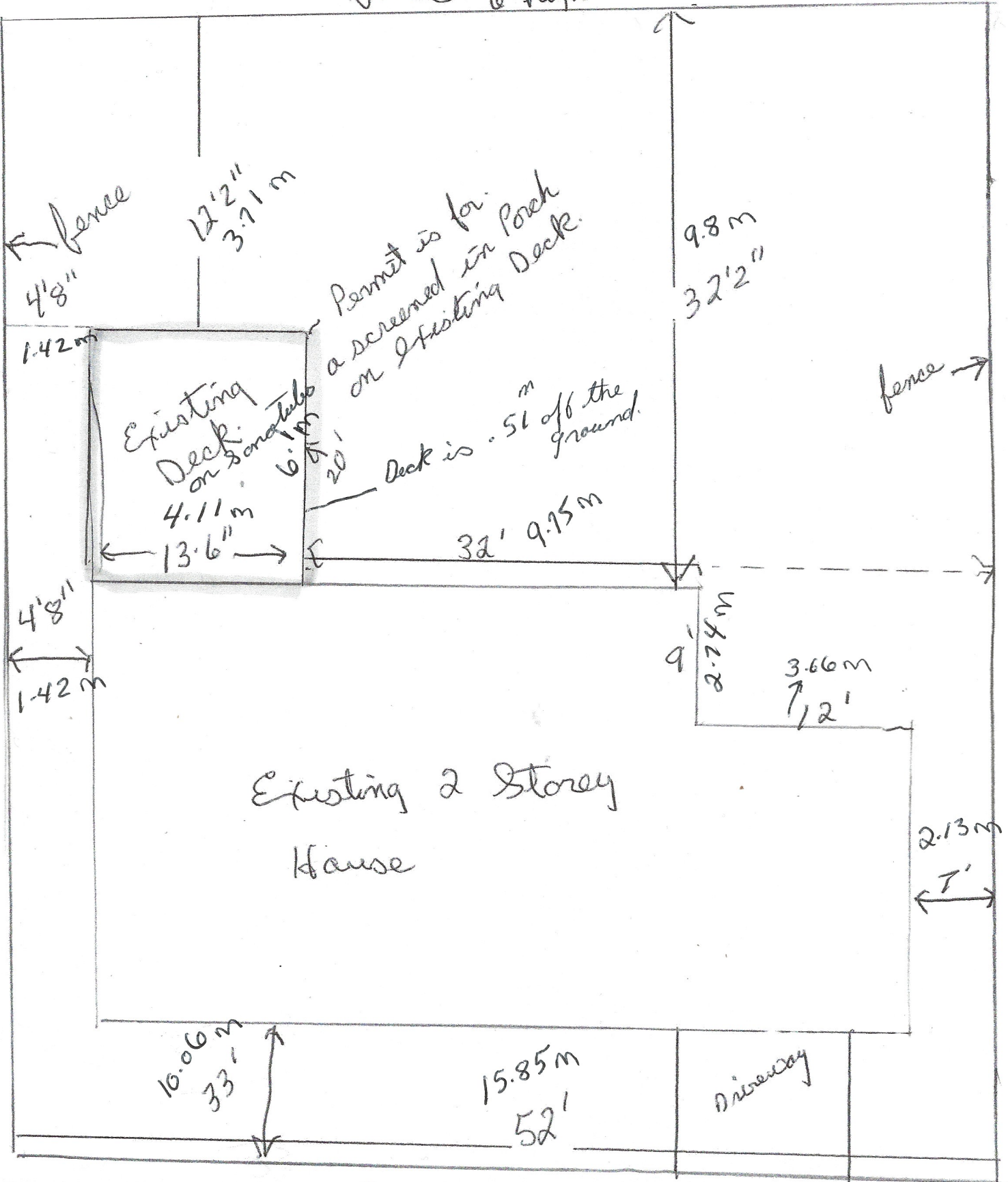


1.81 m  
fence 6' high



Existing 2 Storey House

ROAD  
318 - Patricia

Committee of Adjustment  
Received | Reçu le  
Revised | Modifié le : 2023-03-14  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation







