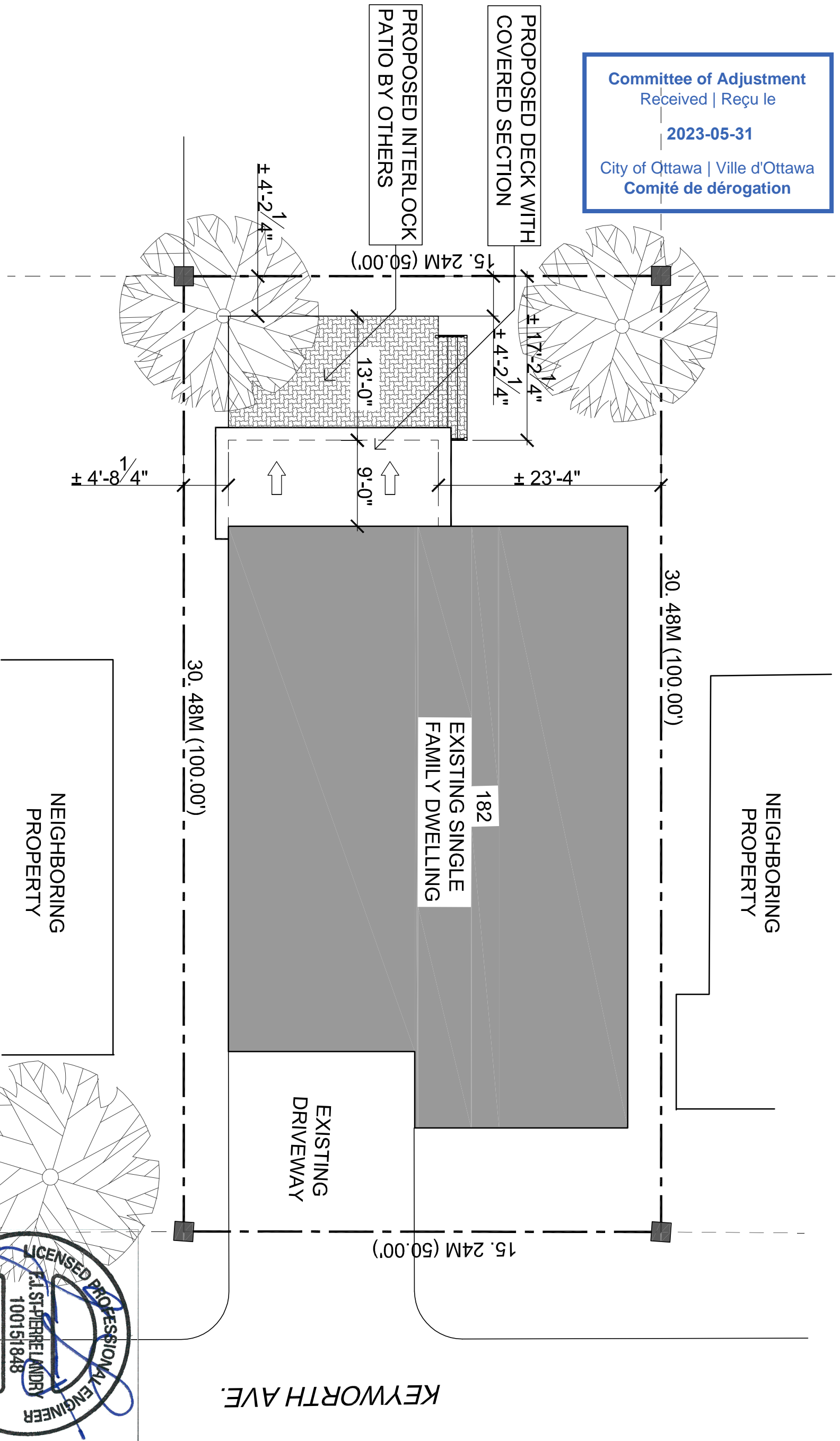


NOTE THIS SITE PLAN IS A REFERENCE PLAN ONLY
SHOWING THE DISTANCE OF THE NEW PROPOSED DECK
IN RELATION WITH THE EXISTING PROPERTY LINES AND
EXISTING HOUSE

Committee of Adjustment
Received | Reçu le
2023-05-31
City of Ottawa | Ville d'Ottawa
Comité de dérogation



1
A1
SCALE: 3/32" = 1'-0"
SITE PLAN (PROPOSED DECK)

GENERAL NOTES
ALL WORK TO BE DONE IN ACCORDANCE
WITH THE LATEST EDITION OF THE ONTARIO
BUILDING CODE AND ALL OTHER
APPLICABLE REGULATION.

LEGENDE / LEGEND

- POTEAU / POST
P1 = 3" Ø TELEPOST
P2 = (6) 2"x6"
P3 = (4) 2"x6"
P4 = (1) 3"x6" POST COVERED ALL AROUND WITH 1"
GENAR PLANKS. POST TO BE ANCHORED TOP AND
BOTTOM WITH THE APPROPRIATE POST CAP AND POST
BASE

INTERVAL/LINTELS

- L1 = (2) 2"x10"
L2 = (2) 2"x10"
L3 = (2) 1.98" LVL 1 3/8" x 9 1/2"
L4 = (2) 1.98" LVL 1 3/8" x 9 1/2"
L5 = (2) 2"x12"

CONSULTANT

NOTES

L'ENTREPRENEUR SERA TENU RESPONSABLE POUR
CONSTRUIRE TOUTES DIMENSIONS ET CONDITIONS DU
SITE AFFECTANT LES TRAVAUX ET SERA ENTIÈREMENT
RESPONSABLE POUR LA PRÉCISION DES DIMENSIONS
ET OBSERVATIONS.
THE CONTRACTOR SHALL BE RESPONSIBLE TO
COVER ALL DIMENSIONS AND SITE CONDITIONS
AFFECTING THE WORK AND SHALL BE FULLY
RESPONSIBLE FOR THE ACCURACY OF THE
MEASUREMENTS AND OBSERVATIONS.

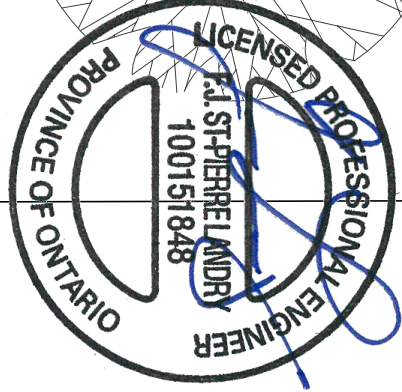
DATE	ISSUED / DESCRIPTION	REV.
22/08/2022	Issued for Bldg. permit/Consultation	02
22/08/2022	Issued for Bldg. permit/Consultation	01

CLIENT
JULIE TAGGART

ETAMPE / STAMP

PROJET / PROJECT
PROPOSED DECK WITH ROOF
COVERED SECTION
182 KEYWORTH AVE.
OTTAWA, ONTARIO
TITRE DU DESSIN / DRAWING TITLE
SITE_PLAN

CHARGÉ DE PROJET /
PROJECT DIRECTOR
TOP GRADE ENTREPRENEUR
NO. PROJET /
PROJECT NUMBER
PROJECT NUMBER
DATE
ÉCHELLE / SCALE
DRAWING NUMBER



2022-09-02

EXISTING HOUSE TO REMAIN

NOTE THAT THE GENERAL CONTRACTOR/OWNER SHALL BE RESPONSIBLE OF ESTABLISHING THE EXACT PLACEMENT OF THE PROPOSED DECK/COVERED ROOF ADDITION ON THE PROPERTY IN RELATION WITH THE EXISTING HOUSE

ROOF SLOPE TO BE ADJUSTED ON SITE TO CLEAR BOTTOM OF EXISTING WINDOW MIN. 4" TO 6" ADJUST ACCORDINGLY

6" PRE-APINTED FASCIA TO MATCH EXISTING (AS PER OWNER)

PROVIDE CONT. ROOF FLASHING AT ROOF/WALL INTERSECTION

VENTED SOFFIT TO MATCH EXISTING

HP1 = POSTTECH HELICAL PILE OR EQUIV. INSTALLED AS PER MANUF. SPECS.
EXACT PILE LOCATION AND HEIGHT OUT OF GROUND TO BE ESTABLISH ON SITE BY THE GENERAL CONTRACTOR IN THE PROPOSED INTERLOCKING PLATFORM ELEVATION.

DECK SURROUND TO BE FINISHED WITH 1"x6" COMPOSITE DECKING BOARDS INSTALL VERTICALLY, UNLESS OTHERWISE NOTED BY OWNER (TYP.)

MIN. FROST COVER UNLESS OTHERWISE SPECIFIED BY MANUF.

NEW PROPOSED DECK AND COVERED DECK AREA REFER TO PLANS

42" HIGH PRE-ENG. GLASS GUARD OR EQUIV. (GUARDS TO BE INSTALLED PER MANUF. SPECS)
REFER TO FOUNDATION PLAN FOR HELICAL PILE LOCATION AND REFER TO MANUF. SHOP DRAWINGS

EXIST'G FIN. GRADE ELV.
EXIST'G FIN. GRADE ELV.

T.O. LOWER INTERLOCKING DECK

T.O. EXIST'G GRD. FLR

T.O. UPPER DECK STRUCT.

LVL BEAM WRAPPED WITH ALUM. FLAT STOCK (TYP.)

6"x6" WRAPPED WITH ALUM. FLAT STOCK (TYP.)

T.O. EXIST'G 2nd FLR.

T.O. EXIST'G PL.

GENERAL NOTES
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LEGENDE / LEGEND
POTEAU / POST
P1 = 3" Ø TELEPOST
P2 = (6) 2"x6"
P3 = (4) 2"x6"
P4 = (1) 3"x6" POST
P5 = (1) 3"x6" POST
GENERAL PLANKS POST TO BE ANCHORED TOP AND BOTTOM WITH THE APPROPRIATE POST CAP AND POST BASE

INTERVAL/LINEELS
L1 = (2) 2"x10"
L2 = (2) 2"x10"
L3 = (2) 1.98" LVL 1 3/4" x 9 1/2"
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NOTES
L'ENTREPRENEUR SERA TENU RESPONSABLE POUR CONFRIMER TOUTES DIMENSIONS ET CONDITIONS DU SITE AFFECTANT LES TRAVAUX ET SERA ENTENDEMENT RESPONSABLE POUR LA PRECISION DES DIMENSIONS ET OBSERVATIONS.
THE CONTRACTOR SHALL BE RESPONSABLE TO CONFIRM ALL DIMENSIONS AND SITE CONDITIONS AFFECTING THE WORK AND SHALL BE FULLY RESPONSIBLE FOR THE ACCURACY OF THE MEASUREMENTS AND OBSERVATIONS.

