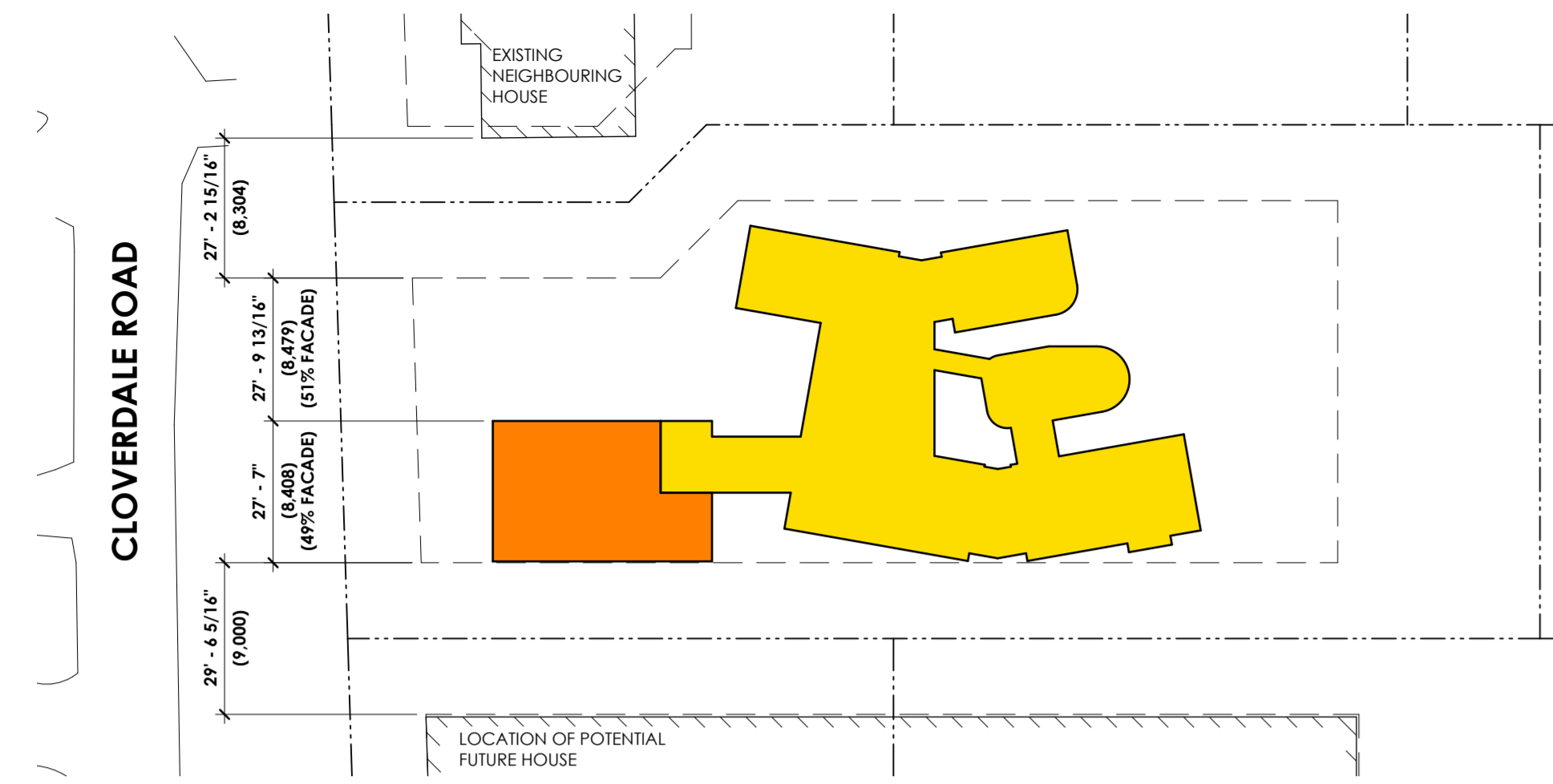
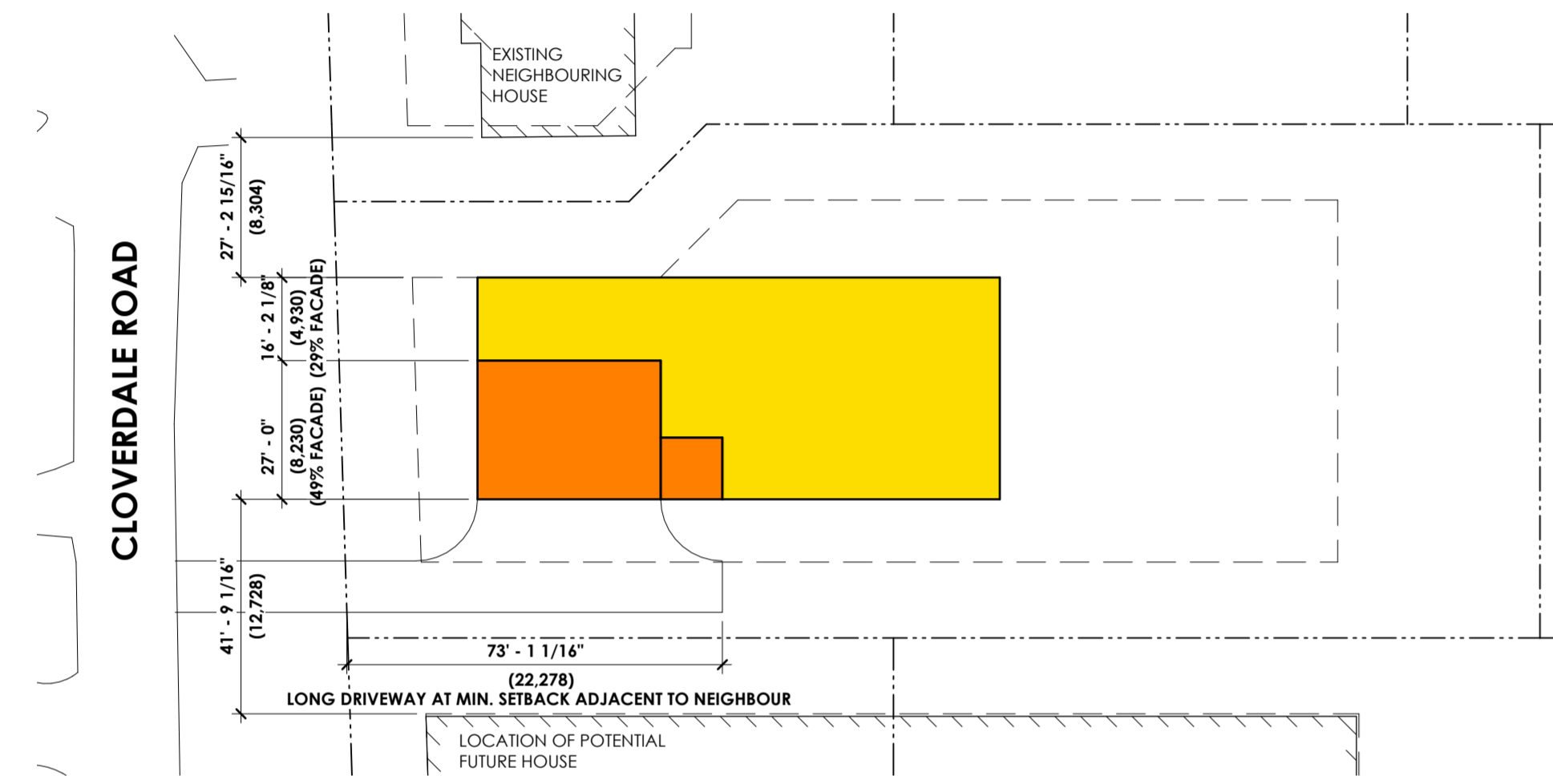