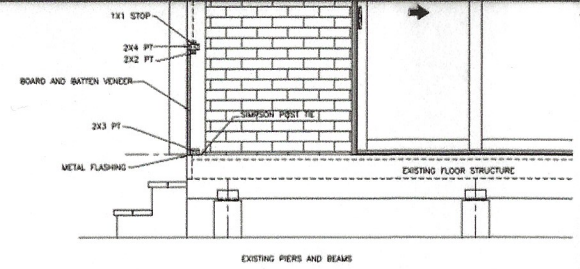
**GROUND FLOOR PLAN**

ESCHELLE : 1/4"=1'-0"



**FRONT ELEVATION**

ESCHELLE : 1/4"=1'-0"



**CROSS SECTION**

ESCHELLE : 1/2"=1'-0"

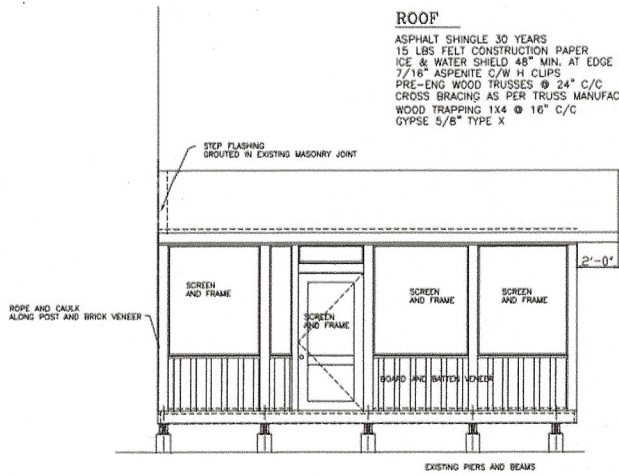


**ROOF**

ASPHALT SHINGLE 30 YEARS  
 15 LBS FELT CONSTRUCTION PAPER  
 ICE & WATER SHIELD 48" MIN. AT EDGE OF EAVES AND FASCIA  
 7/16" ASPENITE C/W H CLIPS  
 PRE-ENG WOOD TRUSSES @ 24" C/C  
 CROSS BRACING AS PER TRUSS MANUFACTURER  
 WOOD TRAPPING 1X4 @ 16" C/C  
 GYPSE 5/8" TYPE X

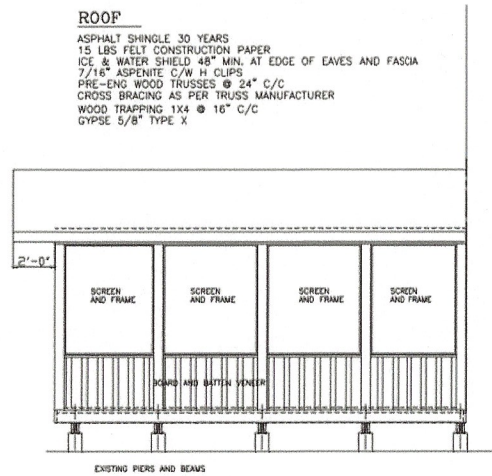
**ROOF**

ASPHALT SHINGLE 30 YEARS  
 15 LBS FELT CONSTRUCTION PAPER  
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 GYPSE 5/8" TYPE X



**RIGHT ELEVATION**

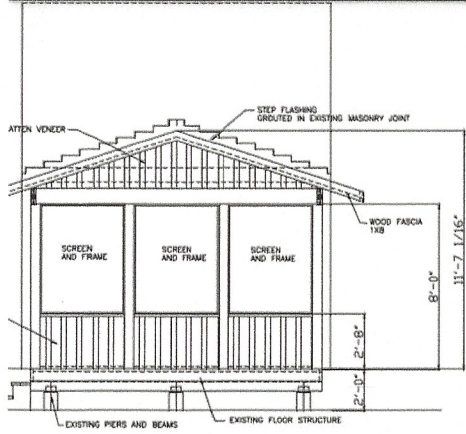
ESCHELLE : 1/4"=1'-0"



**LEFT ELEVATION**

ESCHELLE : 1/4"=1'-0"