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22/08/2022	Issued for Bldg. permit/Construction	02
22/08/2022	Issued for Bldg. permit/Construction	01

CLIENT
JULIE TAGGART

ETAMPE / STAMP
PROJET / PROJECT
PROPOSED DECK WITH ROOF COVERED SECTION
182 KEYWORTH AVE.
OTTAWA, ONTARIO
TITRE DU DESSIN / DRAWING TITLE
ELEVATION

CHARGE DE PROJET / PROJECT DIRECTOR
NO. PROJET / PROJECT NUMBER
DATE
ECHELLE / SCALE
AS SHOWN



2022-09-02

1 A2 REAR ELEVATION (PROPOSED DECK/PERGOLA)
SCALE: 3/16" = 1'-0"

GENERAL NOTES
ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE REGULATION.

LEGENDE / LEGEND

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INTERVAL / INTERVALS

- L1 = (2) 2"x10"
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L5 = (2) 2"x12"

CONSULTANT

NOTES

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DATE	DESCRIPTION	REV.
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22/08/2022	Issued for Bldg. permit/Consultation	01

CLIENT

JULIE TAGGART

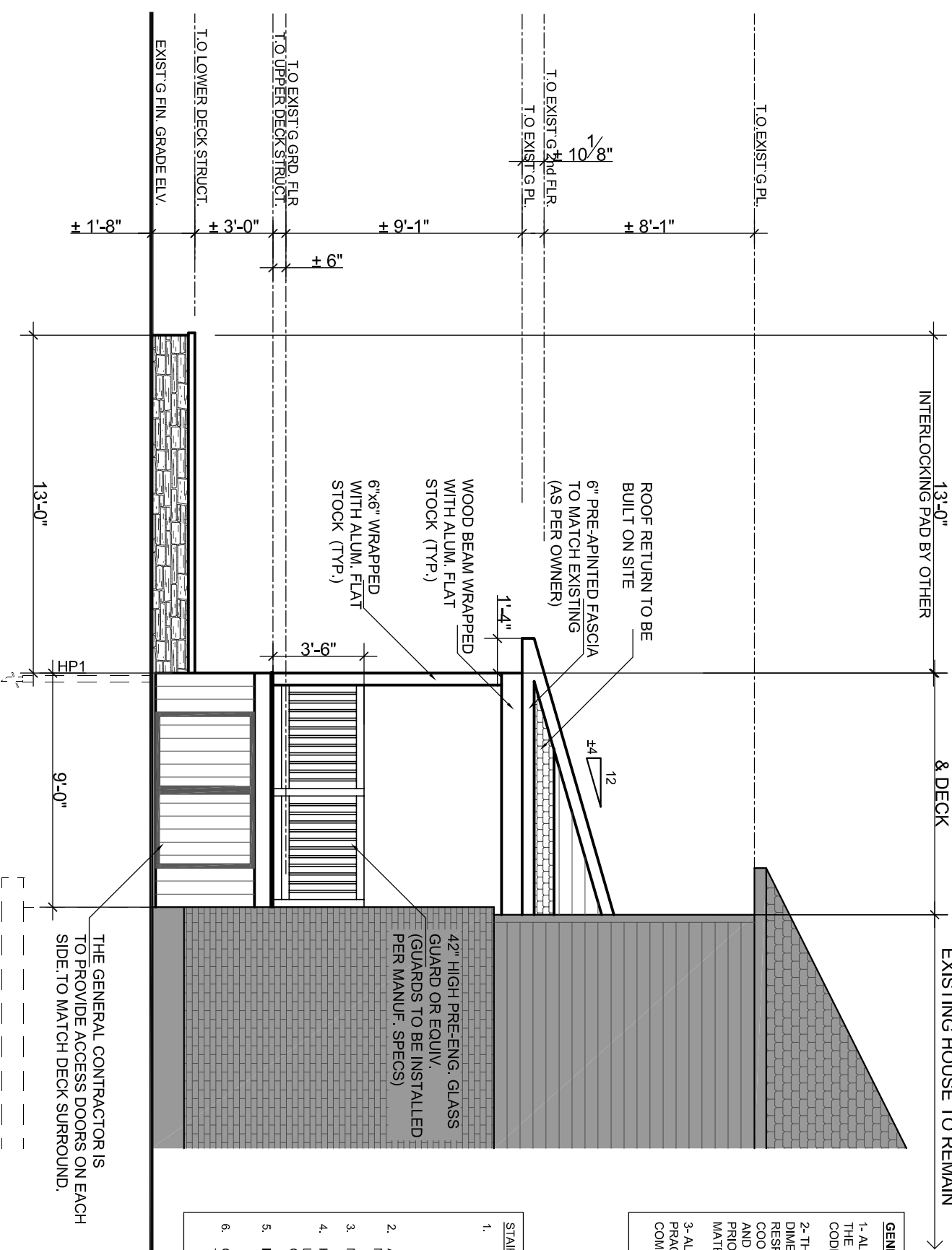
ETAPE / STAMP

PROJET / PROJECT
PROPOSED DECK WITH ROOF COVERED SECTION
182 KEYWORTH AVE.
OTTAWA, ONTARIO
TITRE DU DESSIN / DRAWING TITLE
ELEVATION

CHARGE DE PROJET / PROJECT DIRECTOR
TOM GRADE ENVERSARE
NO. PROJET / PROJECT NUMBER
N/A
DATE
AUGUST 2022
NUMERATION DU DESSIN / DRAWING NUMBER
A3
TEL. QUINQUAÈME
ASHWIN

NEW COVERED ROOF & DECK

EXISTING HOUSE TO REMAIN



GENERAL NOTES:
1- ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE REGULATIONS.
2- THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE & ALSO SHALL BE RESPONSIBLE OF ESTABLISHING THE COORDINATION BETWEEN DIFFERENT DISCIPLINES AND ADVISE THE OWNER OF ANY DISCREPANCY PRIOR TO STARTING ANY WORK OR ORDERING ANY MATERIAL.
3- ALL WORK IS TO RESPECT GOOD BUILDING PRACTICE. USE ONLY EXPERIENCED AND COMPETENT TRADE.

STAIRS AND BALCONIES
1. LIMITS:
MINIMUM RISE: 4 7/8"
MAXIMUM RISE: 7 7/8"
MINIMUM RUN: 8 1/4"
MAXIMUM RUN: 14"
2. ALL INTERIOR (AND GARAGE) STAIRS TO HAVE MINIMUM 1" NOSING DEPTH.
3. MINIMUM HEAD CLEARANCE TO BE 6'-5".
4. HANDRAIL HEIGHT 32" ABOVE STAIR, 36" ABOVE LANDINGS AND DECKS 23" TO 59" ABOVE FINISH GRADE, 42" AT BALCONIES 60" AND HIGHER.
5. INTERIOR STAIRS TO HAVE MINIMUM STAIR WIDTH OF 2'-10".
6. GUARDS ARE REQUIRED FOR PORCHES HIGHER THAN 23 3/4" ABOVE FINISH GRADE.

THE GENERAL CONTRACTOR IS TO PROVIDE ACCESS DOORS ON EACH SIDE TO MATCH DECK SURROUND.

ENTIRE DECK STRUCTURE TO BE BUILT WITH PRESSURE TREATED WOOD AND CAPED WITH COMPOSITE DECKING.
ALL RIM JOIST AND DECKING SHALL BE CAPED WITH COMPOSITE DECKING. ALL COMPOSITE SHALL BE INSTALLED AS PER MANUF. SPECS

1
A3
RIGHT ELEVATION (PROPOSED DECK/PERGOLA)
SCALE: 3/16" = 1'-0"



2022-09-02

GENERAL NOTES
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LEGENDE / LEGEND
 POTEAU / POST

- P1 = 3" Ø TELEPOST
- P2 = (6) 2"x6"
- P3 = (4) 2"x6"
- P4 = (1) 3"x6" POST COVERED ALL AROUND WITH 1" CEDAR PLANKS. POST TO BE ANCHORED TOP AND BOTTOM WITH THE APPROPRIATE POST CAP AND POST BASE

LINTEAU/LINTELS

- L1 = (2) 2"x10"
- L2 = (2) 2"x10"
- L3 = (2) 1.96" LVL 1 3/4" x 9 3/4"
- L4 = (2) 1.96" LVL 1 3/4" x 9 3/4"
- L5 = (2) 2"x12"

CONSULTANT

NOTES

L'ENTREPRENEUR SERA TENU RESPONSABLE POUR CONFRIMER TOUTES DIMENSIONS ET CONDITIONS DU SITE AFFECTANT LES TRAVAUX ET SERA ENTIÈREMENT RESPONSABLE POUR LA PRÉCISION DES DIMENSIONS ET OBSERVATIONS.
 THE CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM ALL DIMENSIONS AND SITE CONDITIONS AFFECTING THE WORK AND SHALL BE FULLY RESPONSIBLE FOR THE ACCURACY OF THE MEASUREMENTS AND OBSERVATIONS.

