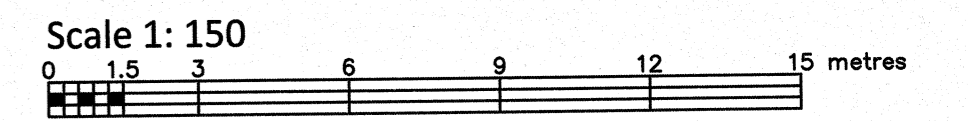


PART OF LOT 207
REGISTERED PLAN 289002
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2023



Metric Note
Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Bearing Note
Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°32'55" counter-clockwise was applied to bearings on P1, P2, P3, P4.
For bearing comparisons, a rotation of 0°31'55" counter-clockwise was applied to bearings on P5.

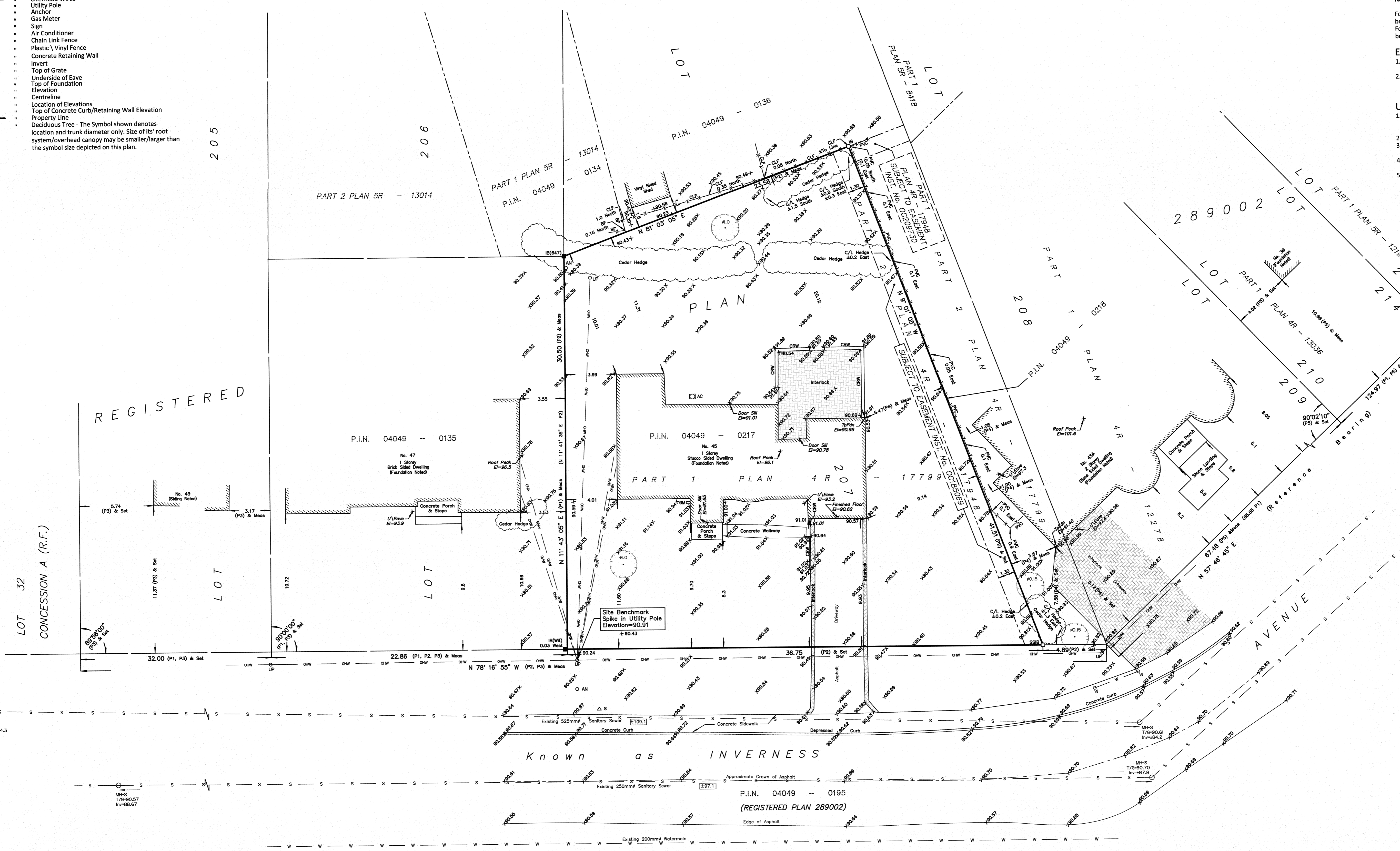
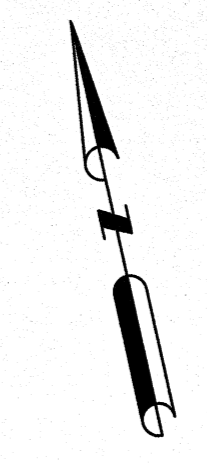
Elevation Notes
1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 :1978 (Monument No. 197534238)
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Utility Notes
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. Underground utility data derived from City of Ottawa utility sheet reference: 2962, K31-4.
4. Sanitary and storm sewer grades and inverts were compiled from: Field measurement & City of Ottawa Utility Sheets.
5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Notes & Legend

