

GENERAL NOTES:

1. COORDINATE AND SCHEDULE ALL WORK WITH OTHER TRADES AND CONTRACTORS.
2. THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT RAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION, SIZE, MATERIAL AND ELEVATION OF ALL EXISTING UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
3. ALL WORKS SHALL BE COMPLETED IN ACCORDANCE WITH THE CURRENT OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. THE GENERAL CONTRACTOR SHALL BE DEEMED TO BE THE CONSTRUCTOR AS DEFINED IN THE ACT.
4. THE CONTRACTOR AND SUB CONTRACTORS ARE RESPONSIBLE TO ENSURE THAT THEIR CONSTRUCTION MATERIALS AND PRACTICES CONFORM TO THE LATEST CITY/ REGION STANDARDS, SPECIFICATIONS AND DESIGN CRITERIA. IN THE ABSENCE OF CITY/REGIONAL SPECIFICATIONS, THE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS (OPSS) SHALL APPLY.
5. OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA BEFORE COMMENCING CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND IMPLEMENTING TEMPORARY TRAFFIC MANAGEMENT PLANS FOR CONSTRUCTION WITHIN THE CITY RIGHT OF WAY, ALL PLANS ARE TO FOLLOW THE REQUIREMENTS OF THE CITY AND PROVINCIAL STANDARDS (OTM BOOK 7).
7. BEFORE COMMENCING CONSTRUCTION OBTAIN AND PROVIDE PROOF OF COMPREHENSIVE, ALL RISK AND OPERATIONAL LIABILITY INSURANCE FOR \$5,000,000.00. INSURANCE POLICY TO NAME OWNERS, ENGINEERS AND ARCHITECTS AS CO-INSURED.
8. THE CONTRACTOR, AT THEIR EXPENSE AND TO THE SATISFACTION OF THE CITY OF OTTAWA AND THE ENGINEER, SHALL BE RESPONSIBLE FOR THE RESTORATION AND THE REPAIR OF ALL AREAS DISTURBED DURING CONSTRUCTION ON-SITE AND OFF-SITE, INCLUDING TRENCHES AND EXISTING UTILITIES TO EXISTING CONDITIONS OR BETTER.
9. REMOVE FROM SITE ALL EXCESS EXCAVATED MATERIAL, ORGANIC MATERIAL AND DEBRIS UNLESS OTHERWISE INSTRUCTED BY ENGINEER. EXCAVATE AND REMOVE FROM SITE ANY CONTAMINATED MATERIAL. ALL CONTAMINATED MATERIAL SHALL BE DISPOSED OF AT A LICENSED LANDFILL FACILITY.
10. THE SUPPORT OF ALL UTILITIES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
11. ALL BACKFILL FOR SEWERS, WATERMANS AND UTILITIES ON THE ROAD ALLOWANCE MUST BE MECHANICALLY COMPACTED.
12. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND CITY SERVICES (WATER, SANITARY & STORM) PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO AECOM LTD.
13. ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE SPECIFIED.
14. ALL ELEVATIONS ARE GEODETIC.
REFER TO SITE SURVEY PREPARED BY FARLEY, SMITH & DENIS SURVEYING LTD. FILE NO.159-22 DATED JULY 25, 2023) FOR EXISTING GRADES, FLOODLINES AND ALL OTHER EXISTING LAND CHARACTERISTICS.
15. REFER TO ARCHITECT'S AND LANDSCAPE ARCHITECT'S DRAWINGS FOR BUILDING AND HARD SURFACE AREAS
16. CONTRACTOR TO PROVIDE THE CONSULTANT WITH A GENERAL PLAN OF SERVICES INDICATING ALL SERVICING AS-BUILT INFORMATION SHOWN ON THIS PLAN. AS-BUILT INFORMATION MUST INCLUDE: PIPE MATERIAL, SIZES, LENGTHS, SLOPES, INVERT AND T/G ELEVATIONS, STRUCTURE LOCATIONS, VALVE AND HYDRANT LOCATIONS, T/WM ELEVATIONS AND ANY ALIGNMENT CHANGES, ETC.
17. A UTILITY CLEARANCE RADIUS OF 1.2M BETWEEN THE PROPOSED DRIVEWAY ENTRANCE CURB RETURN AND ALL ABOVE GROUND UTILITIES MUST BE MAINTAINED.
18. THE OWNER SHALL INDICATE IN THE AGREEMENT, IN WORDS SATISFACTORY TO BELL CANADA, THAT IT WILL GRANT TO BELL CANADA ANY EASEMENTS THAT MAY BE REQUIRED, WHICH MAY INCLUDE A BLANKET EASEMENT, FOR COMMUNICATION/TELECOMMUNICATION INFRASTRUCTURE. IN THE EVENT OF ANY CONFLICT WITH EXISTING BELL CANADA FACILITIES OR EASEMENTS, THE OWNER SHALL BE RESPONSIBLE FOR THE RELOCATION OF SUCH FACILITIES OR EASEMENTS.