DATE	DESCRIPTION	REV.
22/08/2022	Issued for Bldg. permit/Construction	02
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CLIENT
JULIE TAGGART

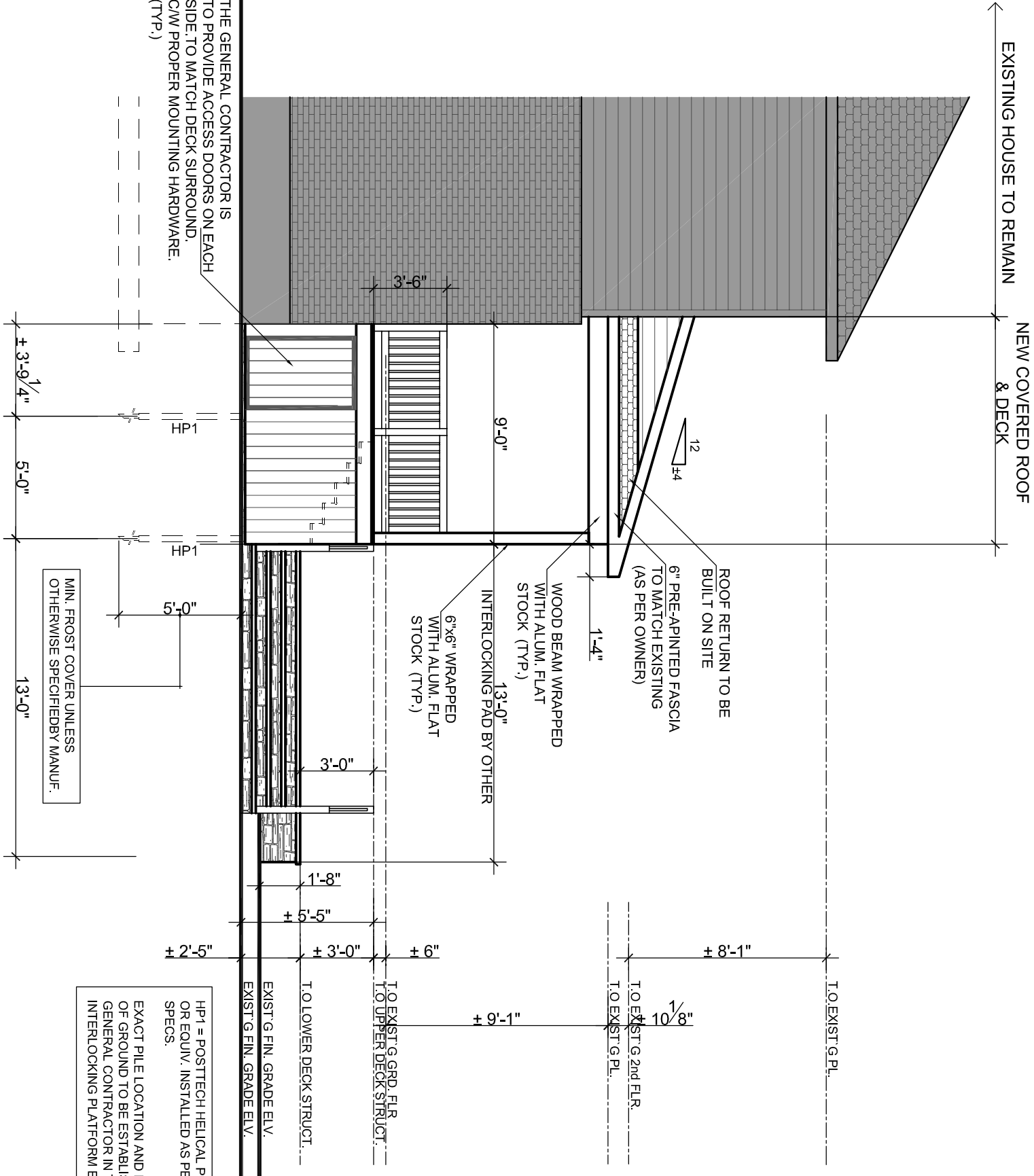
ÉTAPE / STAMP

PROJET / PROJECT
 PROPOSED DECK WITH ROOF COVERED SECTION
 182 KEYWORTH AVE.
 OTTAWA, ONTARIO
TITRE DU DESSIN / DRAWING TITLE
 ELEVATIONS

CHARGÉ DE PROJET / PROJECT DIRECTOR
 NO. PROJET / PROJECT NUMBER
 DATE
ÉCHELLE / SCALE
DRAWING NUMBER
AS SHOWN



2022-09-02



THE GENERAL CONTRACTOR IS TO PROVIDE ACCESS DOORS ON EACH SIDE TO MATCH DECK SURROUND, CW/ PROPER MOUNTING HARDWARE. (TYP.)

MIN. FROST COVER UNLESS OTHERWISE SPECIFIED BY MANUF.

HP1 = POSTTECH HELICAL PILE OR EQUIV. INSTALLED AS PER MANUF. SPECS.
 EXACT PILE LOCATION AND HEIGHT OUT OF GROUND TO BE ESTABLISH ON SITE BY THE GENERAL CONTRACTOR IN THE PROPOSED INTERLOCKING PLATFORM ELEVATION.

1 LEFT ELEVATION (PROPOSED DECK/PERGOLA)

SCALE: 3/16" = 1'-0"

A4

GENERAL NOTES
ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE REGULATION.

LEGEND / LEGEND

POTEAU / POST
P1 = 3" Ø TELEPOST
P2 = (6) 2"x6"
P3 = (4) 2"x6"
P4 = (1) 3"x6" POST COVERED ALL AROUND WITH 1" GENERAL PLANKS. POST TO BE ANCHORED TOP AND BOTTOM WITH THE APPROPRIATE POST CAP AND POST BASE

INTERLU/LINTELS

L1 = (2) 2"x10"
L2 = (2) 2"x10"
L3 = (2) 1.98" LVL 1 3/4" x 9 1/2"
L4 = (2) 1.98" LVL 1 3/4" x 9 1/2"
L5 = (2) 2"x12"

CONSULTANT

NOTES

L'ENTREPRENEUR SERA TENU RESPONSABLE POUR CONFIRMER TOUTES DIMENSIONS ET CONDITIONS DU SITE AFFECTANT LES TRAVAUX ET SERA ENTièrement RESPONSABLE POUR LA PRÉCISION DES DIMENSIONS ET OBSERVATIONS.
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DATE	DESCRIPTION	REV.
22/08/2022	Issued for Bid, permit/Construction	02
22/08/2022	Issued for Construction	01

CLIENT
JULIE TAGGART

ETAMPE / STAMP



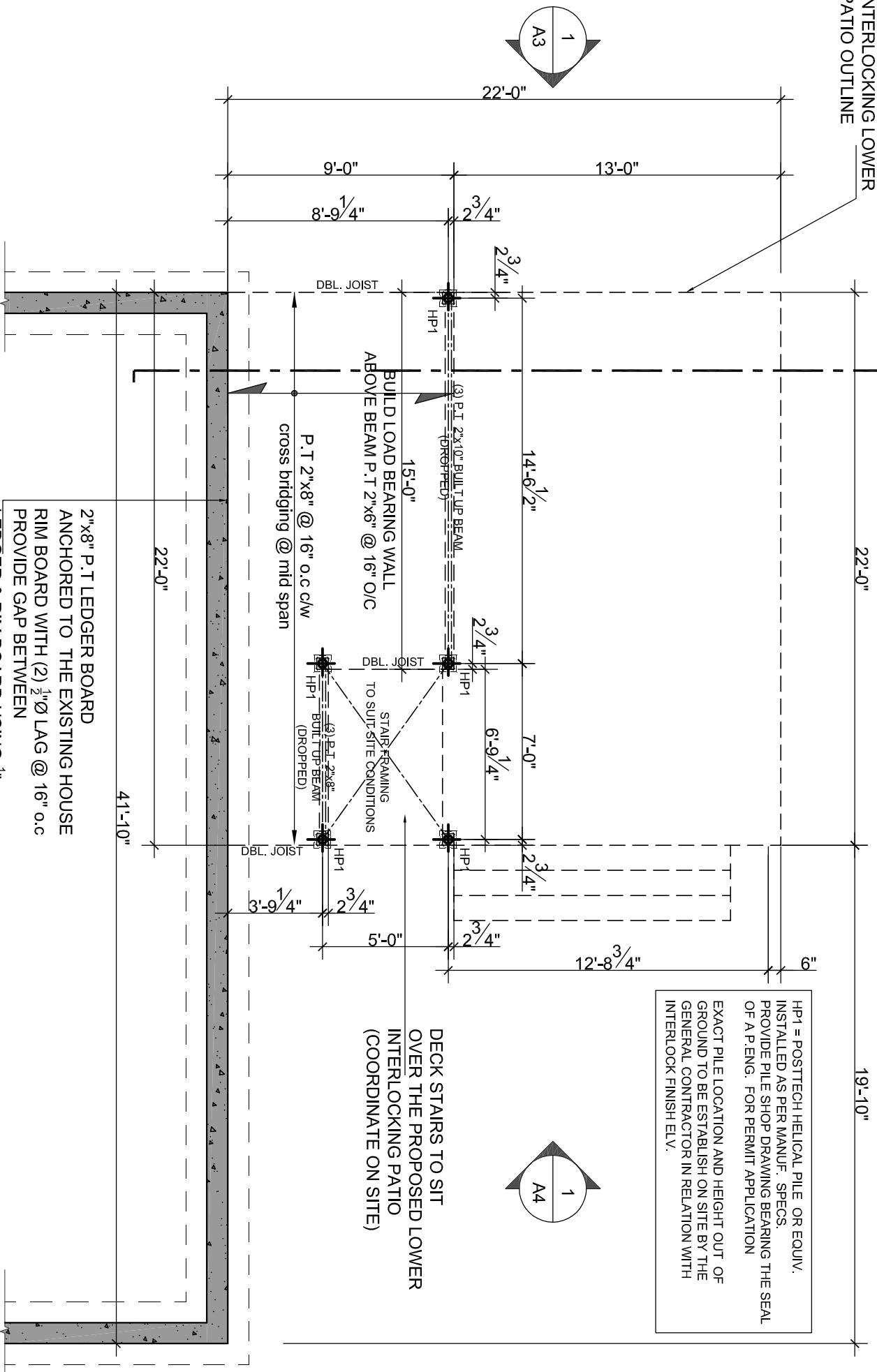
2022-09-02

PROJET / PROJECT
PROPOSED DECK WITH ROOF COVERED SECTION
182 KEYWORTH AVE.
OTTAWA, ONTARIO
TITRE DU DESSIN / DRAWING TITLE
FOUNDATION_PLAN

CHARGÉ DE PROJET / PROJECT DIRECTOR
TOU GRADE ENTREPRISE
NO. PROJET / PROJECT NUMBER
N/A
ÉCHELLE / SCALE
TEL. QUINQUAÈRE
ASHP/WM

DATE
AUGUST 2022
NUMÉROTATION DU DESSIN / DRAWING NUMBER
A5

INTERLOCKING LOWER PATIO OUTLINE



HP1 = POSTTECH HELICAL PILE OR EQUIV. INSTALLED AS PER MANUF. SPECS. PROVIDE PILE SHOP DRAWING BEARING THE SEAL OF A P. ENG. FOR PERMIT APPLICATION
EXACT PILE LOCATION AND HEIGHT OUT OF GROUND TO BE ESTABLISH ON SITE BY THE GENERAL CONTRACTOR IN RELATION WITH INTERLOCK FINISH ELV.