- Denotes Survey Monument Planted
- " Survey Monument Found
- SSIB " Standard Iron Bar
- SSIB " Short Standard Iron Bar
- IB " Iron Bar
- (Wit) " Witness
- Meas " Measured
- (P1) " Registered Plan 289002
- (P2) " Plan 4R-17799
- (P3) " Plan by (1175) dated December 8, 1993 (Ref. No. NP-275)
- (P4) " Plan by (ACG) dated November 11, 2002 (Job No.3387-02)
- (P5) " Plan by (857) dated July 14, 1997 (Job No.199970)
- MH-ST " Maintenance Hole (Storm)
- MH-S " Maintenance Hole (Sanitary)
- ST " Underground Storm Sewer
- S " Underground Sanitary Sewer
- W " Underground Water
- OW " Overhead Wires
- UP " Utility Pole
- AN " Anchor
- GM " Gas Meter
- △ S " Sign
- AC " Air Conditioner
- CLF " Chain Link Fence
- PVC " Plastic \ Vinyl Fence
- CRW " Concrete Retaining Wall
- Inv. " Invert
- T/G " Top of Grate
- U/Eave " Underside of Eave
- TpFdn " Top of Foundation
- E " Elevation
- C/L " Centreline
- +65.00 " Location of Elevations
- +65.00 " Top of Concrete Curb/Retaining Wall Elevation
- Property Line
- Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

Committee of Adjustment
Received | Reçu le
2023-05-15
City of Ottawa | Ville d'Ottawa
Comité de dérogation



Site Area=1050.0 sq.m.

Surveyor's Certificate
I certify that:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveys Act and the Regulations made under them.
2. The survey was completed on the 14th day of March, 2023.
March 15/2023
Date
Emad Alrefaai
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-48340
FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS
Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
TEL: (613) 727-8226 E-mail: fdsurveys@bellnet.ca

TOPOGRAPHIC DATA WAS COLLECTED UNDER WINTER CONDITIONS. SNOW COVER AND ICE PRECLUDE DETERMINING LOCATION AND ELEVATION OF SOME TOPOGRAPHICAL DATA THAT IS OTHERWISE VISIBLE.

WARNING: NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENIS SURVEYING LTD. © FARLEY, SMITH & DENIS SURVEYING LTD., 2023.

P:\2023\0823_45 INVERNESS AVE\2.0 ARCH\2.3 DRAWINGS\2.3.1 DD\2.3.1.2 SITE PLANS\230505_INVERNESS SP1 [FINAL DD FOR COO].dwg - LAYOUT SP1 - PLOT DATE 11-May-23 - LAST SAVED BY AD - LAST SAVED DATE May 11, 2023

Committee of Adjustment
Received | Reçu le
2023-05-15
City of Ottawa | Ville d'Ottawa
Comité de dérogation

DEVELOPMENT INFORMATION
TOTAL SITE AREA: 1049.9 M²
ZONING: R1FF
PROPOSED GROSS BUILDING AREA: 2545.4 FT² (236.5 M²)

PART 1: EXISTING LOT/BUILDING			
VARIANCES	BYLAW PROVISION	REQUIRED	PROVIDED
A	LOT AREA	600.0 M ²	547.5 M ²
B	LOT WIDTH	19.5 M	17.55 M
	FRONT YARD	6.0 M	9.70 M
	INTERIOR SIDE YARD	TOTAL 2.1 M CUMULATIVE REQ. WITH EITHER SIDE YARD NO LESS THAN 0.9 M	3.99 M AND 1.04 M
	REAR YARD (BY-LAW TABLE 144B)	DEPTH: LOT DEPTH-23 M =9.92 M AREA: 25% OF LOT AREA	9.94 M 27%
	EAVES MINIMUM DISTANCE FROM LOT LINE	0.3 M	0.6 M
	MAXIMUM BUILDING HEIGHT	N/A	N/A
	MAXIMUM DRIVEWAY WIDTH	3.0 M	3.0 M
	MAXIMUM LOT COVERAGE	45%	19%
	SOFT LANDSCAPED AREA (BY-LAW TABLE 139)	40%	76%

PARTS 2&3: NEW LOT/PROPOSED TWO-STORY BUILDING			
VARIANCES	BYLAW PROVISION	REQUIRED	PROVIDED
C	LOT AREA	600.0 M ²	502.4 M ²
D	LOT WIDTH	19.5 M	16.82 M
	FRONT YARD	6.0 M	6.08 M
	INTERIOR SIDE YARD	TOTAL 2.1 M CUMULATIVE REQ. WITH EITHER SIDE YARD NO LESS THAN 0.9 M	0.96 M AND 1.34 M
	REAR YARD (BY-LAW TABLE 144B)	30% LOT DEPTH REQ=11.48 M AREA: 25% OF LOT AREA	12.40 M 26%
	MAXIMUM BUILDING HEIGHT	8.5 M	8.5 M
	MAXIMUM DRIVEWAY WIDTH	5.5 M	5.5 M
	MAXIMUM LOT COVERAGE	45%	36%
	SOFT LANDSCAPED AREA (BY-LAW TABLE 139)	40%	54%