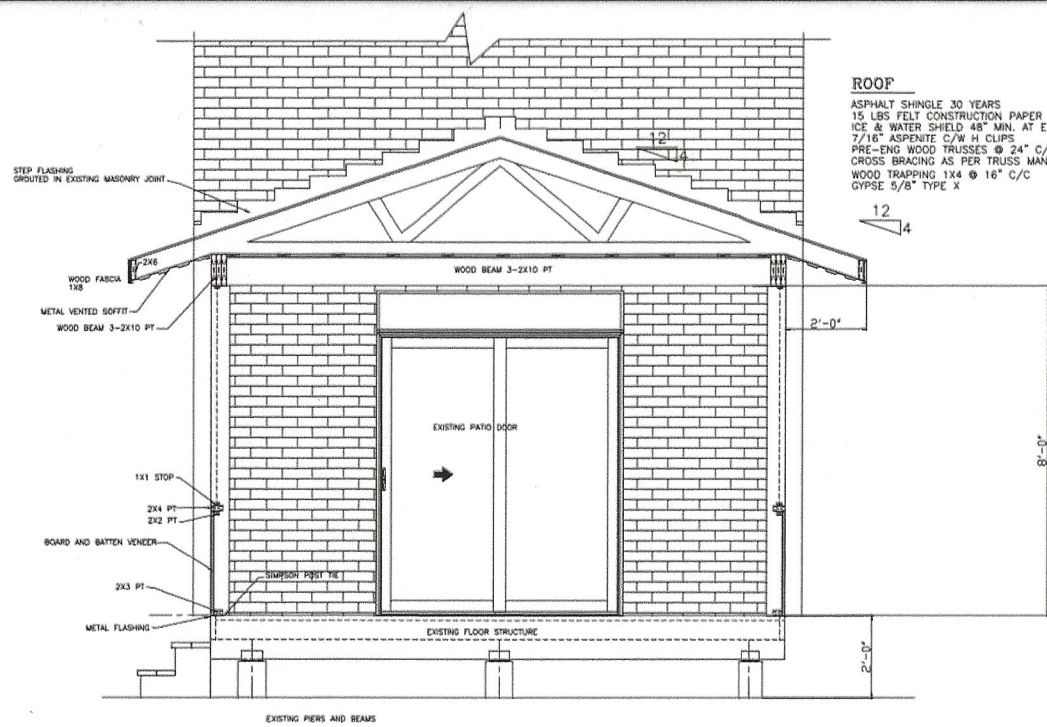


**FRONT ELEVATION**

ECHELLE : 1/4"=1'-0"

**ROOF**

ASPHALT SHINGLE 30 YEARS  
 15 LBS FELT CONSTRUCTION PAPER  
 ICE & WATER SHIELD 48" MIN. AT EDGE OF EAVES AND FASCIA  
 7/16" ASPENITE C/W H CLIPS  
 PRE-ENG WOOD TRUSSES @ 24" C/C  
 CROSS BRACING AS PER TRUSS MANUFACTURER  
 WOOD TRAPPING 1x4 @ 16" C/C  
 GYPSE 5/8" TYPE X



**CROSS SECTION**

ECHELLE : 1/2"=1'-0"



**ROOF**

ASPHALT SHINGLE 30 YEARS  
 15 LBS FELT CONSTRUCTION PAPER  
 ICE & WATER SHIELD 48" MIN. AT EDGE OF EAVES AND FASCIA  
 7/16" ASPENITE C/W H CLIPS  
 PRE-ENG WOOD TRUSSES @ 24" C/C  
 CROSS BRACING AS PER TRUSS MANUFACTURER  
 WOOD TRAPPING 1x4 @ 16" C/C  
 GYPSE 5/8" TYPE X

**COLUMNS SCHEDULE**

- PA -TEL-0-POST 3" ON CONCRETE FOOTING 30"x30"x 8" WITH REBAR
- PB -TEL-0-POST-3"4
- PC -2 TEL-0-POST-3"4 ON CONCRETE FOOTING 48"x48"x 10" WITH REBAR WITH REBAR 15 M @ 300 C/C @/W 7/8
- PD -SCHEDULE 8" CONCRETE BOLDED CONCRETE FOOTING 36"x36"x10"
- P1 -POST HES3.5X 3.5X3/16 C/A BASE PLATE 8X4.5X3/8 2 ANCHOR BOLT 3/8 L 12"
- P2 -TEL-0-POST-4"4
- P3 -3(2x6) WOOD POST
- P4 -6x6 WOOD POST
- P5 -4(2x6) WOOD POST
- P6 -POL 3 1/2" x 3 1/2"