DECK STAIRS TO SIT OVER THE PROPOSED LOWER INTERLOCKING PATIO (COORDINATE ON SITE)

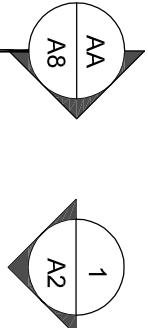
2"x8" P.T LEDGER BOARD ANCHORED TO THE EXISTING HOUSE RIM BOARD WITH (2) 1/2" Ø LAG @ 16" o.c PROVIDE GAP BETWEEN LEDGER & RIM BOARD USING 1/2" SPACERS - A 5/8" Ø GALV. STEEL SLEEVE IS TO BE USED THRU THE BRICK BEFORE INSTALLING THE 1/2" LAG (REFER TO DETAIL) (TYP.)

ENTIRE DECK STRUCTURE TO BE BUILT WITH PRESSURE TREATED WOOD AND CAPPED WITH COMPOSITE DECKING. ALL RIM JOIST AND DECKING SHALL BE COMPOSITE.
ALL COMPOSITE DECKING SHALL BE INSTALLED PER MANUF. SPECS

ALL HELICAL PILES ARE TO BE LOCATION AS SHOWN ON THE FOUNDATION PLAN. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE OF THE EXACT PLACEMENT OF THE HELICAL PILES. PLEASE NOTE THAT THE HELICAL PILE MIN. FROST COVER SHALL BE 5'-0" UNLESS OTHER WISE NOTED BY THE HELICAL PILE MANUF. (THE GENERAL CONTRACTOR IS TO PROVIDE THE HELICAL PILE MANUF. SHOP DRAWINGS BEARING THE SEAL OF A PROFESSIONAL ENGINEER TO THE CITY INSPECTOR.

GENERAL NOTES
ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE REGULATION.

ENTIRE DECK STRUCTURE TO BE BUILT WITH PRESSURE TREATED WOOD AND CAPPED WITH COMPOSITE DECKING. ALL RIM JOIST AND DECKING SHALL BE COMPOSITE.
ALL COMPOSITE DECKING SHALL BE INSTALLED PER MANUF. SPECS



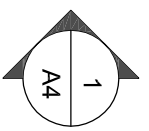
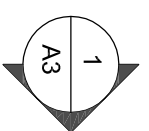
41'-10"

22'-0"

LOWER SUN DECK BUILT OUT OF INTERLOCKING PAVERS ± 27'-10" x ± 10'-4"

INTERLOCKING PLATE FORM BY OTHERS

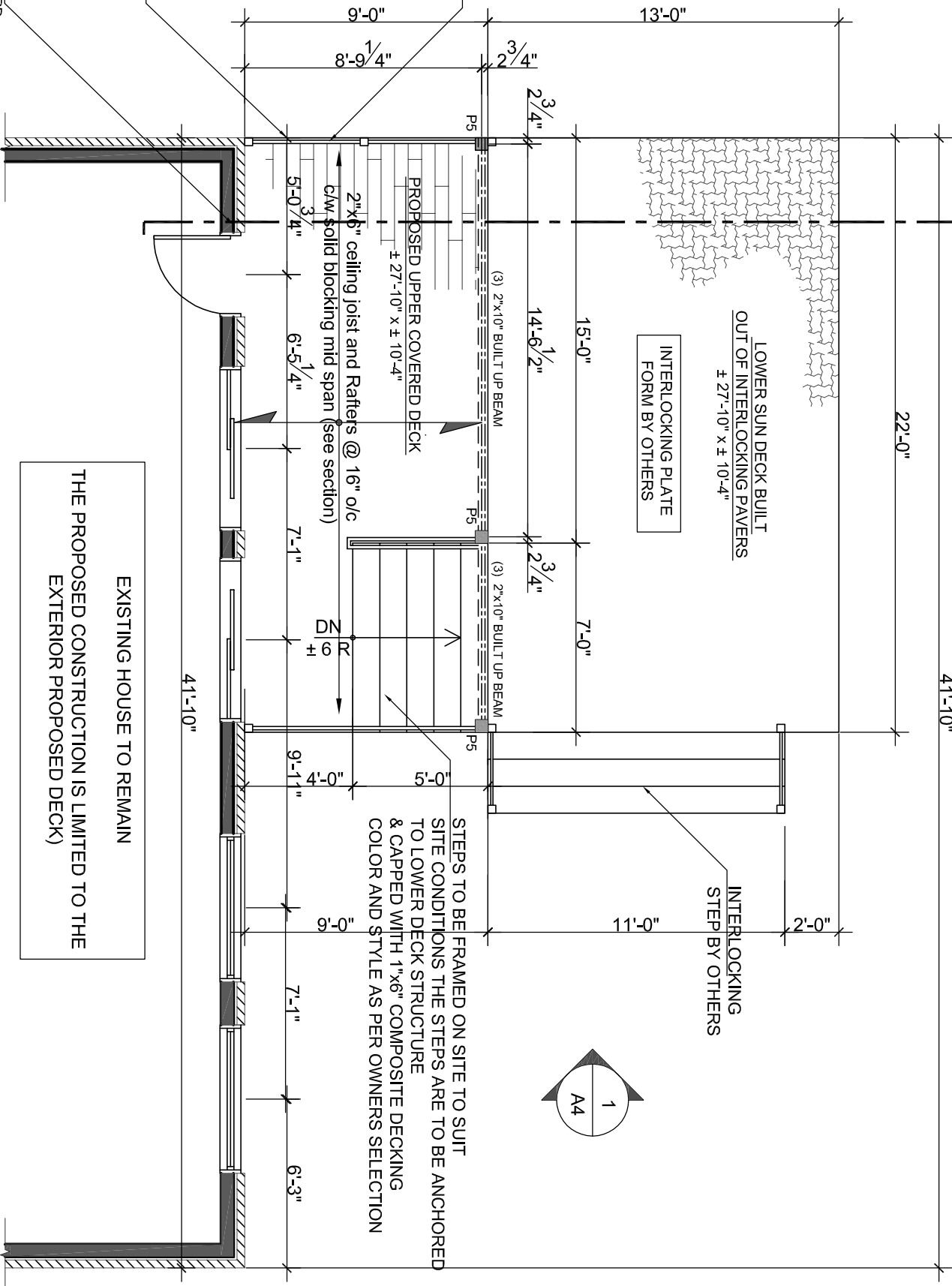
INTERLOCKING STEP BY OTHERS



42" HIGH PRE-ENG. GLASS GUARD OR EQUIV. (GUARDS TO BE INSTALLED PER MANUF. SPECS)

PRE-ENG. GLASS GUARD AS PER OWNER (GUARDS TO BE INSTALLED PER MANUF. SPECS)

2"x6" LEDGER BOARD (CEILING JOIST SUPPORT) ANCHORED TO EXISTING RIM BOARD USING (3) SIMPSON STRONG TIE SDS WOOD SCREW @ 16" O/C ALL CEILING JOIST ARE TO BE CONNECTED TO THE LEDGER BOARD USING THE APPROPRIATE JOIST HANGER



EXISTING HOUSE TO REMAIN
THE PROPOSED CONSTRUCTION IS LIMITED TO THE EXTERIOR PROPOSED DECK

STEPS TO BE FRAMED ON SITE TO SUIT SITE CONDITIONS THE STEPS ARE TO BE ANCHORED TO LOWER DECK STRUCTURE & CAPPED WITH 1"x6" COMPOSITE DECKING COLOR AND STYLE AS PER OWNERS SELECTION

1 GROUND FLOOR PLAN [DECK PLAN]

A6 SCALE: 3/16" = 1'-0"



2022-09-02

LEGENDE / LEGEND

- POTEAU / POST
- P1 = 3" Ø TELEPOST
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- P3 = (4) 2"x6"
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INTERLU/LINTELS

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- L3 = (2) 1.98" LVL 1 3/8" x 9 3/8"
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- L5 = (2) 2"x12"

CONSULTANT

NOTES

L'ENTREPRENEUR SERA TENU RESPONSABLE POUR CONFRIMER TOUTES DIMENSIONS ET CONDITIONS DU SITE AFFECTANT LES TRAVAUX ET SERA ENTENDEMENT RESPONSABLE POUR LA PRECISION DES DIMENSIONS ET OBSERVATIONS.
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DATE	DESCRIPTION	REV.
22/08/2022	Issued for Bid, permit/Construction	02
22/08/2022	Issued for Construction	01

CLIENT
JULIE TAGGART

ETAPE / STAMP

PROJET / PROJECT
PROPOSED DECK WITH ROOF COVERED SECTION
182 KEYWORTH AVE.
OTTAWA, ONTARIO
TITRE DU DESSIN / DRAWING TITLE
DECK_FLOOR_PLAN

CHARGE DE PROJET / PROJECT DIRECTOR	NO. PROJET / PROJECT NUMBER	DATE
TOP GRADE ENTREPRISE	N/A	AUGUST 2022
ÉCHELLE / SCALE	NUMÉROTATION DU DESSIN / DRAWING NUMBER	
AS SHOWN	A6	