LEGEND:

- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED
- PROPOSED TREES
- EXISTING HEDGE
- TYP. PARKING SPACE 2.6M X 5.2M
- ELEVATION USED TO CALCULATE AVG. GRADE

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PROJECT NAME
45 INVERNESS AVE

OTTAWA, ON

PROJECT NORTH
N

DRAWING TITLE
SITE PLAN

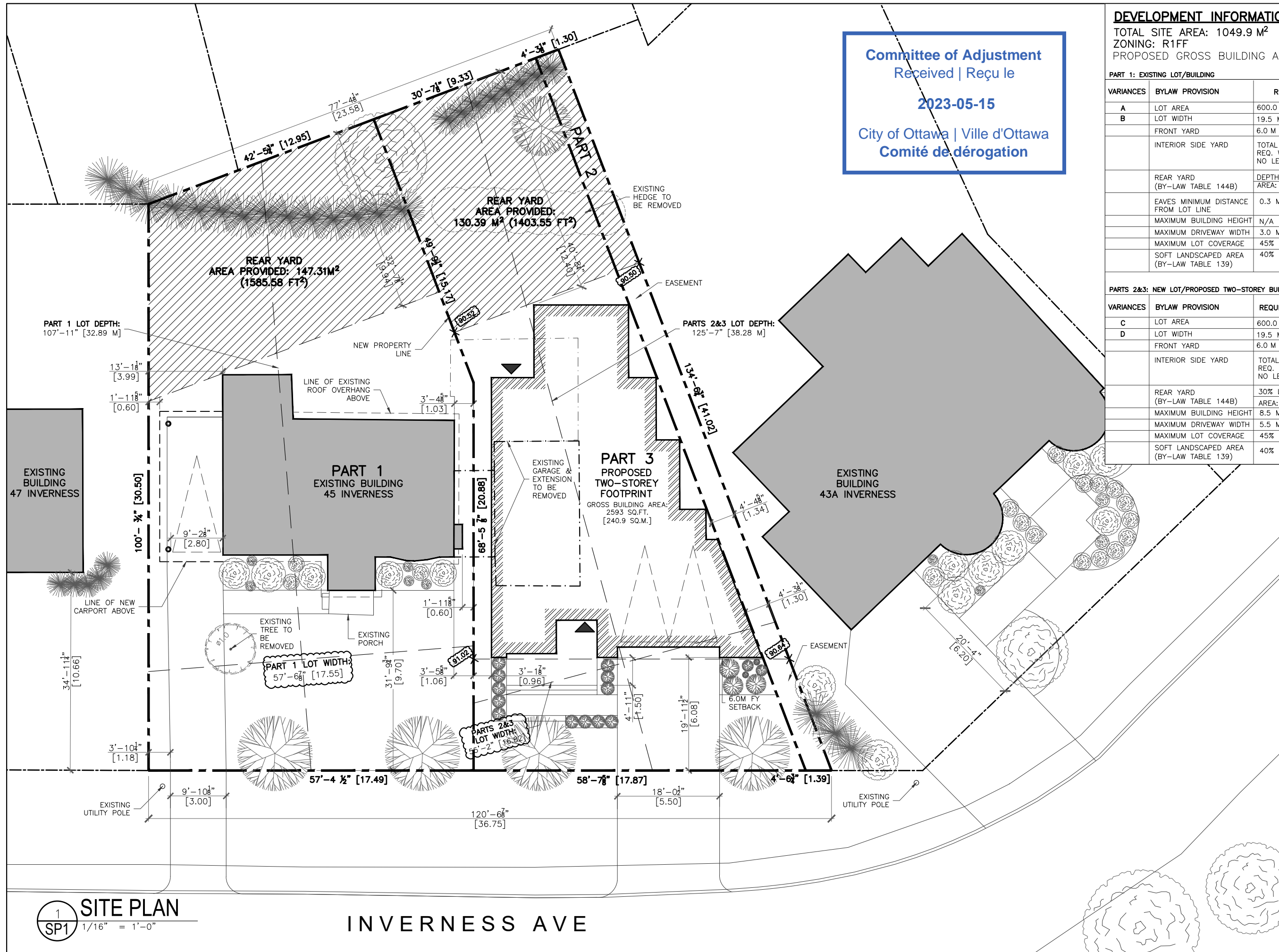
SCALE
AS NOTED

DRAWN BY

DATE
5/11/23

PROJECT NO.
008-23

DRAWING NO.
SP1

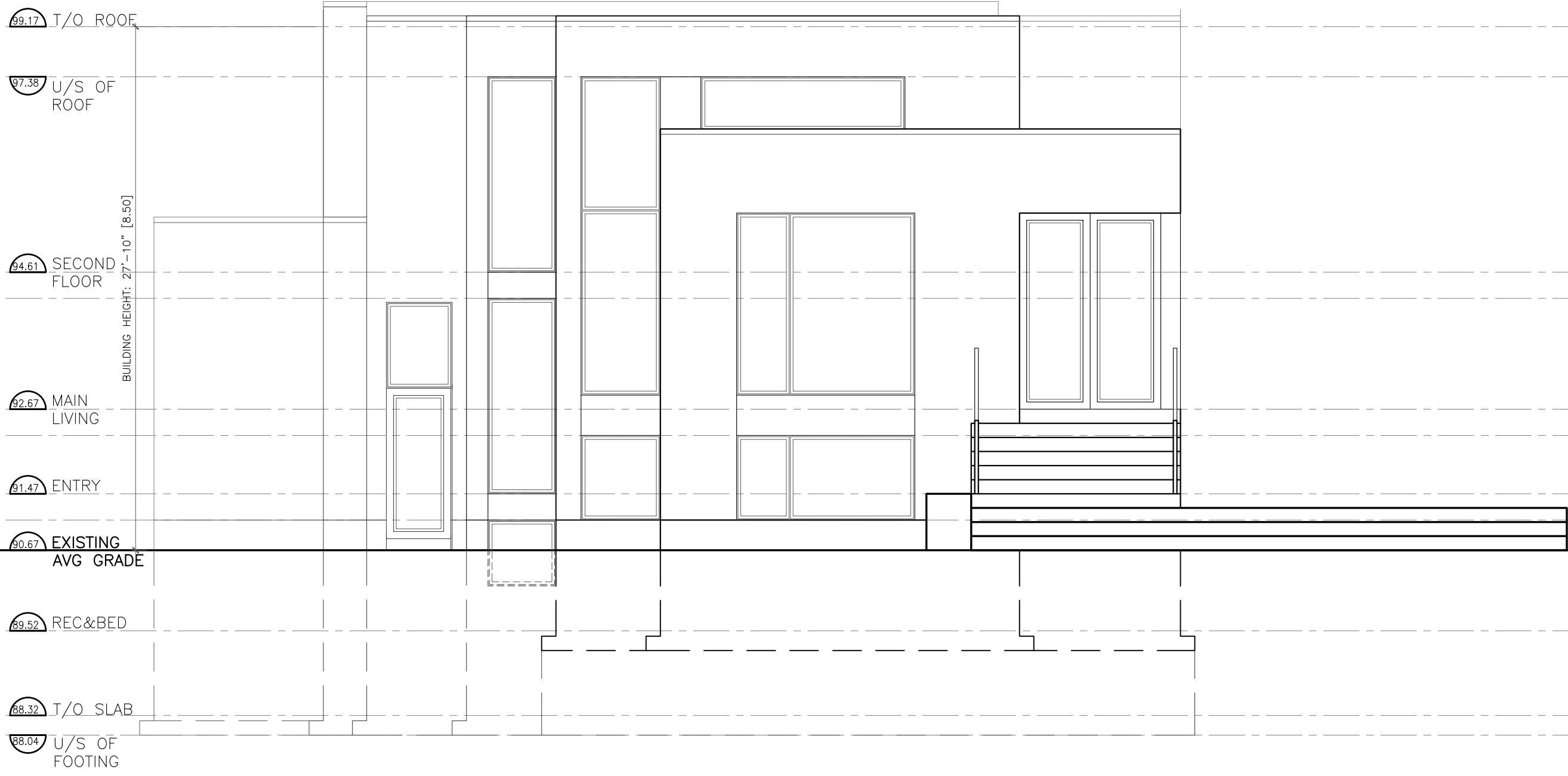


1 SITE PLAN
SP1 1/16" = 1'-0"

INVERNESS AVE

F:\2023\00823_45 INVERNESS AVE\2.0 ARCH\2.3 DRAWINGS\2.3.1 DD\2.3.1.5 SECTIONS\230504-INVERNESS AVE [ELEVS & SECTIONS].dwg - LAYOUT A6 ELEVATION - PLOT DATE 11-May-23 - LAST SAVED BY AD - LAST SAVED DATE May 11, 2023

Committee of Adjustment
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1
A6 NORTH ELEVATION
3/16" = 1'-0"

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PROJECT NAME
45 INVERNESS AVENUE