SIDE-FACING GARAGE WITH ENTRY SET BACK



SIDE-FACING GARAGE FLUSH WITH HOUSE



FRONT-FACING GARAGE FLUSH WITH HOUSE



NOTES |

- garage takes up only half of front facade
- garage doors barely visible
- front of house/entry is welcoming and relatively generous
- significant space for vegetation buffer between garage and both neighbour's house

NOTES |

- garage and driveway leave only 29% of front facade for entry/interior usable space despite minimum side yard setbacks
- driveway/turn-around is long and at minimum (1.5m) setback from neighbours
- large garage door faces neighbour's house with minimum setback will little room for vegetation buffer

NOTES |

- garage takes up 64% of front facade even with minimum setbacks
- extremely dominant garage doors
- narrow entry and little space for usable rooms on first floor at front of house
- single-width driveway when many are dual and/or wider
- downward slope directed towards house

GARAGE ANALYSIS

ZONING MATRIX

ZONING	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	925m ²	-	-
MIN. LOT WIDTH	27.0m	25.9m	25.9m
MIN. FRONT YARD SETBACK	4.5m	6.0m	8.7m
MIN. REAR YARD SETBACK	12.0m	n/a	23.4m
MIN. SIDE YARD SETBACK	4.5m	n/a	5.1m
MAX. BUILDING HEIGHT	8.5m	n/a	8.5m
GFA - PROPOSED	780m² (based on FS)	n/a	759.01 m²
FSI - PROPOSED	0.375	n/a	0.365