GENERAL NOTES
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CONSULTANT

NOTES

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CLIENT

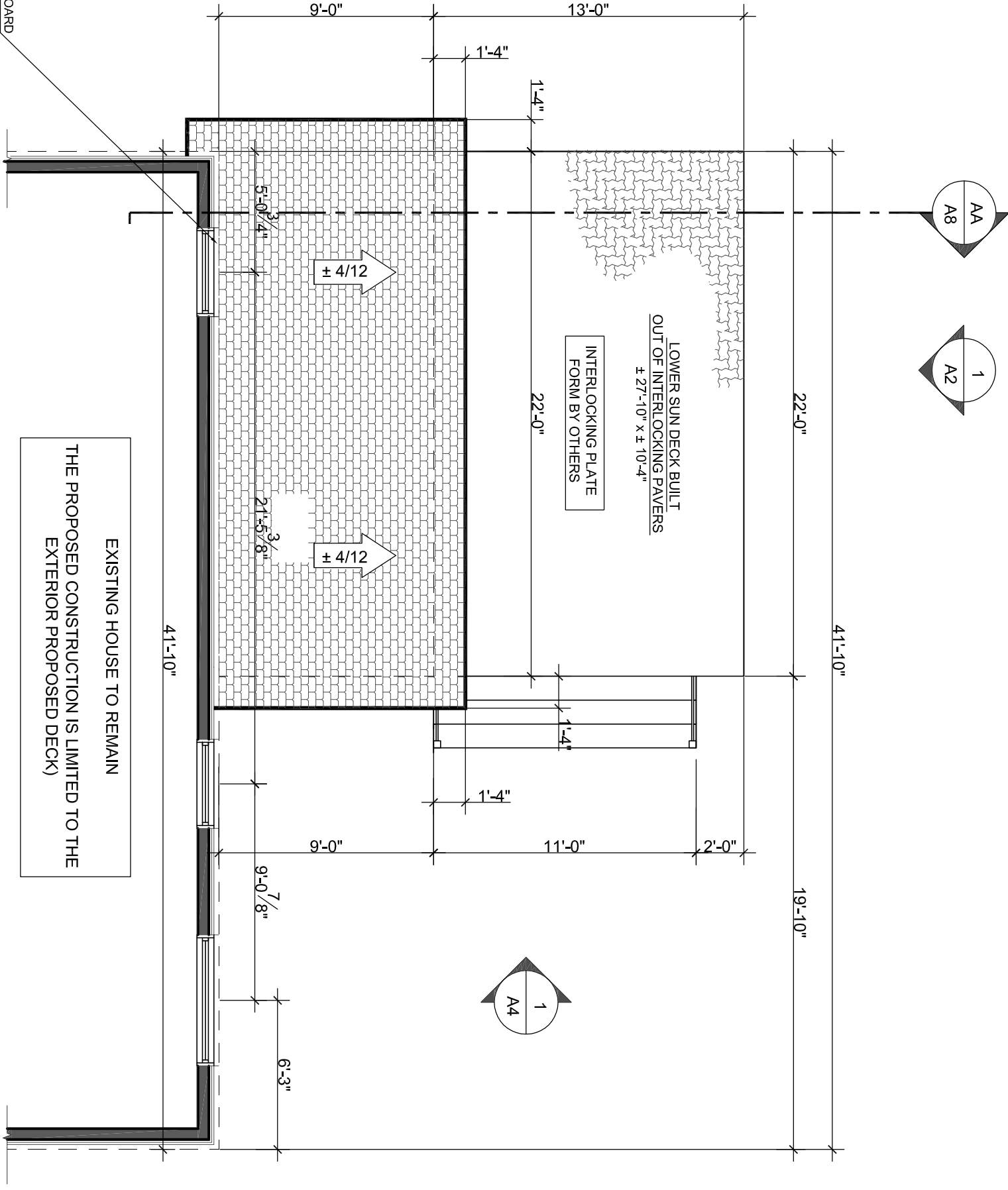
JULIE TAGGART
 ETAPE / STAMP

PROJET / PROJECT
 PROPOSED DECK WITH ROOF COVERED SECTION
 182 KEYWORTH AVE.
 OTTAWA, ONTARIO
 TITRE DU DESSIN / DRAWING TITLE
 PERGOLA_ROOF_PLAN

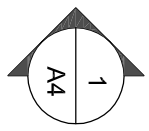
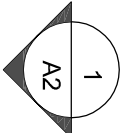
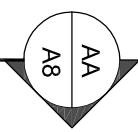
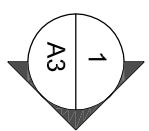
CHARGÉ DE PROJET / PROJECT DIRECTOR
 NO. PROJET / PROJECT NUMBER
 DATE
 ÉCHELLE / SCALE
 TEL. QUINQUAÈME / ASHOWN



2022-09-02



1 COVERED DECK ROOF PLAN
 SCALE: 3/16" = 1'-0"



GENERAL NOTES
ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE REGULATION.

LEGENDE / LEGEND
POTEAU / POST

- P1 = 3" Ø TELEPOST
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- P4 = (1) 3"x6" POST COVERED ALL AROUND WITH 1" GENERAL PLANKS. POST TO BE ANCHORED TOP AND BOTTOM WITH THE APPROPRIATE POST CAP AND POST BASE

INTERVAL/LINEELS

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CONSULTANT

NOTES

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2022-09-02

DATE	DESCRIPTION	REV.
22/09/2022	Issued for Bid, permit/Construction	02
22/09/2022	Issued for Construction	01

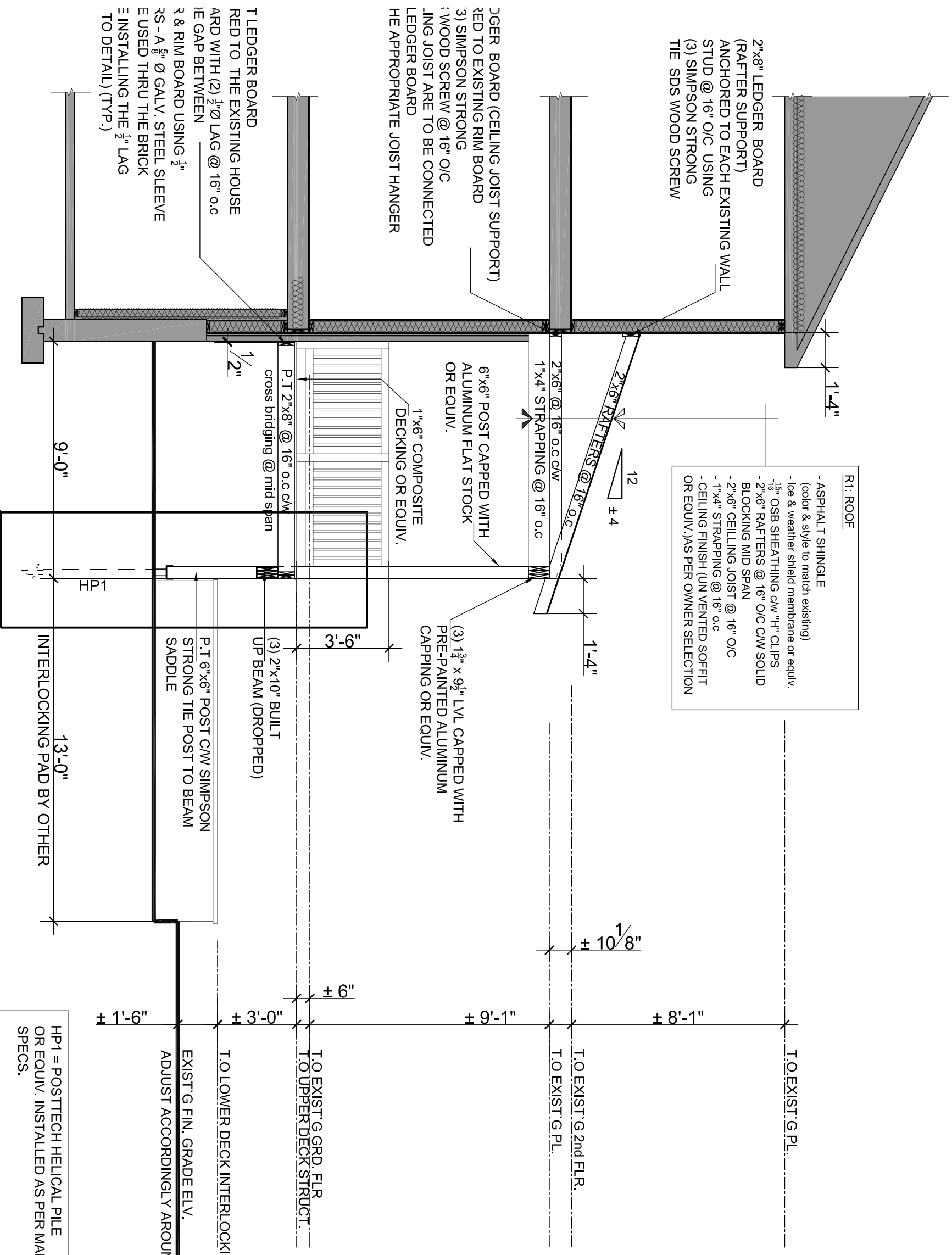
CLIENT
JULIE TAGGART

ETAPE / STAMP

PROJET / PROJECT
PROPOSED DECK WITH ROOF COVERED SECTION
182 KEYWORTH AVE.
OTTAWA, ONTARIO
TITRE DU DESSIN / DRAWING TITLE
DECK_SECTION

CHANGÉ DE PROJET / NO. PROJET / PROJECT NUMBER
NO. PROJET / PROJECT NUMBER
DATE
AUGUST 2022
ÉCHELLE / SCALE
DRAWING NUMBER
A8

- R1: ROOF
- ASPHALT SHINGLE (color & style to match existing)
 - Ice & weather shield membrane or equiv.
 - 15# OSB SHEATHING c/w "H" CLIPS
 - 2"x6" RAFTERS @ 16" O/C C/W SOLID BLOCKING MID SPAN
 - 2"x6" CEILING JOIST @ 16" O/C
 - 1"x4" STRAPPING @ 16" O/C
 - CEILING FINISH (UN VENTED SOFFIT OR EQUIV.) AS PER OWNER SELECTION



AA DECK CROSS SECTION
A8 SCALE: 1/4" = 1'-0"

2
A9

HP1 = POSTTECH HELICAL PILE OR EQUIV. INSTALLED AS PER MANUF. SPECS.
EXACT PILE LOCATION AND HEIGHT OUT OF GROUND TO BE ESTABLISH ON SITE BY THE GENERAL CONTRACTOR IN THE PROPOSED INTERLOCKING PLATFORM ELEVATION.