OTTAWA, ON

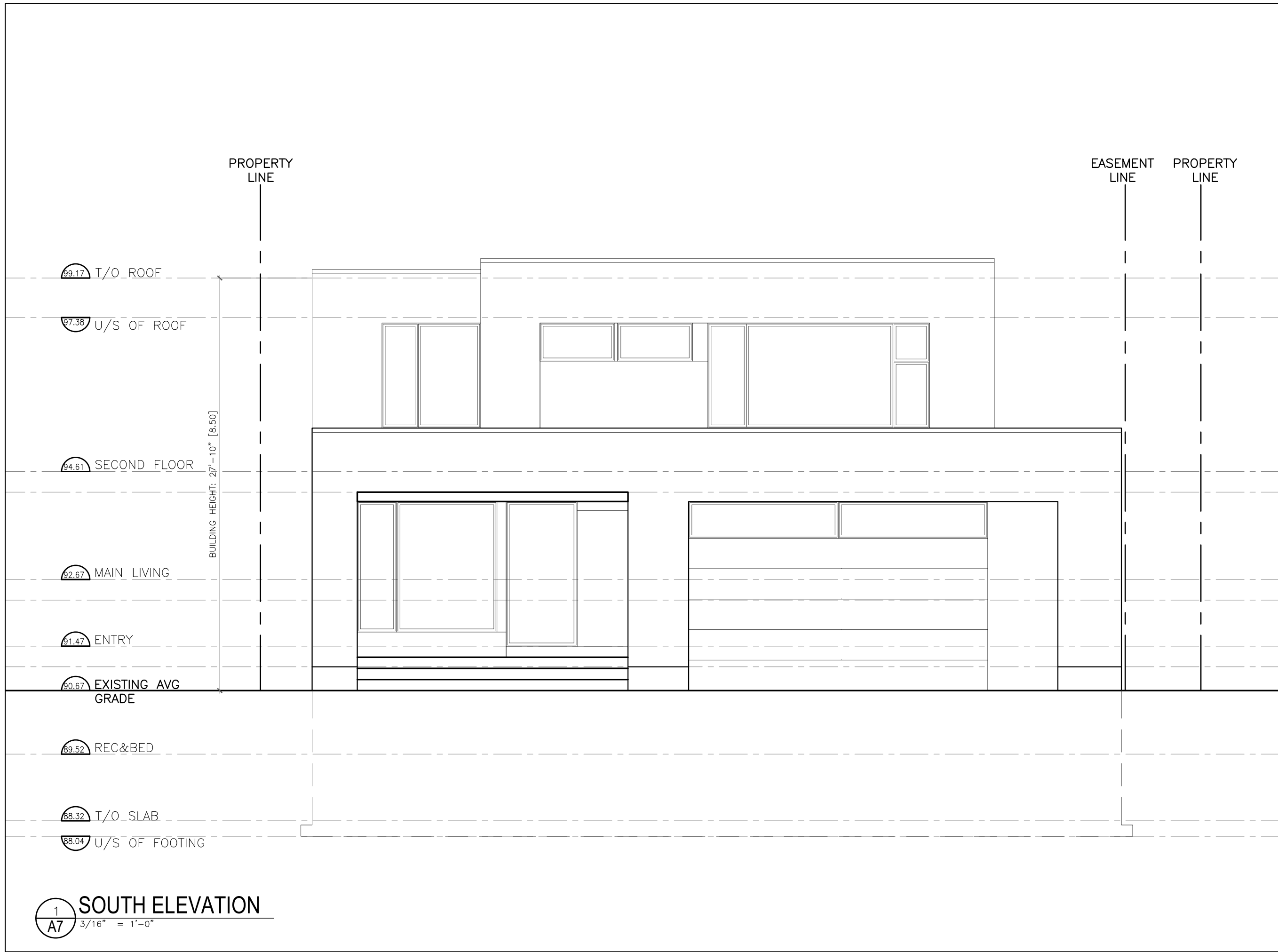
DRAWING TITLE
ELEVATION

SCALE
AS NOTED
DRAWN BY
DATE
5/11/23
PROJECT NO.
008-23

DRAWING NO.

A6

P:\2023\00823_45 INVERNESS AVE\2.0 ARCH\2.3 DRAWINGS\2.3.1 DD\2.3.1.5 SECTIONS\230504-INVERNESS AVE [Elevs & Sections].dwg - LAYOUT A7 ELEVATION - PLOT DATE 11-May-23 - LAST SAVED BY AD - LAST SAVED DATE May 11, 2023



99.17 T/O ROOF

97.38 U/S OF ROOF

94.61 SECOND FLOOR

92.67 MAIN LIVING

91.47 ENTRY

90.67 EXISTING AVG GRADE

89.52 REC&BED

88.32 T/O SLAB

88.04 U/S OF FOOTING

PROPERTY LINE

EASEMENT LINE

PROPERTY LINE

BUILDING HEIGHT: 27'-10" [8.50]

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PROJECT NAME
45 INVERNESS AVENUE