GRADING NOTES:

1. ALL CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF OTTAWA, THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS (O.P.S.S.) AND THE ONTARIO BUILDING CODE (O.B.C.)
2. ALL SURFACE DRAINAGE SHALL BE CONTAINED AT SITE, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. DRAINAGE OF ABUTTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED. UNLESS NOTED OTHERWISE.
3. ALL TOPSOIL, ORGANIC OR DELETERIOUS MATERIAL MUST BE ENTIRELY REMOVED FROM BENEATH THE PROPOSED PAVED AREAS AS DIRECTED BY THE SITE ENGINEER OR GEOTECHNICAL ENGINEER.
4. THE SUBGRADE SHALL BE COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY VALUE.
5. EXPOSED SUBGRADES IN PROPOSED PAVED AREAS SHOULD BE PROOF ROLLED WITH A LARGE STEEL DRUM ROLLER AND INSPECTED BY THE GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF GRANULARS.
6. ANY SOFT AREAS EVIDENT FROM THE PROOF ROLLING SHOULD BE SUB-EXCAVATED AND REPLACED WITH SUITABLE MATERIAL THAT IS FROST RESISTANT AND COMPATIBLE WITH THE EXISTING SOILS AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
7. MINIMUM OF 2% GRADE FOR ALL GRASS AREAS UNLESS OTHERWISE NOTED.
8. MAXIMUM TERRACING GRADE TO BE 3:1 UNLESS OTHERWISE NOTED.
9. ALL GRADES BY CURBS ARE EDGE OF PAVEMENT GRADES UNLESS OTHERWISE INDICATED.
10. REFER TO LANDSCAPE PLAN FOR PLANTING AND OTHER LANDSCAPE FEATURE DETAILS.
11. CONTRACTOR TO PROVIDE THE CONSULTANT WITH A GRADING PLAN INDICATING AS-BUILT ELEVATIONS OF ALL DESIGN GRADES SHOWN ON THIS PLAN.

Committee of Adjustment
Received | Reçu le

2023-04-28

City of Ottawa | Ville d'Ottawa
Comité de dérogation

Notes:

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2. THE CONSTRUCTION MANAGER IS TO OBTAIN AND PAY FOR BUILDING PERMIT. ALL OTHER NECESSARY PERMITS TO BE OBTAINED AND PAID FOR BY TRADE CONTRACTORS. ALL APPROVALS FROM THE CITY OR TOWNSHIP MUST BE OBTAINED BEFORE COMMENCING CONSTRUCTION.
3. THE TRADE CONTRACTORS ARE RESPONSIBLE FOR ALL LAYOUT.
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8. ALL ROADWAY, PARKING LOT, AND GRADING WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH CITY OR TOWNSHIP STANDARDS AND SPECIFICATIONS. THE SITEWORK TRADE CONTRACTOR IS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
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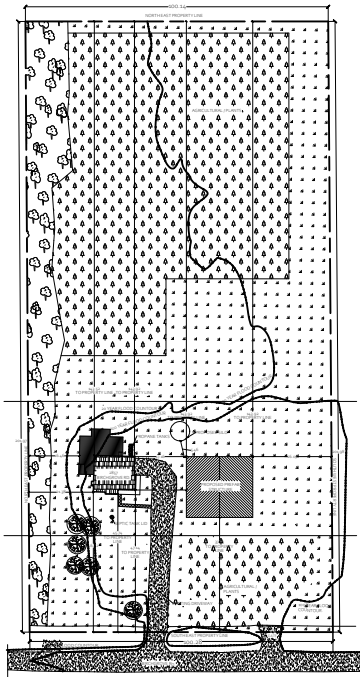
CLIENT: **Sal Piamonte**
2857 BIRCHGROVE RD
CUMBERLAND, OTTAWA, K0A 3E0

ARCHITECT: **ASTRIT S. ALIU**
127 CHEVRON PL
OTTAWA
K1W 0L6

SITE: **2857 BIRCHGROVE RD**
CUMBERLAND, OTTAWA, K0A 3E0

TITLE: **SITE NOTES**

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
N/A	06/04/2023	AS	ASA
PROJECT NO:	DRAWING NO:	REVISION:	
23-215	SP-00A	0	



1 KEY PLAN
Scale: 1:2500



LEGEND

PAVEMENT: [Pattern]

CONCRETE SURFACE: [Pattern]

GRASSED AREA: [Pattern]

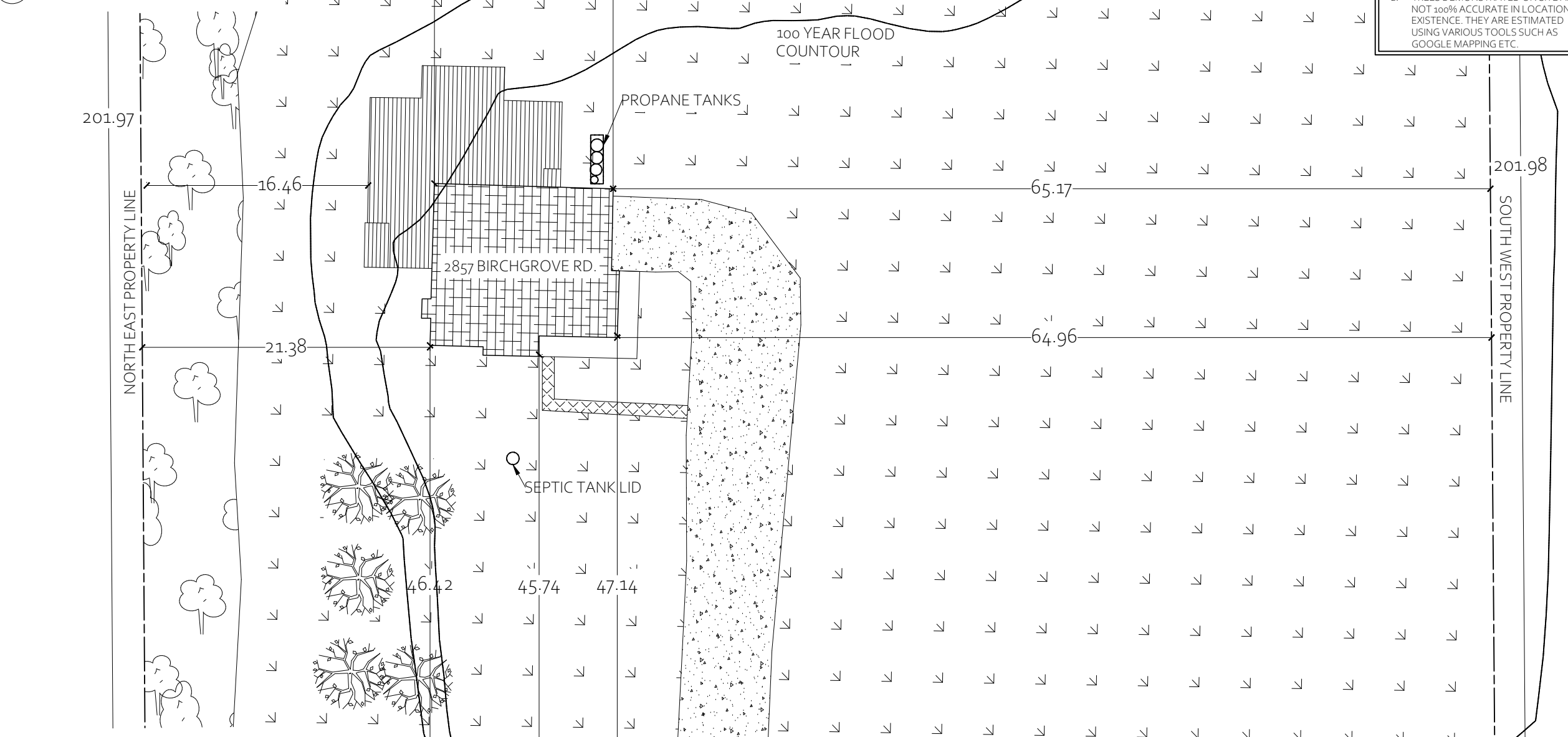
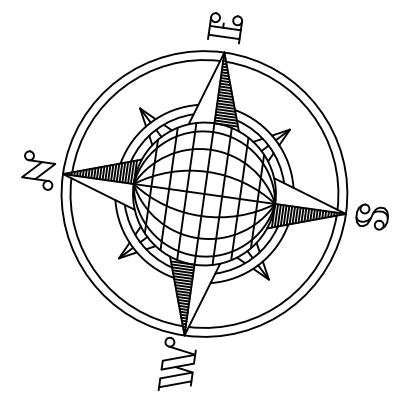
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NOTES:

- PROPERTY BOUNDARY TAKEN FROM GEOTOWNSHIP GIS MAPPING. CONTRACTOR TO VERIFY DISTANCE TO PROPERTY LINES PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED BACK TO THE SIGNING ENGINEER IN WRITING WITH TWO WEEK MINIMUM REVIEW TURN AROUND PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
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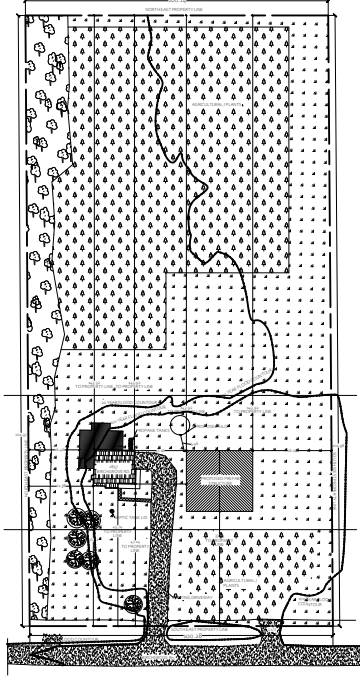
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2 SITE PLAN EXISTING
Scale: 1:350

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CLIENT:	Sal Piamonte 2857 BIRCHGROVE RD CUMBERLAND, OTTAWA, K0A 3E0		
ARCHITECT:	ASTRIT S. ALIU 127 CHEVRON PL OTTAWA K1W 0L6		
SITE:	2857 BIRCHGROVE RD CUMBERLAND, OTTAWA, K0A 3E0		
TITLE:	SITE PLAN		
SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:200	06/04/2023	AS	ASA
PROJECT NO:	DRAWING NO:	REVISION:	
23-215	SP-001	0	



1 KEY PLAN

Scale: 1:2500



LEGEND

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CONCRETE SURFACE: [Symbol]