GENERAL NOTES
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LEGENDE / LEGEND

POTEAU / POST
 P1 = 3" Ø TELEPOST
 P2 = (6) 2"x6"
 P3 = (4) 2"x6"
 P4 = (1) 2"x6" POST COVERED ALL AROUND WITH 1" CEDAR PLANKS. POST TO BE ANCHORED TOP AND BOTTOM WITH THE APPROPRIATE POST CAP AND POST BASE

LINTEAU / LINTELS

L1 = (2) 2"x10"
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 L3 = (2) 1.98" LVL 1 3/4" x 9 1/2"
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CONSULTANT

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DATE	DESCRIPTION	REV.
22/08/2022	Issued for Bid, permit/Construction	02
22/08/2022	Issued for Construction	01

CLIENT
JULIE TAGGART

ETAPE / STAMP

PROJET / PROJECT
 PROPOSED DECK WITH ROOF COVERED SECTION
 182 KEYWORTH AVE.
 OTTAWA, ONTARIO
TITRE DU DESSIN / DRAWING TITLE
 DETAILS

CHARGE DE PROJET / PROJECT DIRECTOR
 TOU GRADE ENTREPRISE
NO. PROJET / PROJECT NUMBER
 N/A
ÉCHELLE / SCALE
 AS SHOWN
NUMÉROTATION DU DESSIN / DRAWING NUMBER
 A9



2022-09-02

ROOF SUPPORTING 6"x6" POST BEYOND (REFER TO PLAN FOR LOCATION) POST TO EXTEND DOWN TO TOP OF BEAM (TYP.) POST TO BE CONNECTED TO BEAM USING A SIMPSON STRONG TIE POST TO BEAM SADDLE

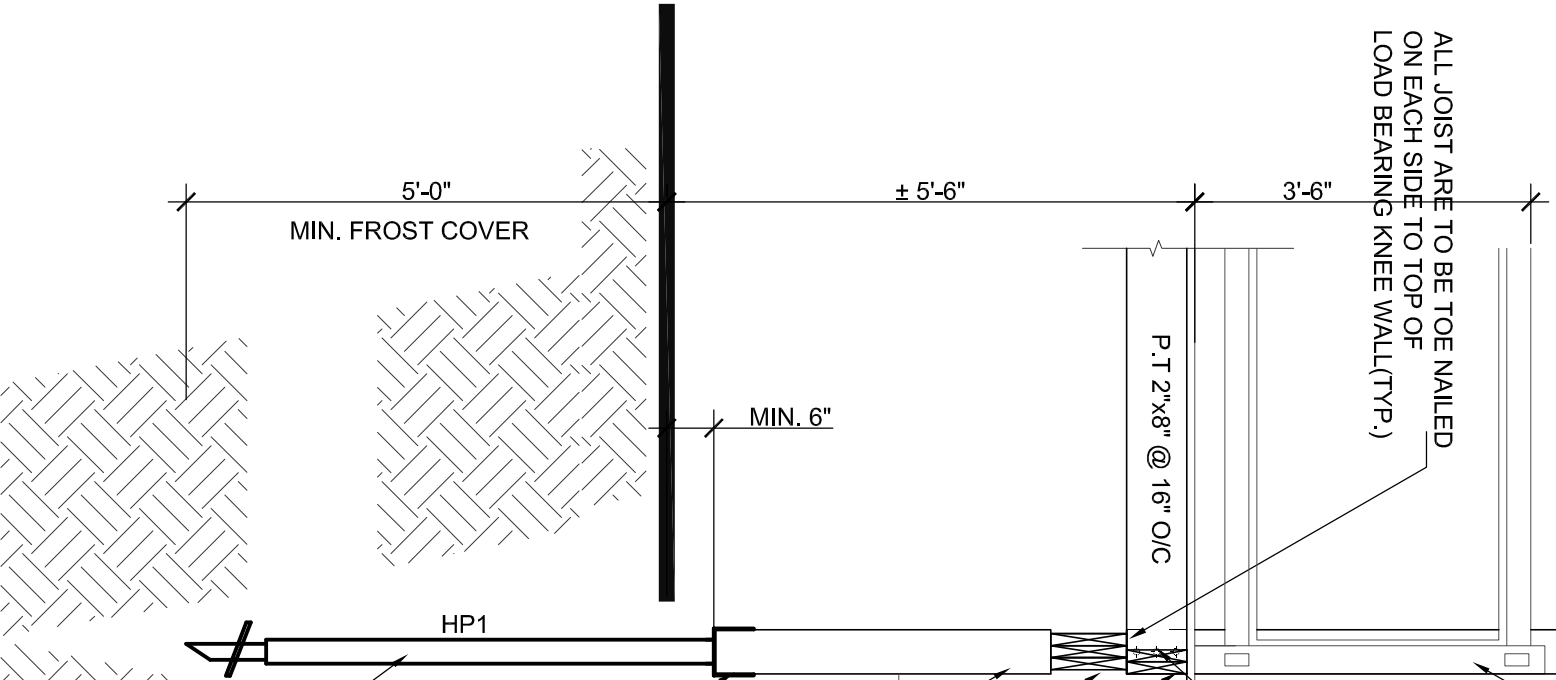
INSTALL (1) CONT. 2"x8" P.T. JST. ON EACH SIDE OF P5 POST AND NAIL TO POST (TYP.)

DBL. RIM BOARD CAPPED WITH COMPOSITE DECKING OR EQUIV. (TYP.) ALL AROUND
 (3) 2"x10" P.T. DROPPED BEAM

P.T. 6"x6" C/W SIMPSON STRONG TIE POST TO BEAM SADDLE PROPERLY INSTALLED AS PER MANUF. SPECS

HELICAL PILE POST SADDLE TO BEAM TO BE SUPPLIED BY HELICAL PILE SUPPLIER

HP1 = HELICAL PILE (DESIGN AND INSTALLATION PER MANUF. SPECS AND SHOP DRAWINGS)



1
 A9 SCALE: 1/2" = 1'-0"
TYP. HELICAL PILE TO END BEAM c/w LBW DETAIL

GENERAL NOTES:

- 1-DO NOT SCALE THIS PLAN
- 2- ALL WORKMANSHIP IS TO BE OF A STANDARD OR EQUAL IN ALL RESPECT GOOD BUILDING PRACTICE.
- 3- PRIOR TO THE START OF CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND WRITTEN SPECIFICATIONS. DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
- 4- ANY VARIANCES FROM THE DRAWINGS AND SPECIFICATION OR FROM CONDITIONS ENCOUNTERED ON THE JOB SITE, SHALL BE RESOLVED BY THE OWNER/BUILDER AND SUCH SOLUTION SHALL BE THEIR SOLE RESPONSIBILITY.
- 5- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED INTERIM STORAGE OF MATERIAL SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOADING.
- 6- THE BUILDER IS TO PROVIDE ALL NECESSARY TEMPORARY SUPPORT FOR WALLS AND FLOORS PRIOR TO THE COMPLETION OF VERTICAL AND LATERAL LOAD SYSTEM.
- 7- THE OWNER/BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITTING OF THE HOUSE ON THE PROPERTY.
- 8- THE OWNER/BUILDER SHALL BE RESPONSIBLE FOR CONDITIONS SUCH AS THE SOIL BEARING CAPACITY, THE DEPTH OF FROST PENETRATION, WATER TABLE OR BURIED STRUCTURES, ETC.
- 9- FOUNDATION WALLS SHOULD NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS CURING STRENGTH AND STRUCTURAL FLOOR FRAMING INCLUDING PLYWOOD SUB FLOOR IS REQUIRED TO STABILIZE THE WALLS PRIOR TO BACKFILL.
- 10- FOOTINGS SIZE ARE BASED ON A ASSUMED SOIL BEARING CAPACITY OF 75kpa (1500 P.S.F.) TO BE CONFIRMED BY A GEOTECHNICAL ENGINEER.
- 11. ALL CLOSET C/W MIN. (1) SHELVES & (1) CLOSET ROD & ALL PANTRY C/W MIN. 5 SHELVES EQUALLY SPACE UNLESS OTHERWISE SPECIFIED BY OWNER/BUILDER.

CONCRETE NOTES:

- 1- ALL CONCRETE FOUNDATION WALLS & FOOTINGS TO BE 20MPA WITH 6% AIR ENTRAINED;
- 2- ALL CONCRETE SLABS TO BE 4650 psi (32MPa) c/w 5% TO 8% AIR ENTRAINED
- 3- CONCRETE TO HAVE A MAXIMUM SLUMP OF 3" (75MM).
- 3- ALL CONCRETE WORK TO RESPECT REQUIREMENTS OF CSA A 23.1, A 23.2 & 23.3-04.

RE-BAR NOTES:

- 1- All rebars to be 60 KSI, (400 MPa) clean of any dirt, spaced as shown on drawings. All rebars to meet CSA G30.18- M92
- 2- Cover for concrete construction. The minimum clear cover for reinforcement in concrete shall be:
 - A- Cast against and permanently exposed to earth 3" (75mm)
 - B- Exposed to earth or weather. 20M or bigger = 2" (50mm) 15M or smaller = 1-1/2" (40mm)
- 3- Overlapping for rebars shall be: 15M and smaller = 18" (500mm) 20M and bigger = 24" (600mm)
- 4- Provide corner rebars of 24" x 24" spaced the same as wall reinforcement.