OTTAWA, ON

DRAWING TITLE
ELEVATION

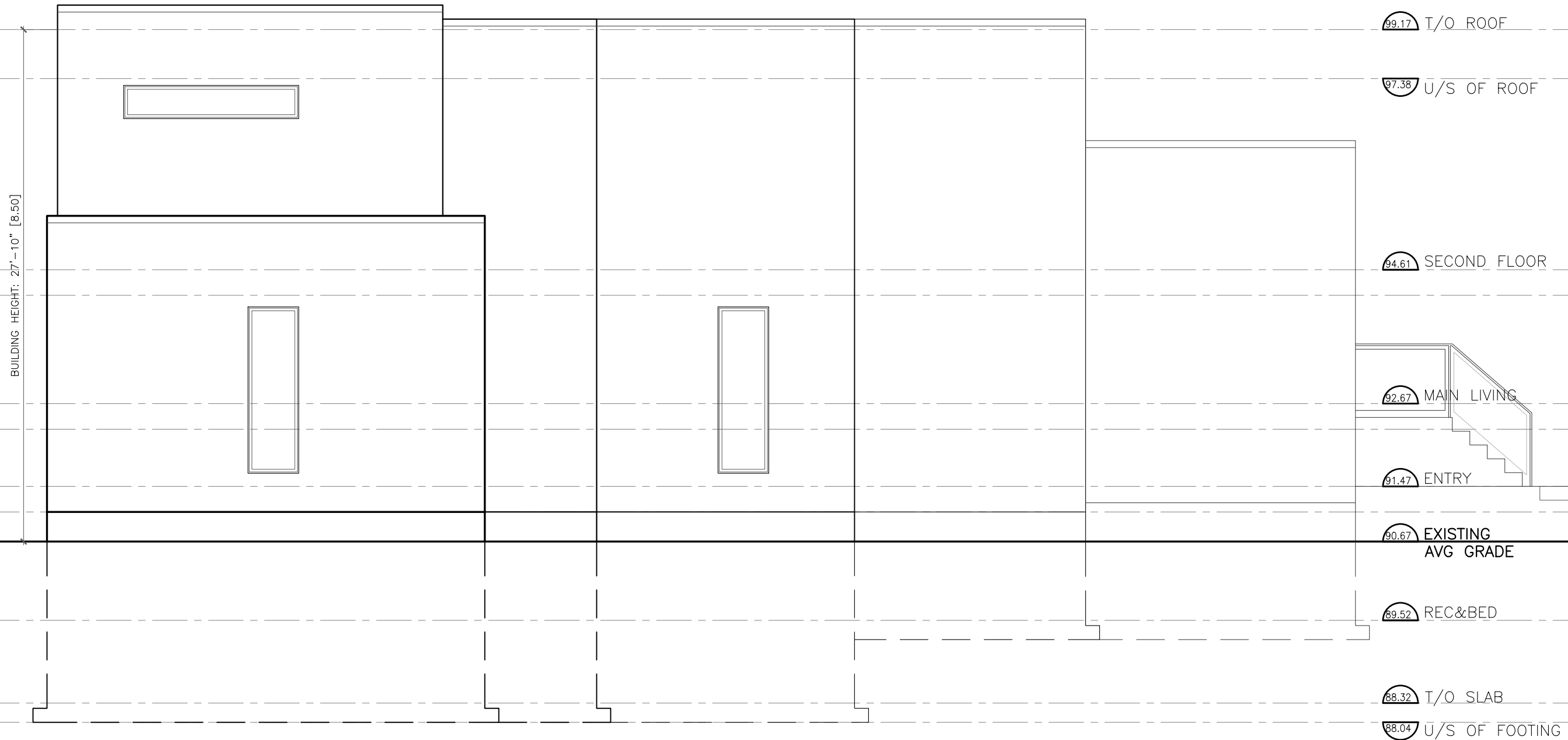
SCALE
AS NOTED
DRAWN BY
DATE
5/11/23
PROJECT NO.
008-23

DRAWING NO.

A7

1 SOUTH ELEVATION
A7 3/16" = 1'-0"

P:\2023\00823_45 INVERNESS AVE\2.0 ARCH\2.3 DRAWINGS\2.3.1 DD\2.3.1.5 SECTIONS\230504-INVERNESS AVE [ELEVS & SECTIONS].dwg - LAYOUT A8 ELEVATION - PLOT DATE 11-May-23 - LAST SAVED BY AD - LAST SAVED DATE May 11, 2023



- 99.17 T/O ROOF
- 97.38 U/S OF ROOF
- 94.61 SECOND FLOOR
- 92.67 MAIN LIVING
- 91.47 ENTRY
- 90.67 EXISTING AVG GRADE
- 89.52 REC&BED
- 88.32 T/O SLAB
- 88.04 U/S OF FOOTING

1 EAST ELEVATION
 A8 3/16" = 1'-0"

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PROJECT NAME
45 INVERNESS AVENUE