GRASSED AREA: [Symbol]

PROPERTY LINES: [Symbol]

PROP. STRUC. FOOTPRINT: [Symbol]

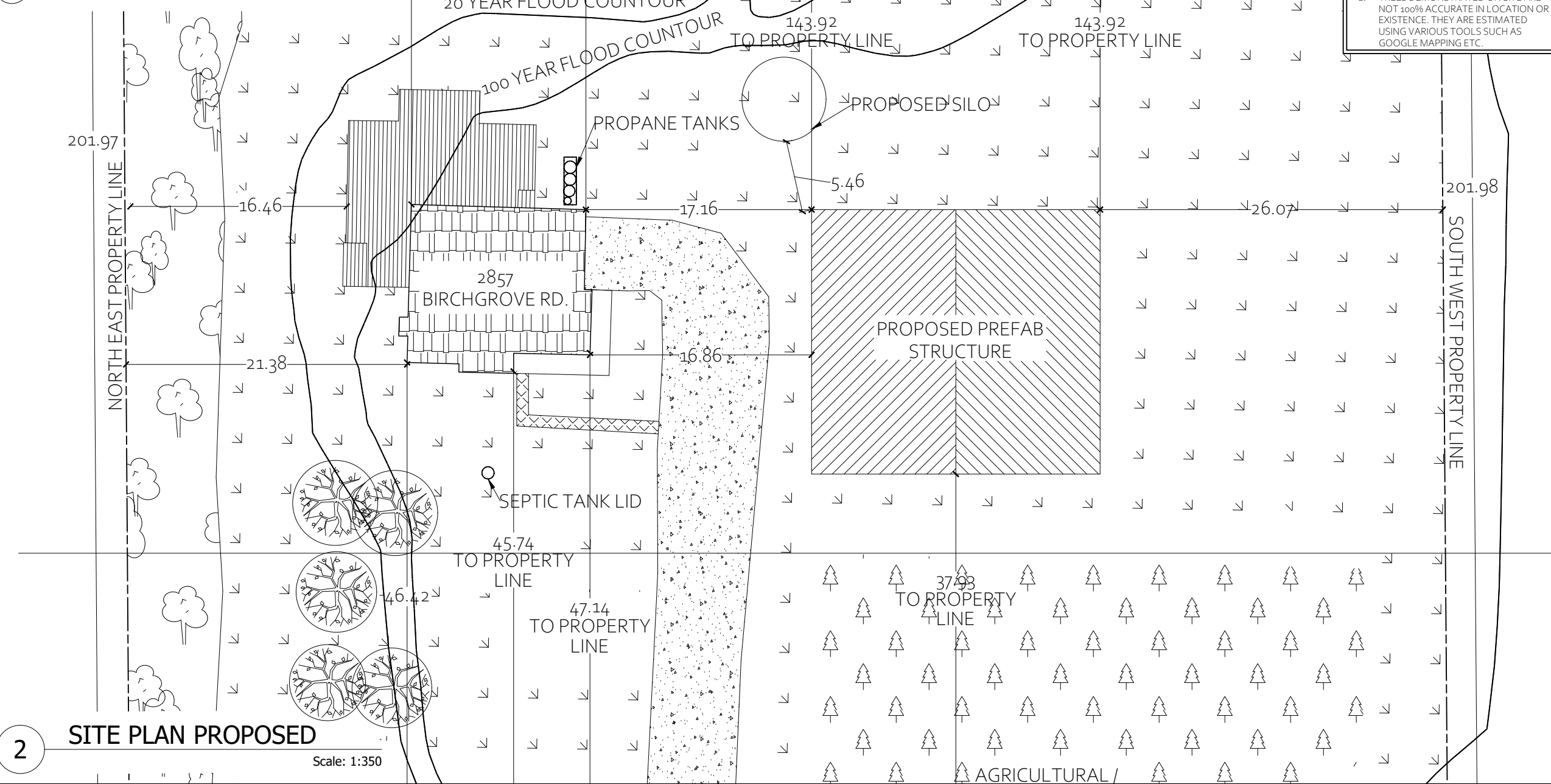
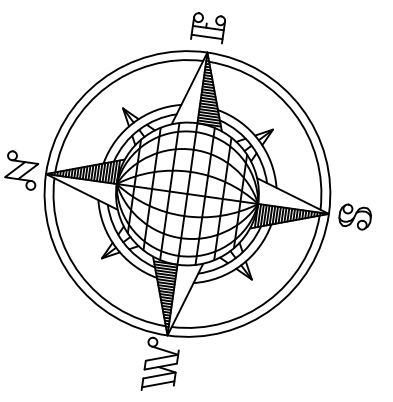
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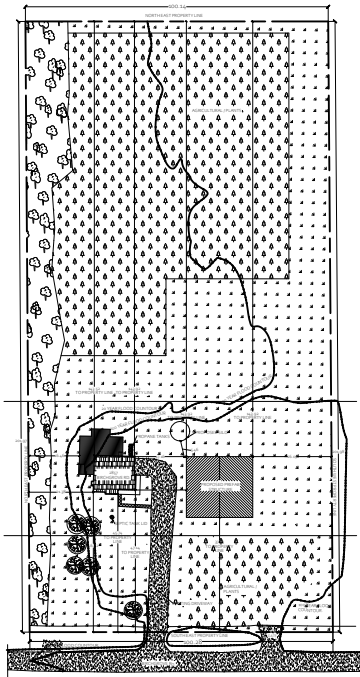
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STATUS: PERMIT ISSUE			
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CLIENT:	Sal Piamonte 2857 BIRCHGROVE RD CUMBERLAND, OTTAWA, K0A 3E0		
ARCHITECT:	ASTRIT S. ALIU 127 CHEVRON PL OTTAWA K1W 0L6		
SITE:	2857 BIRCHGROVE RD CUMBERLAND, OTTAWA, K0A 3E0		
TITLE:	SITE PLAN		
SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:200	06/04/2023	AS	ASA
PROJECT NO:	DRAWING NO:	REVISION:	
23-215	SP-002	0	