WOOD NOTES:

- 1- ALL WOOD TO BE , SPRUCE-PINE-FIR CATEGORY, #2 AND BETTER UNLESS OTHERWISE SPECIFIED ON PLANS.
- 2- ALL WOOD WORK SHALL CONFORM TO CSA CAN 086.
- 3- ALL PLYWOOD TO BE EXTERIOR GRADE WATERPROOF MEETING THE REQUIREMENTS OF CSA0121 & CSA 0151 AND MUST BE STAMP COFI EXTERIOR.
- 4- ALL TRUSS TO PRE-FABRICATED, PRE-ENGINEERING TYPE TO CARRY LOAD AS SPECIFIED IN THE ONTARIO BUILDING CODE. PROVIDE WIND BRACING AS REQUIRED BY THE ONTARIO BUILDING CODE.
- 5- ALL ASPENITE SHALL BE USED AS DIAPHRAGM AND SHALL BE NAILED WITH 2 1/2" NAILS. NAILING TO BE @ 4" c/c ON EDGES; 6" c/c FOR THE REST. EDGES NAILED ON TOP PLATES SHALL BE NAILED ON EACH PLATE AT 4" c/c STAGGERED.
- 6- PLATES ARE TO BE ANCHORED TO CONCRETE WITH 1/2"Ø ANCHOR BOLTS @ MAX. 6'-0" c/c
- 7- ALL FLUSH MOUNT WOOD MEMBERS SHALL BE ANCHORED WITH JOIST HANGERS UNLESS OTHERWISE SPECIFIED ON PLANS.
- 8- ALL L.V.L.'S TO BE 2.0E - 3100lb OR BETTER

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- INTERVAL/LINTELS
- L1 = (2) 2"x10"
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CONSULTANT

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22/09/2022	Issued for permit/Construction	01

CLIENT

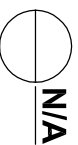
JULIE TAGGART

ETAMPE / STAMP

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 PROPOSED DECK WITH ROOF COVERED SECTION
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 OTTAWA, ONTARIO
TITRE DU DESSIN / DRAWING TITLE
 GENERAL NOTES

CHARGÉ DE PROJET / PROJECT DIRECTOR
 NO. PROJET / PROJECT NUMBER
 DATE
 ÉCHELLE / SCALE
 TEL. QUINQUAÈME
 ASHWIN

NOM DE ROBIER / FILE NAME
 N/A
 DATE
 NUMÉROTATION DU DESSIN / DRAWING NUMBER
 A10

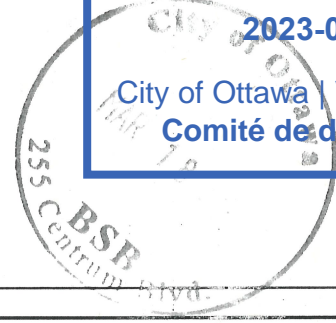


2022-09-02

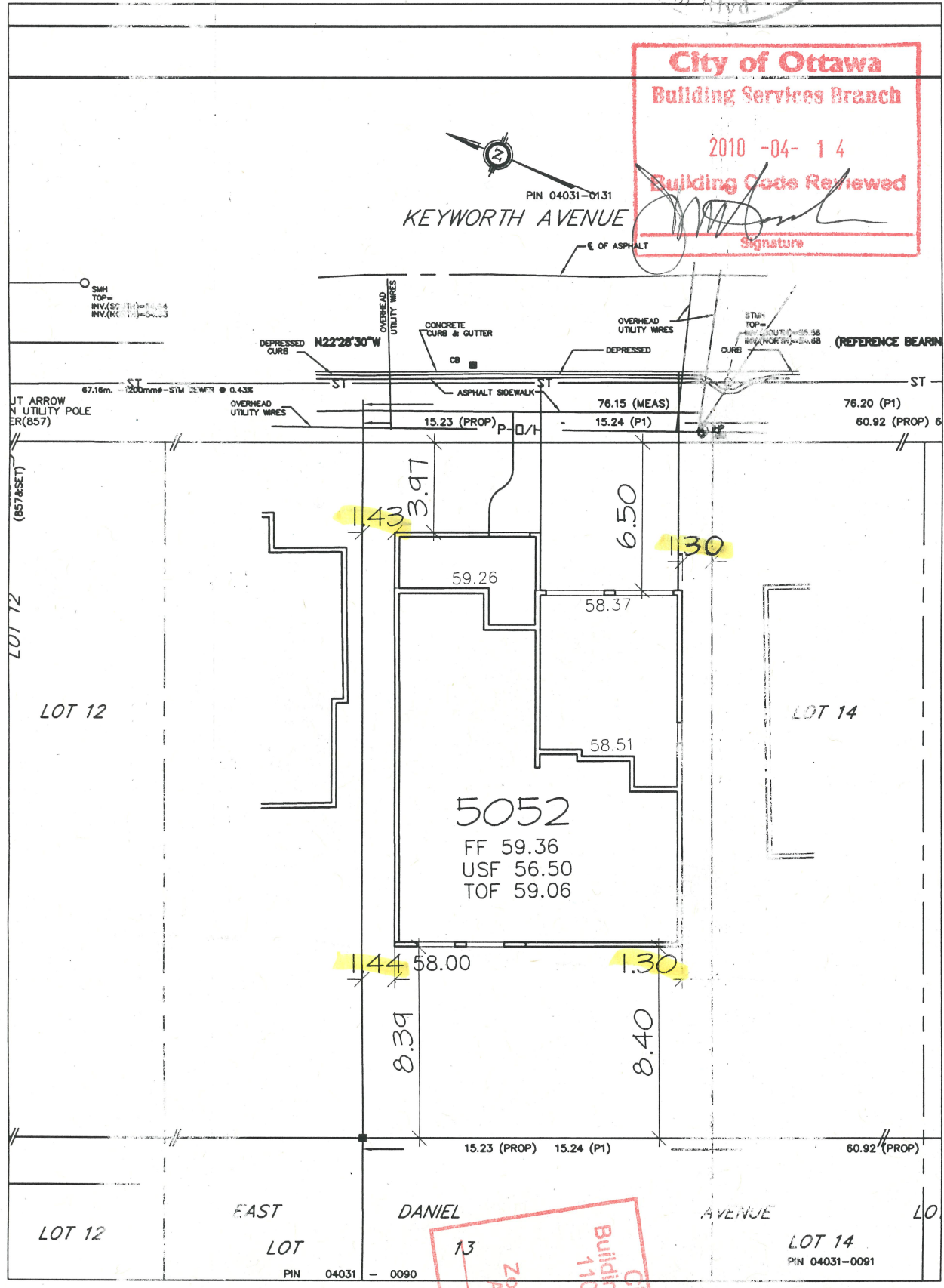
2023-05-19

City of Ottawa | Ville d'Ottawa
Comité de dérogation

A10-001500



City of Ottawa
Building Services Branch
2010-04-14
Building Code Reviewed
[Signature]
Signature



City of Ottawa
Building Services Branch
110 Laurier Avenue
Zoning Reviewed by
Aileen Norment
MAR 26 2010
[Signature]
Signature

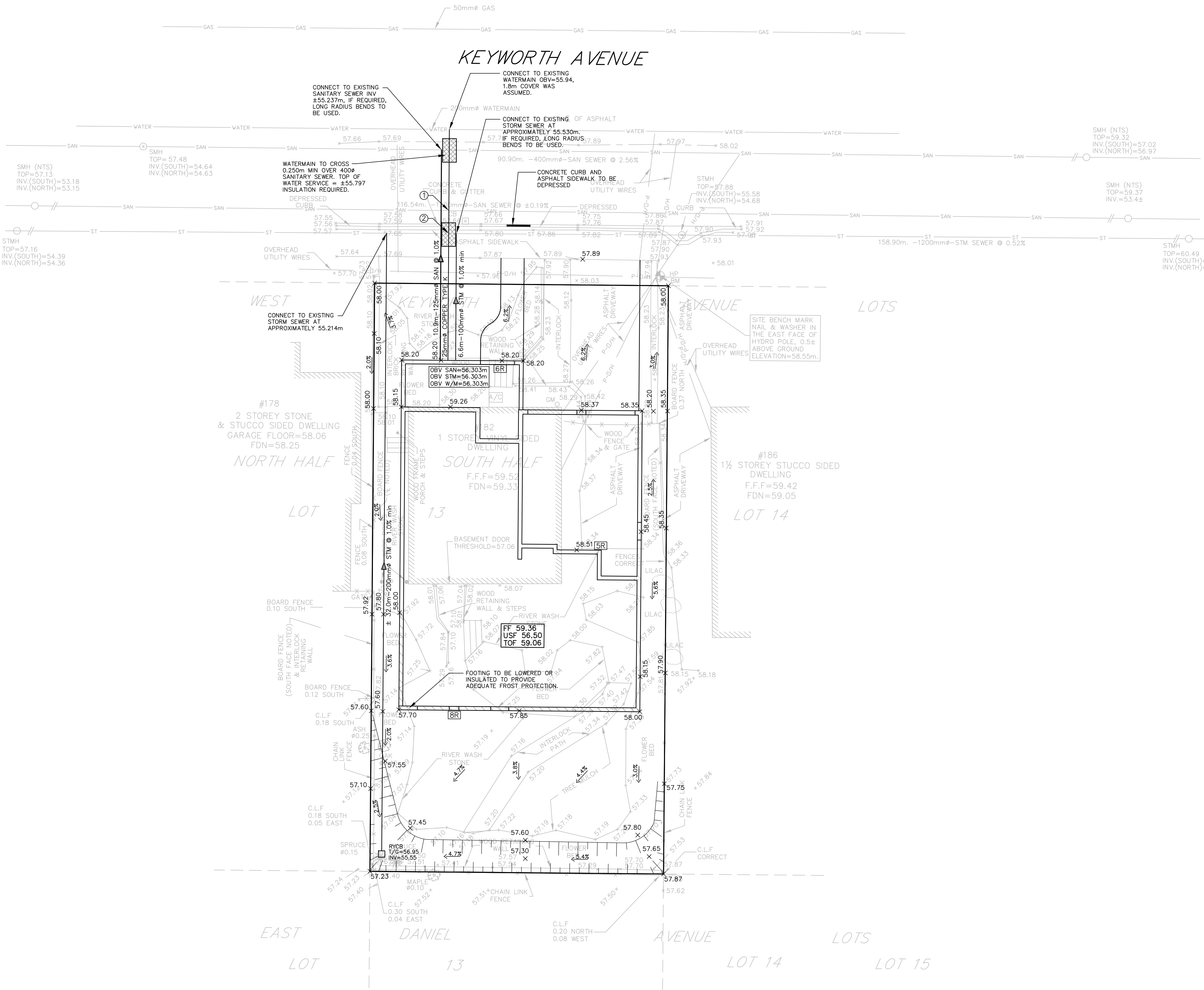


TAMARACK
DEVELOPMENTS CORPORATION
3187 ALBION RD. SOUTH Ottawa, Ontario, K1V 8B1
Tel: (613) 733-2919 Fax: (613) 733-7334