OTTAWA, ON

DRAWING TITLE
 ELEVATION

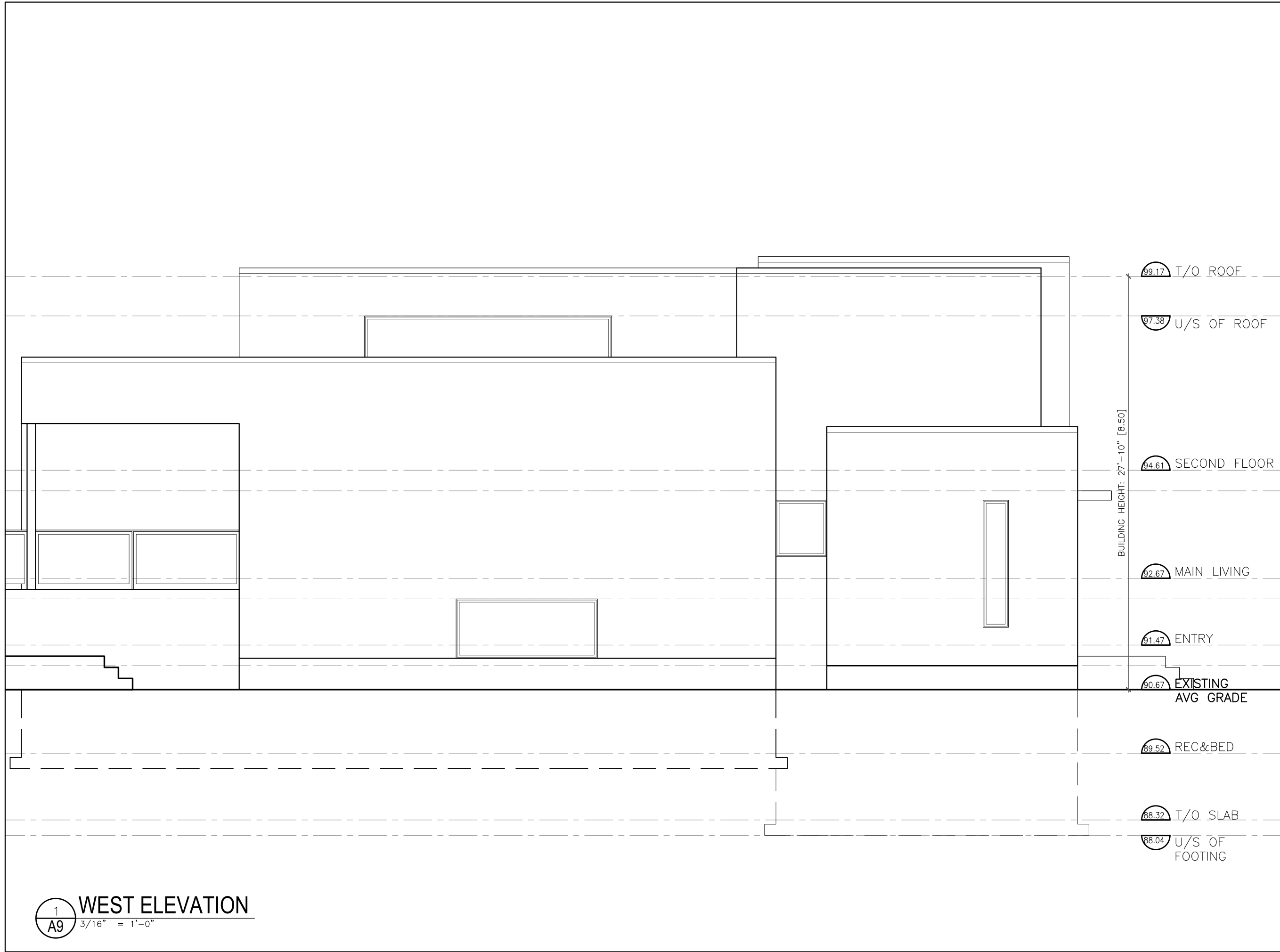
SCALE
 AS NOTED
 DRAWN BY

 DATE
 5/11/23
 PROJECT NO.
 008-23

DRAWING NO.

A8

P:\2023\00823_45 INVERNESS AVE\2.0 ARCH\2.3 DRAWINGS\2.3.1 DD\2.3.1.5 SECTIONS\230504-INVERNESS AVE [ELEVS & SECTIONS].dwg - LAYOUT A9 ELEVATION - PLOT DATE 11-May-23 - LAST SAVED BY AD - LAST SAVED DATE May 11, 2023



99.17 T/O ROOF

97.38 U/S OF ROOF

94.61 SECOND FLOOR

92.67 MAIN LIVING

91.47 ENTRY

90.67 EXISTING
AVG GRADE

89.52 REC&BED

88.32 T/O SLAB

88.04 U/S OF
FOOTING

BUILDING HEIGHT: 27'-10" [8.50]

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architecture

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PROJECT NAME
45 INVERNESS AVENUE

OTTAWA, ON

DRAWING TITLE
ELEVATION

SCALE
AS NOTED
DRAWN BY

DATE
5/11/23
PROJECT NO.
008-23

DRAWING NO.

A9

1
A9 WEST ELEVATION
3/16" = 1'-0"

Notes & Legend

- Denotes Survey Monument Planted
- " Survey Monument Found
- SIB " Standard Iron Bar
- SSIB " Short Standard Iron Bar
- IB " Iron Bar
- (Wit) " Witness
- Meas " Measured
- (P1) " Registered Plan 289002
- (P2) " Plan 4R-17799
- (P3) " Plan by (1175) dated December 8, 1993 (Ref. No. NP-275)
- (P4) " Plan by (AOG) dated November 11, 2002 (Job No.3387-02)
- (P5) " Plan by (857) dated July 14, 1997 (Job No.199970)
- (P6) " Plan by (1692) dated April 6, 2023 (File No. 57-23)
- OHW " Overhead Wires
- UP " Utility Pole
- AN " Anchor
- CLF " Chain Link Fence
- PVC " Plastic \ Vinyl Fence
- C/L " Centreline
- " Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

Metric Note

Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note

Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°32'55" counter-clockwise was applied to bearings on P1, P2, P3, P4.

For bearing comparisons, a rotation of 0°31'55" counter-clockwise was applied to bearings on P5.

CO-ORDINATES WERE DERIVED FROM CAN-NET REAL TIME NETWORK OBSERVATIONS, MTM ZONE 9, N.A.D. 1983 (ORIGINAL).		
POINT ID	NORTHING	EASTING
(A)	5024466.33	366120.80
(B)	5024425.33	366127.31
01919680005	5027191.26	361496.76
01919680105	5024915.16	373971.65

CO-ORDINATES ARE MTM ZONE 9, N.A.D. 1983 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: _____

DANIEL ROBINSON
ONTARIO LAND SURVEYOR

PLAN 4R-

RECEIVED AND DEPOSITED

DATE: _____

REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
OTTAWA-CARLETON NO. 4.

