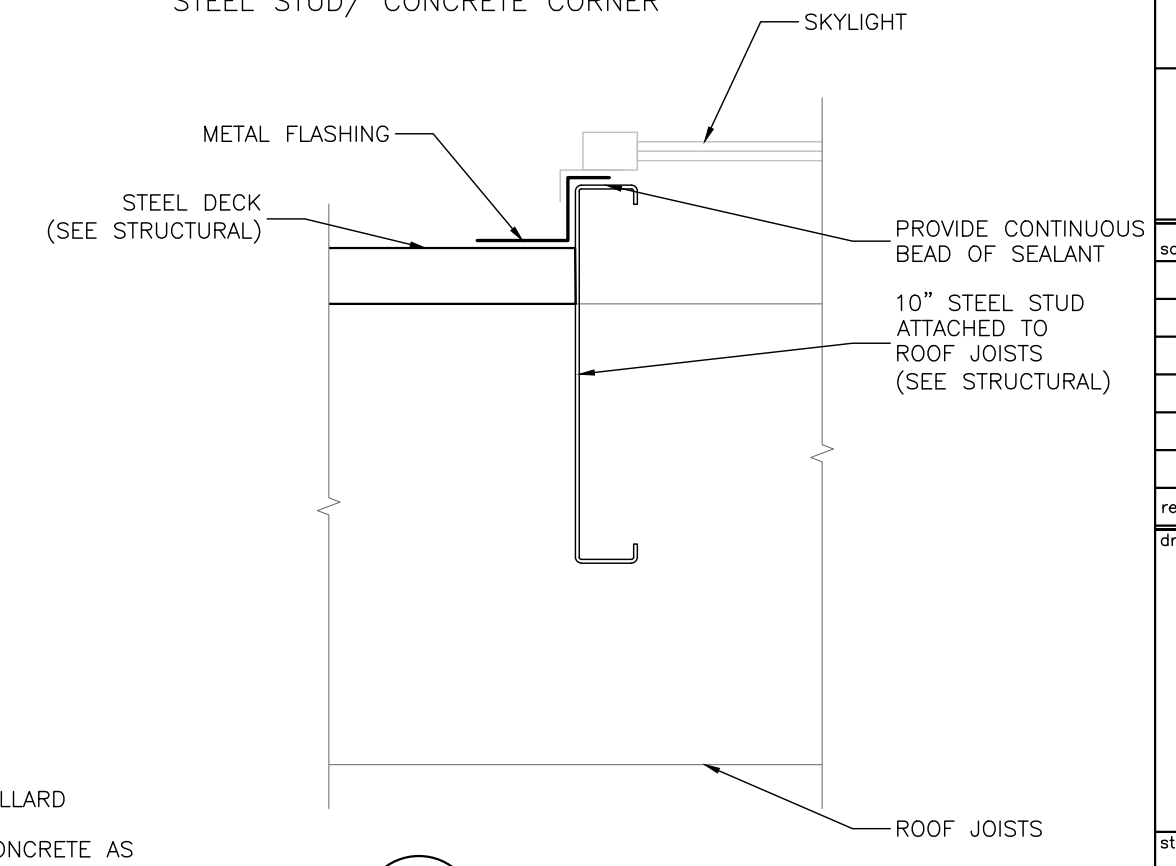
7 GARAGE DOOR JAMB
A04 1:10 TYPICAL
MIRROR AS REQUIRED
STEEL STUD/ CONCRETE CORNER



8 PLAN
A04 1:20 GARAGE DOOR
KEY PAD



9 ELEVATION
A04 1:20



10 SECTION
A04 1:5 TYPICAL
SKYLIGHT JAMB

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A detail no. no. de détail
B location drawing no. sur dessin no.

scale	AS NOTED	
revisions	ISSUED FOR MINOR VARIANCE	17-08-22
drawing		date

PARKING RAMP ENCLOSURE SECTIONS & DETAILS

designed	drawn	reviewed	approved
B. H.	B. H.	----	----
date	project number	drawing number	
August 17, 2022	4400	A04	

NOT FOR CONSTRUCTION