



**MINOR VARIANCE APPLICATION
COMMENTS TO THE COMMITTEE OF ADJUSTMENT
PANEL 1**

PLANNING, REAL ESTATE AND ECONOMIC DEVELOPMENT DEPARTMENT

Site Address: 660 O'Connor Street
Legal Description: Part of Lot 2, Registered Plan 33446
File No.: D08-02-23/A-00080
Report Date: May 26, 2023
Hearing Date: June 7, 2023
Planner: Basma Alkhatib
Official Plan Designation: Inner Urban Transect, Neighbourhood
Zoning: R3Q[1471] (Residential third density zone, subzone Q, exception 1471)

Committee of Adjustment
Received | Reçu le
2023-06-01
City of Ottawa | Ville d'Ottawa
Comité de dérogation

DEPARTMENT COMMENTS

The Planning, Real Estate and Economic Development Department **has no concerns with** the application.

DISCUSSION AND RATIONALE

Staff are satisfied that the requested minor variances meet the “four tests” as outlined in Section 45 (1) of the *Planning Act*, R.S.O. 1990 c. P.13, as amended.

The subject site is within the Inner Urban Transect Policy Area on Schedule A and Neighbourhood designated on Schedule B2 in the Official Plan. The aimed pattern of development in the Inner Urban Transect is urban, exhibiting the characteristics outlined in Table 6 of the Official Plan. This pattern includes a minimum of two functional storeys, attached buildings and small areas of formal landscape and a range of lot sizes that will include smaller lots, and higher lot coverage and floor area ratios. Also, Neighbourhoods are anticipated to maintain their low-rise nature unless otherwise stated in the Zoning By-laws or applicable Secondary Plans.

Healthy and Inclusive Communities is policy 2.2.4 in the Official Plan, includes intention to build accessible, inclusive communities, and design for all ages, including children and older adults. Neighbourhoods designed to be inclusive help to ensure communities are built for everyone, meet needs across the lifespan and contribute to overall health and quality of life. Inequities in communities can be mitigated through the design of the built environment. Planning decisions shall support development of equitable, inclusive, gender

and age-friendly communities in ways that build the city's vibrancy and resiliency and foster community health and well-being.

The required reduction to the rear yard setback is in favor of widening the living space in the basement level, and the extended part of the first floor is used as an open terrace which is not raised from the ground, which unify the terrace with the rear yard and creates a sufficient amenity space. Also, the aggregated softscaping in the rear yard after the reduction is still suitable for growing a tree and is not affecting the neighbour's privacy. Moreover, Sylvia Holden Park is across the street of the subject site which provide an extra amenity space that compensate the reduction of the rear yard. Therefore, staff have no concern with the requested reduction.

The subject site is within Mature neighbourhood Overlay, as section 140 of the Zoning By-law states that no Streetscape Character Analysis is required where the residential use building, after the addition or modification has no front-facing principal entranceway removed and no driveways or parking are added or expanded (By-law 2021-111). Therefore, staff have no concern with the required reduction of the parking and driveway width because it an existing situation that the proposed addition will not alter or change it. Consequently, the streetscape will remain the same and the transition between the public realm and the subject property will not be affected.

The Department has no concerns about the applicant's request because the proposed addition is aligned with urban pattern context and have a minimal impact on the surrounding.

ADDITIONAL COMMENTS

Infrastructure Engineering

1. The Planning, Real Estate and Economic Development Department will do a complete review of **grading and servicing during the building permit process**.
2. At the time of building permit application, a grading/servicing plan prepared by a Professional Engineer, Ontario Land surveyor or a Certified Engineering Technologist will be required.
3. Any proposed works to be located within the road allowance requires prior written **approval from the Infrastructure Services Department**.
4. All trees on City property and private trees greater than 30cm in diameter in the inner urban area are protected under the Tree Protection By-law (2020-340), and plans are to be developed to allow for their retention and long-term survival. **A Tree Removal Permit and compensation are required for the removal of any protected tree**.
5. The **surface storm water runoff including the roof water must be self-contained and directed to the City Right-of-Way**, not onto abutting private

properties as approved by Planning, Real Estate and Economic Development Department.

6. Existing grading and drainage patterns must not be altered.
7. Existing Manhole is not to be located within the driveway.
8. Encroachment on or alteration to any easement is not permitted without authorization from easement owner(s).

Planning Forestry

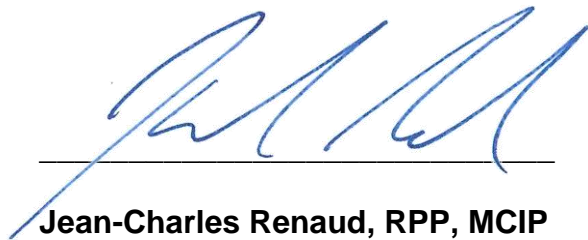
The plan as proposed requires the removal of 1 jointly owned tree, for which the shared owners have provided permission. It appears that this tree would have been impacted even without the requested reduction in rear yard setback. A planting plan has been provided showing 3 compensation trees in the rear yard; please note that medium or large-growing native species are preferred over the ornamental species proposed.

Right of Way Management

The Right-of-Way Management Department has **no concerns** with the proposed Minor Variance Application. However, the owner shall be made aware that a private approach permit is required for any alterations to the private approach or driveway. The owner shall be made further aware that a private approach permit can only be granted if the approach leads to a legal parking space.



Basma Alkhatib
Planner I, Development Review, Central
Planning, Real Estate and Economic
Development Department



Jean-Charles Renaud, RPP, MCIP
Planner III, Development Review, Central
Planning, Real Estate and Economic
Development Department