SITE STATISTICS - NEIGHBOURHOOD COMPARISON

ADDRESS	BUILDING GRADE	LOT AREA	BUILDING FOOT PRINT	LAND COVERAGE	BUILDING HEIGHT	HARDSCAPE DRIVEWAY	% HARDSCAPE DRIVEWAY	HARDSCAPE OTHER	% HARDSCAPE OTHER
480 CLOVERDALE RD. - PREVIOUS 1	n/a	2,080m ²	464m ²	22%	2 STOREYS	166m ²	8%	98m ²	5%
480 CLOVERDALE RD. - PREVIOUS 2	n/a	2,080m ²	461m ²	22%	2 STOREYS	155m ²	7%	15m ²	1%
480 CLOVERDALE RD. - PROPOSED	n/a	2,080m²	445m²	21%	2 STOREYS	124m²	6%	15m²	1%
484 CLOVERDALE RD.	GRADE I	1,115m ²	225m ²	20%	2 STOREYS	55m ²	5%	n/a**	n/a**
540 CLOVERDALE RD.	GRADE II	1,548m ²	447m ²	29%	3 STOREYS	268m ²	17%	305m ²	20%
475 CLOVERDALE RD.	GRADE II	1,194m ²	296m ²	25%	2 STOREYS	44m ²	4%	109m ²	9%
467 CLOVERDALE RD.	GRADE II	1,231m ²	339m ²	28%	2 STOREYS	139m ²	11%	80m ²	7%
461 CLOVERDALE RD.	GRADE II	1,230m ²	310m ²	25%	3 STOREYS	170m ²	14%	243m ²	20%
455 CLOVERDALE RD.	GRADE II	2,719m ²	750m ²	28%	3 STOREYS	278m ²	10%	185m ²	7%
446 CLOVERDALE RD.	GRADE II	944m ²	232m ²	25%	3 STOREYS	136m ²	14%	65m ²	7%

* VALUES ARE APPROXIMATE AND REQUIRE LAND SURVEYS TO BE VERIFIED
 ** HEAVY FOLIAGE PREVENTS ANALYSIS OF REAR YARD LANDSCAPING

ZONING INFORMATION

Address
480 Cloverdale, Ottawa, Ontario

Zoning
R1B (1259)
R1 - Residential First Density Zone

Lot Area: 2079 m²
 Lot size: 25.9 (30.48) m x 71.4m
 Max Lot Coverage: 30% (623 m²)
 Minimum lot width: 27m
 Minimum lot area: 925m
 Maximum building height: 9m

Permitted building types

- (1) The following uses are permitted uses subject to:
- (a) the provisions of subsection 155 (3) to (6);
 - (b) a maximum of three guest bedrooms in a bed and breakfast;
 - (c) a maximum of ten residents is permitted in a group home; and
 - (d) a maximum of ten residents is permitted in a retirement home, converted.
- bed and breakfast, see Part 5, Section 121
 - detached dwelling
 - diplomatic mission, see Part 3, Section 88
 - group home, see Part 5, Section 125
 - home-based business, see Part 5, Section 127
 - home-based daycare, see Part 5, Section 129
 - park
 - retirement home, converted see Part 5, Section 122
 - secondary dwelling unit, see Part 5, Section 133
 - urban agriculture, see Part 3, Section 82 [By-law 2017-148]