SCHEDULE

PART	LOT	PLAN	PIN	AREA (Sq.m.)
1				547.5
2	PART OF 207	289002	ALL OF 04049 - 0217	53.6
3				448.8

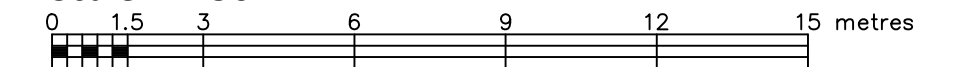
PART 2 IS SUBJECT TO EASEMENT PER INST. OC185069

PLAN OF SURVEY OF

**PART OF LOT 207
REGISTERED PLAN 289002
CITY OF OTTAWA**

FARLEY, SMITH & DENIS SURVEYING LTD. 2023

Scale 1: 150



Surveyor's Certificate

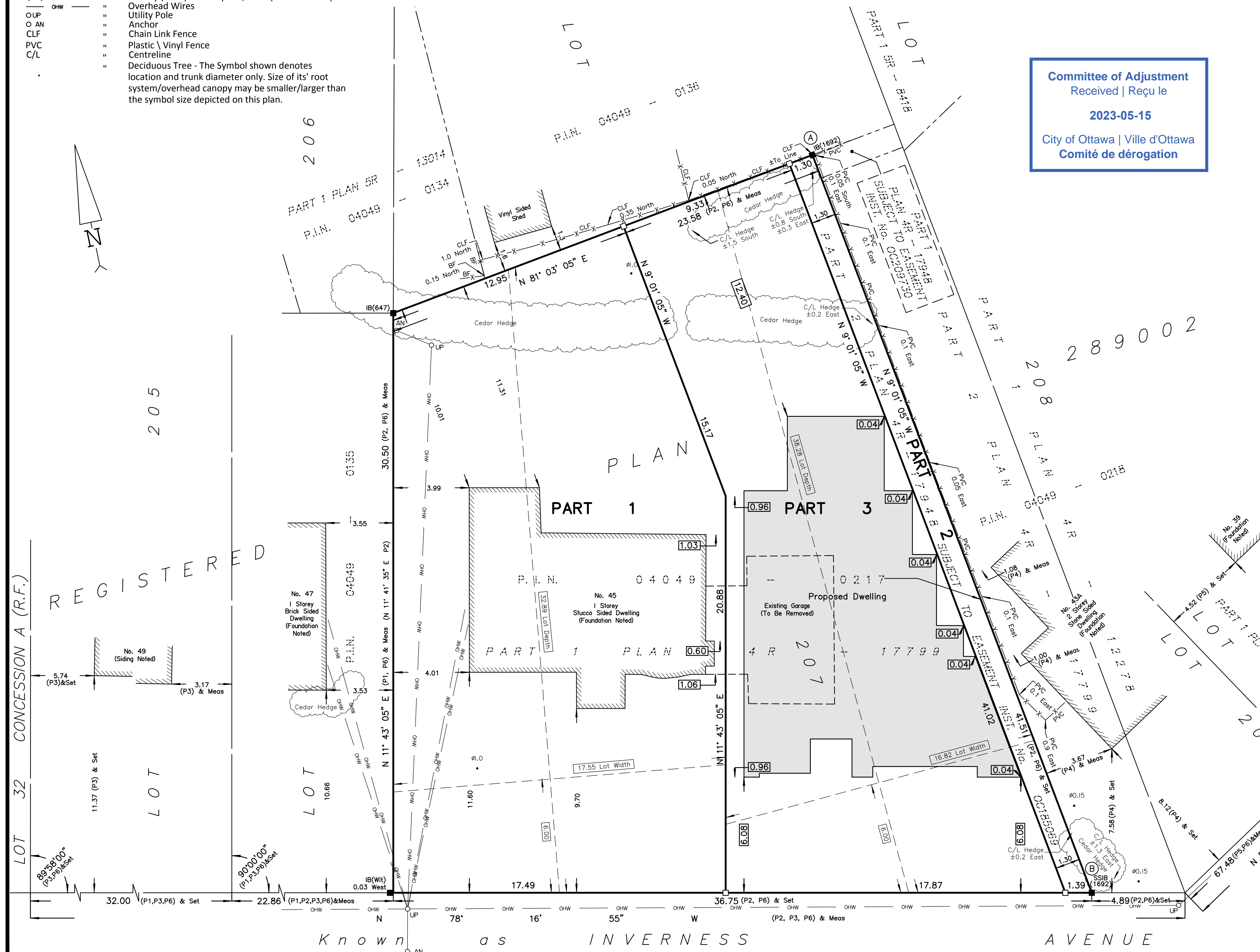
I certify that:

1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the Regulations made under them.
2. The survey was completed on the ___ day of _____, 2023.

Date Daniel Robinson
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-XXXX

Committee of Adjustment
 Received | Reçu le
2023-05-15
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



Known as **INVERNESS AVENUE**

P. I. N. 04049 - 0195

(REGISTERED PLAN 289002)

FILE No.: 131-23

FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS

Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
TEL. (613) 727-8226 E-mail: fsdsurveys@bellnet.ca