**GENERAL NOTES:**

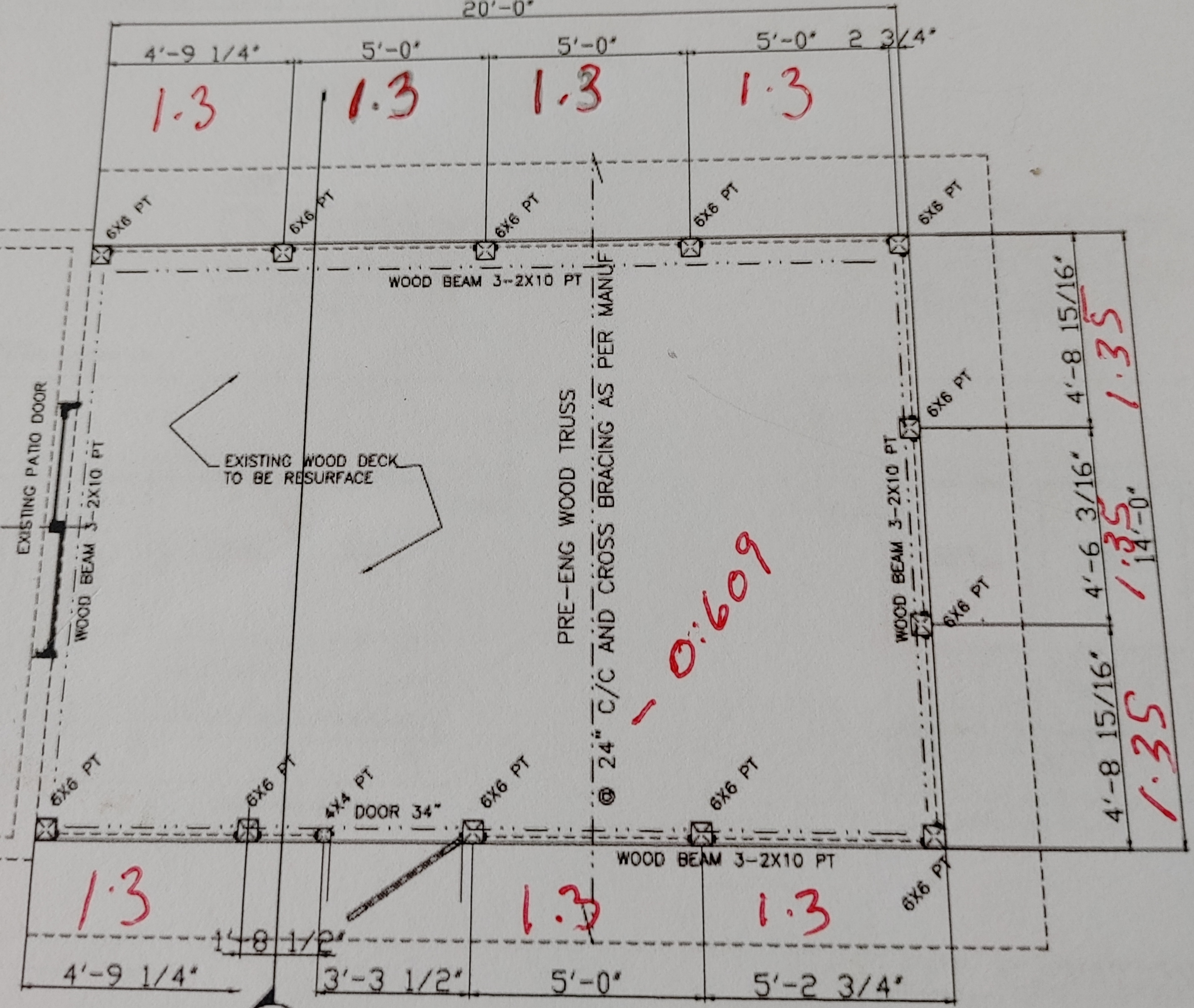
1. THE OWNER, CONTRACTOR SHOULD:
  - VERIFY ALL SITE DIMENSIONS BEFORE STARTING
  - ALL WORK AND MATERIALS SHOULD RESPECT ALL MUNICIPAL, PROVINCIAL CODES IN APPLICATIONS
2. ALL DIMENSIONS HAVE PRECEDENCE ON THE DRAWINGS
3. DO NOT REDUCE DRAWINGS
4. THE STRUCTURE (FROM LAYERS, COLUMNS) SHALL BE GRADE # 1