1 KEY PLAN
Scale: 1:2500



LEGEND

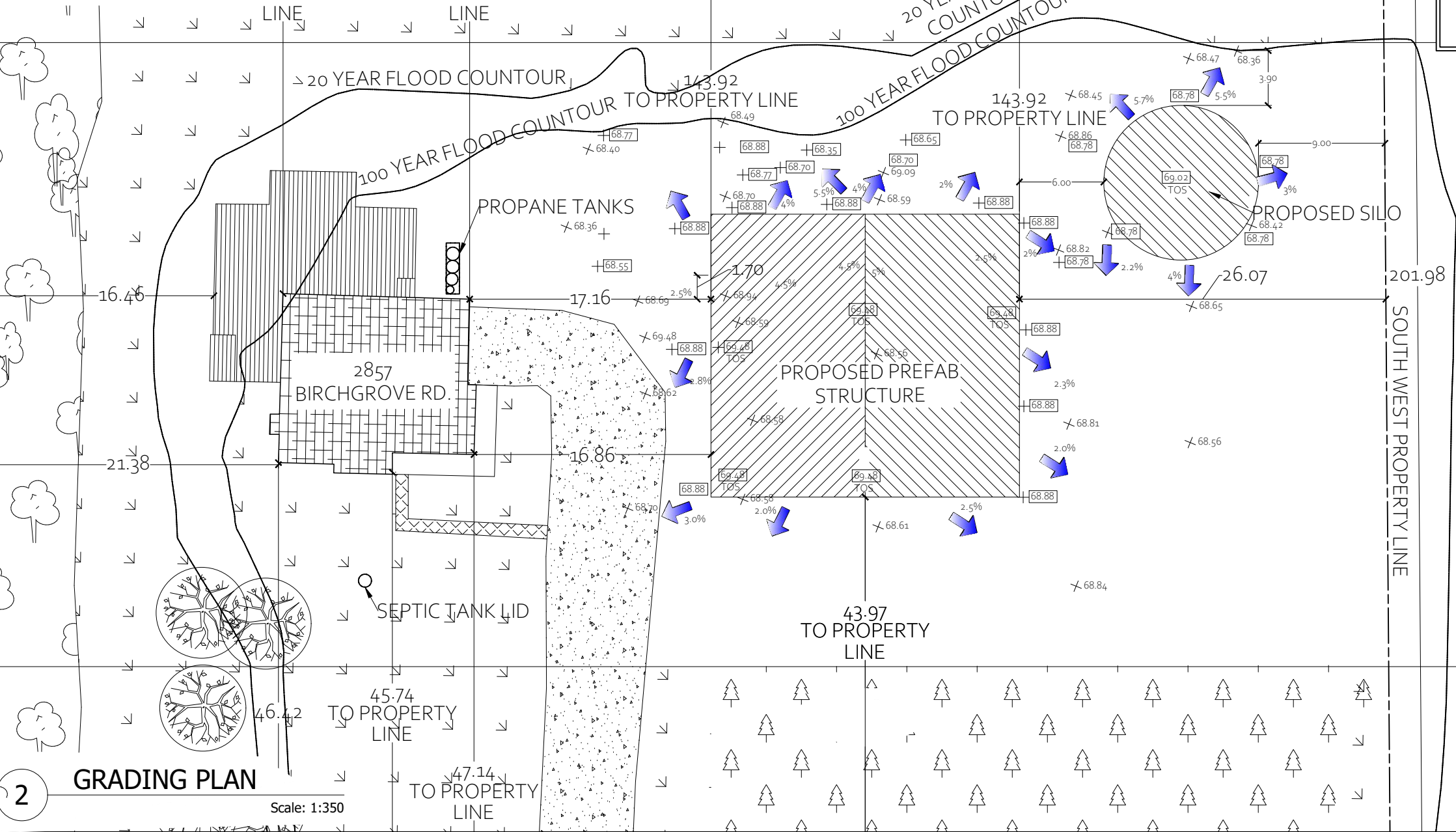
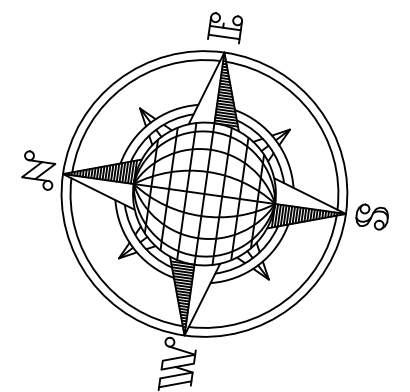
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- CONCRETE SURFACE:
- GRASSED AREA:
- PROPERTY LINES:
- EXIST. GRADE:
- PROP. GRADE:
- DRAINAGE ARROWS:

NOTES:

- ALL PROPERTY INFORMATION INCLUDING BUT NOT LIMITED TO: EXISTING GRADES, FLOODLINES, EXISTING STRUCTURES, WERE RETRIEVED FROM FARLEY, SMOOTH & DENIS SURVEYING LTD. PREPARED BY EMAD ALREFAAI OLS ON JAN 25 2023. TREES DEMONSTRATED ON SITE ARE NOT 100% ACCURATE IN LOCATION OR EXISTENCE. THEY ARE ESTIMATED USING AFORMENTIONED SURVEY PLAN.

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ARCHITECT: ASTRIT S. ALIU
127 CHEVRON PL
OTTAWA
K1W 0L6

SITE: 2857 BIRCHGROVE RD
CUMBERLAND, OTTAWA, K0A 3E0

TITLE: GRADING PLAN

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:350	06/04/2023	AS	ASA
PROJECT NO:	DRAWING NO:	REVISION:	
23-215	GR-001	0	