PROJECT:
182 KEYWORTH AVENUE
DWG. TITLE:
PRELIMINARY SITE PLAN

model: 5052 Rev
DRAWN: [blank]
DATE: [blank]
DATE: 03/10

LOT NO.
182
SK.NO.
1



- LEGEND:**
- FF DENOTES FINISHED FLOOR
 - USF DENOTES UNDERSIDE OF FOOTING
 - TOS DENOTES TOP OF SLAB
 - 4.0% DENOTES DIRECTION OF DRAINAGE
 - RYCB DENOTES PROPOSED READ YARD CATCH BASIN
 - +98.16 DENOTES EXISTING ELEVATION
 - +98.16 DENOTES PROPOSED ELEVATION
 - BM DENOTES EXISTING BENCHMARK
 - CB DENOTES EXISTING CATCH BASIN
 - STMH DENOTES EXISTING STORM MANHOLE
 - SMH DENOTES EXISTING SANITARY MANHOLE
 - HYD DENOTES EXISTING FIRE HYDRANT
 - HGUJ DENOTES EXISTING HYDRO GUY WIRE
 - ULP DENOTES EXISTING UTILITY POLE
 - OLS DENOTES EXISTING LIGHT STANDARD
 - TS DENOTES EXISTING SIGN
 - TS DENOTES EXISTING DECIDUOUS TREE
 - TS DENOTES EXISTING CONIFEROUS TREE
 - WV DENOTES EXISTING WATER VALVE
 - GM DENOTES EXISTING GAS METER
 - U/G DENOTES EXISTING UNDERGROUND
 - C.L.F. DENOTES EXISTING CHAIN LINK FENCE
 - HP DENOTES EXISTING HYDRO POLE
 - A/C DENOTES EXISTING AIR CONDITIONER
 - AS PER CITY STANDARDS DENOTES REQUIRED INSULATION AS PER CITY STANDARDS
 - 3:1 DENOTES TERRACING MAX. 3:1 SLOPE
 - 5R DENOTES NUMBER OF RISERS

- CROSSINGS**
- 1 SANITARY SERVICE CROSSING ±1.42m OVER EXISTING 1200mm^Ø SANITARY TRUNK SEWER.
 - 2 SANITARY SERVICE CROSSING 0.100m OVER EXISTING 1200mm^Ø STORM TRUNK SEWER, CONCRETE CRADLE TO BE CONSTRUCTED.

Committee of Adjustment
 Received | Reçu le
 2023-05-19
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

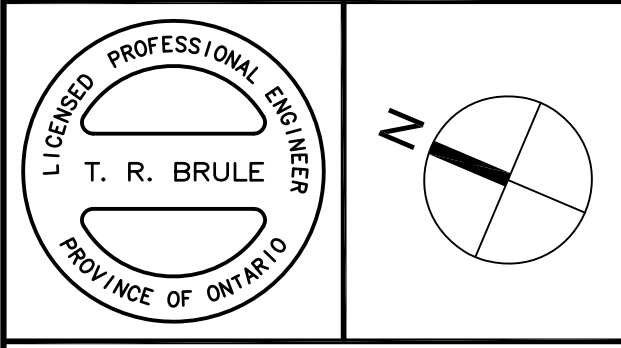
- NOTES:**
1. CONTRACTOR TO CONFIRM EXISTING WATERMAIN DEPTH PRIOR TO COMMENCING.
 2. THE LOCATION OF EXISTING UTILITIES AND EXISTING SERVICES IS APPROXIMATE ONLY, AND THE EXACT LOCATION SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION DURING CONSTRUCTION.
 3. ALL SEWERS AND WATERMAIN TO BE AS PER CURRENT CITY OF OTTAWA STANDARDS AND SPECIFICATIONS. FOR ALL SEWERS TYPE "B" BEDDING TO BE PROVIDED.
 4. PIPE MATERIALS :
 WATERMANS : 25mm^Ø COPPER (TYPE K)
 SEWER SERVICE LATERALS : PVC DR28
 5. INSULATION IS REQUIRED AS PER CITY OF OTTAWA STANDARDS AND SPECIFICATIONS, WHEN WATERMAIN < 2.4m
 SEWER < 2.0m
 BELOW FINISHED GRADE.
 6. FULL PORT BACK WATER VALVES TO BE INSTALLED ON SANITARY SERVICES LATERAL.
 7. EXISTING TOPOGRAPHIC INFORMATION BY STANTEC GEOMATICS FILE 161612056-111.

14			
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6			
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1	ISSUED TO CLIENT FOR REVIEW	10:03:10	
No.	REVISIONS	By	Date



IBI GROUP
 333 Preston Street
 Tower 1, Suite 400
 Ottawa, Ontario
 Canada K1S 5N4
 Tel (613)225-1311
 FAX (613)225-9868

Project Title
**182 KEYWORTH AVENUE
 LOT 13 SOUTH HALF**



Drawing Title
**SITE SERVICING AND
 GRADING PLAN**

Scale
 1:100

Design	R.M.	Date	MARCH 2010
Drawn	E.H.	Checked	T.R.B.
Project No.	27699	Drawing No.	100

A:\27699-182Keyworth\1.5.0 Drawings\182Keyworth\182Keyworth\182Keyworth.dwg Layout: none: 100 Plot Style: AIA Standard.ctb Plot Date: 1/24/2010 11:41 AM User: tbrule By: ehwang Last Saved At: Mar 10, 10

NOTE THIS SITE PLAN IS A REFERENCE PLAN ONLY SHOWING THE DISTANCE OF THE NEW PROPOSED DECK IN RELATION WITH THE EXISTING PROPERTY LINES AND EXISTING HOUSE

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2023-05-19
City of Ottawa | Ville d'Ottawa
Comité de dérogation

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DATE	DESCRIPTION	REV.
18/05/2023	Revised for minor variance	04
13/09/2022	Revised per zoning comments	03
22/08/2022	Issued for S.K.G. permit/Construction	02
22/08/2022	Issued for P.Eng. Review	01

CLIENT
JULIE TAGGART
ÉTAMPE / STAMP

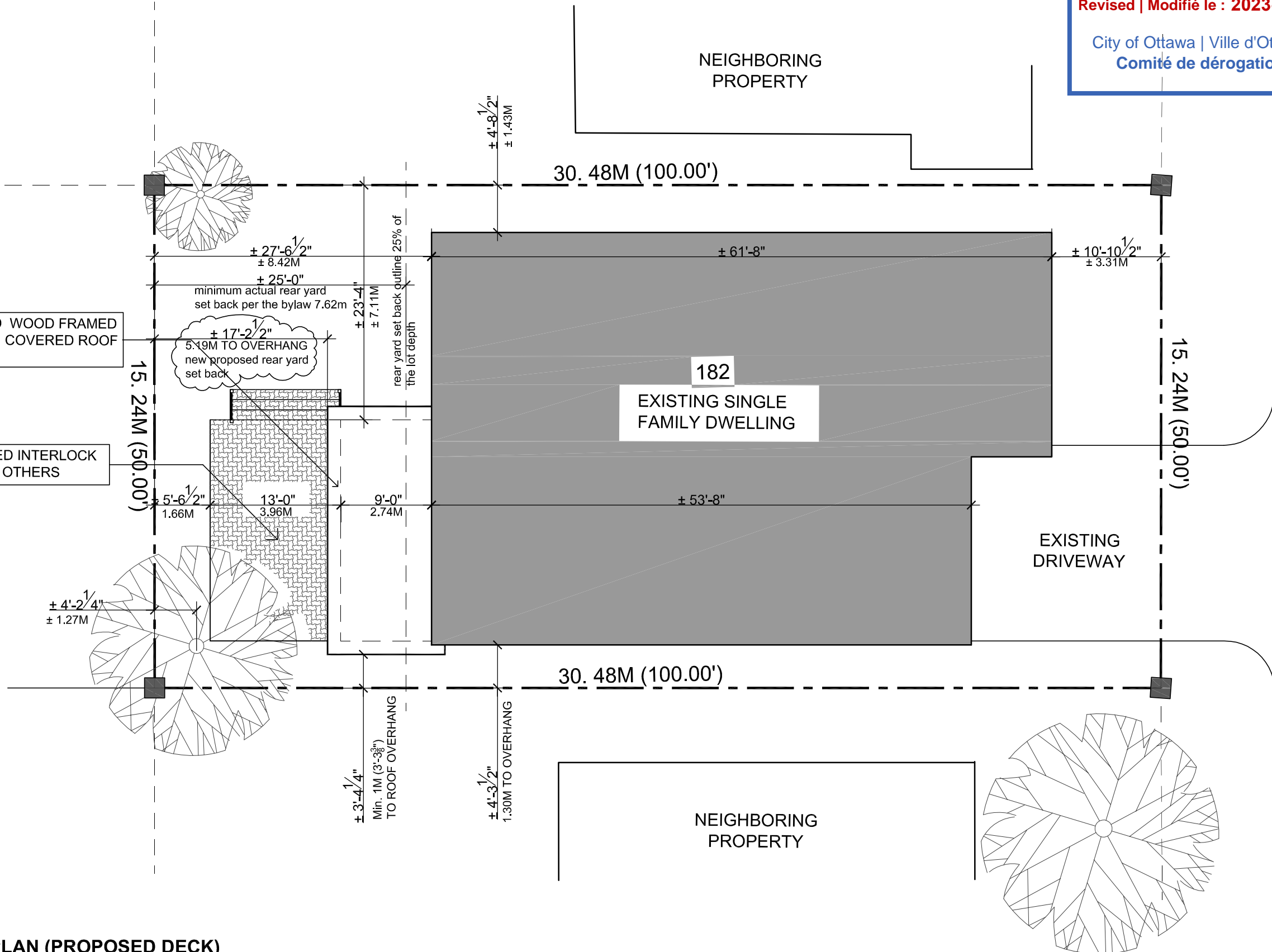
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CHARGÉ DE PROJET / PROJECT DIRECTOR
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NOM DE FICHIER / FILE NAME
N/A
NO. PROJET / PROJECT NUMBER
N/A
DATE
AUGUST 2022
ÉCHELLE / SCALE
TEL QU'INDIQUÉE AS SHOWN
NUMÉROTATION DU DESSIN / DRAWING NUMBER
A1

PROPOSED WOOD FRAMED DECK WITH COVERED ROOF SECTION

PROPOSED INTERLOCK PATIO BY OTHERS

1 SITE PLAN (PROPOSED DECK)
A1 SCALE: 3/32" = 1'-0"



KEYWORTH AVE.