Conditional Permitted Uses

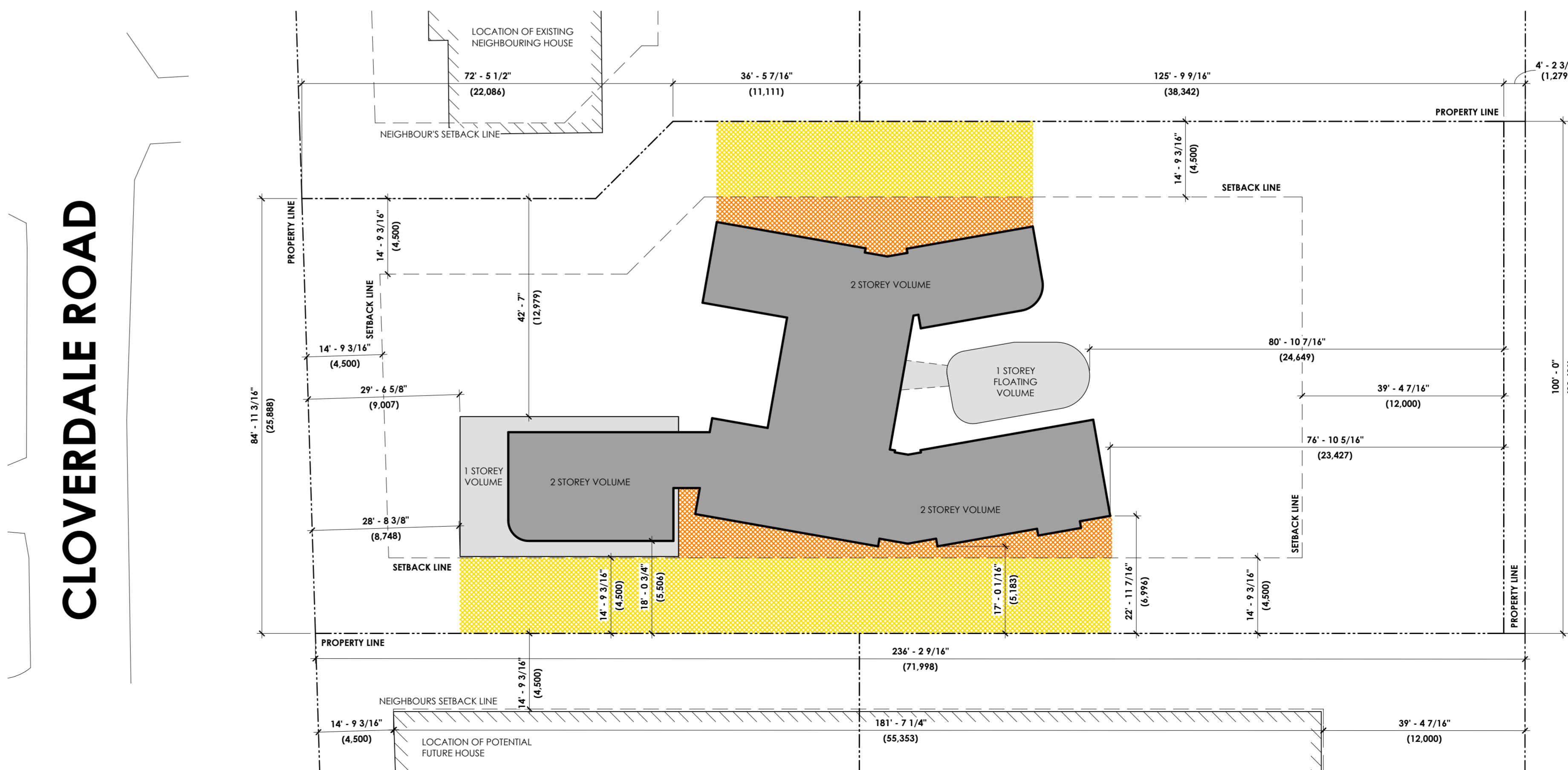
- (2) The following conditional use is also permitted in the R1 zone, subject to the following:
- (a) it is located on a lot fronting on and having direct vehicular access to an Arterial or Major Collector Road, such roads which are indicated on Schedule 3 – Urban Road Network; and
 - (i) Where there is no secondary dwelling unit, a maximum of seven rooming units is permitted;
 - (ii) Where there is a secondary dwelling unit, a maximum of six rooming units is permitted.
- (By-law 2018-206)
 rooming house see Part 5, Section 122 (By-law 2018-206)

Minimum front yard setback: 4.5m
 Minimum rear yard setback: 12m
 Minimum side yard setback: 4.5m

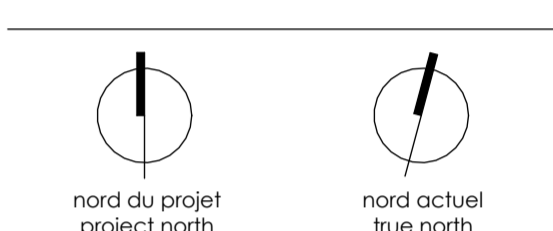
NOTES |

- 21% lot coverage
- Angled volumes allow for the saving of multiple trees along the north and south property lines.
- Angled volumes only approach setbacks at specific points. Average setbacks for each face are significantly more than required by zoning by-law.
- New scheme (Submission 3 & 4) reduces the building length and area of close proximity to side setback lines
- New scheme (Submission 3 & 4) flips the massing to position the majority of the missing away from the north lot line

- First Floor: Required Setback Space
- Second Floor: Required Setback Space
- First Floor: Extra Setback Space
- Second Floor: Extra Setback Space



4 SETBACK ANALYSIS
 480-002 1/16 - 1-27



no revisions
 stamp | timbre



480 CLOVERDALE

480 CLOVERDALE RD | ROCKCLIFFE PARK, ON | CANADA

PROJECT STATISTICS AND GARAGE ANALYSIS

project number | numéro du projet: 204
 drawn | dessiné: CK
 checked | vérifié: AR
 scale | échelle: As indicated
 date | date: 2023-04-03
 drawing number | numéro du dessin:

AD-002