6.096  
20'-0"



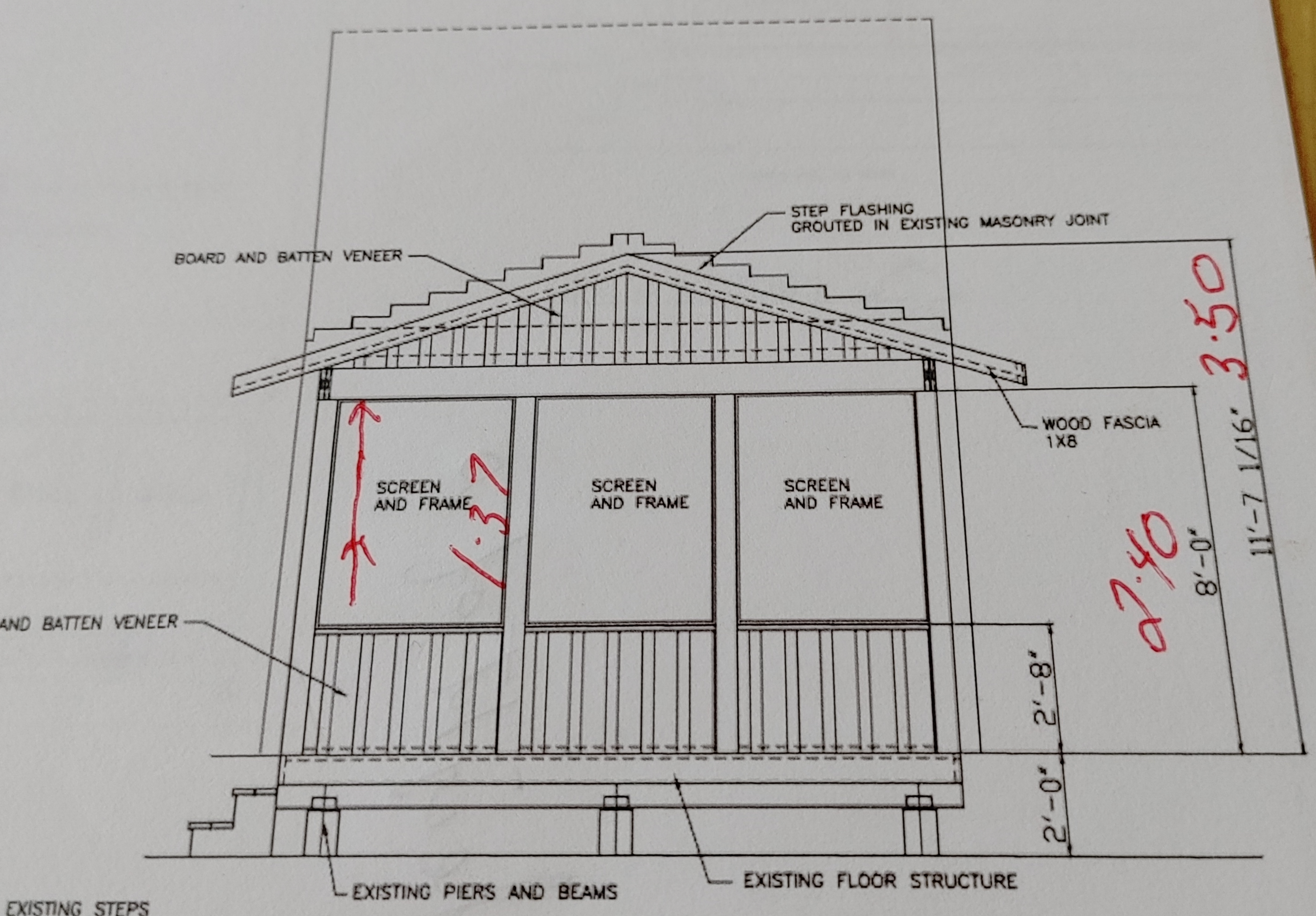
1  
A01

.90 + 2.032

# GROUND FLOOR PLAN

B

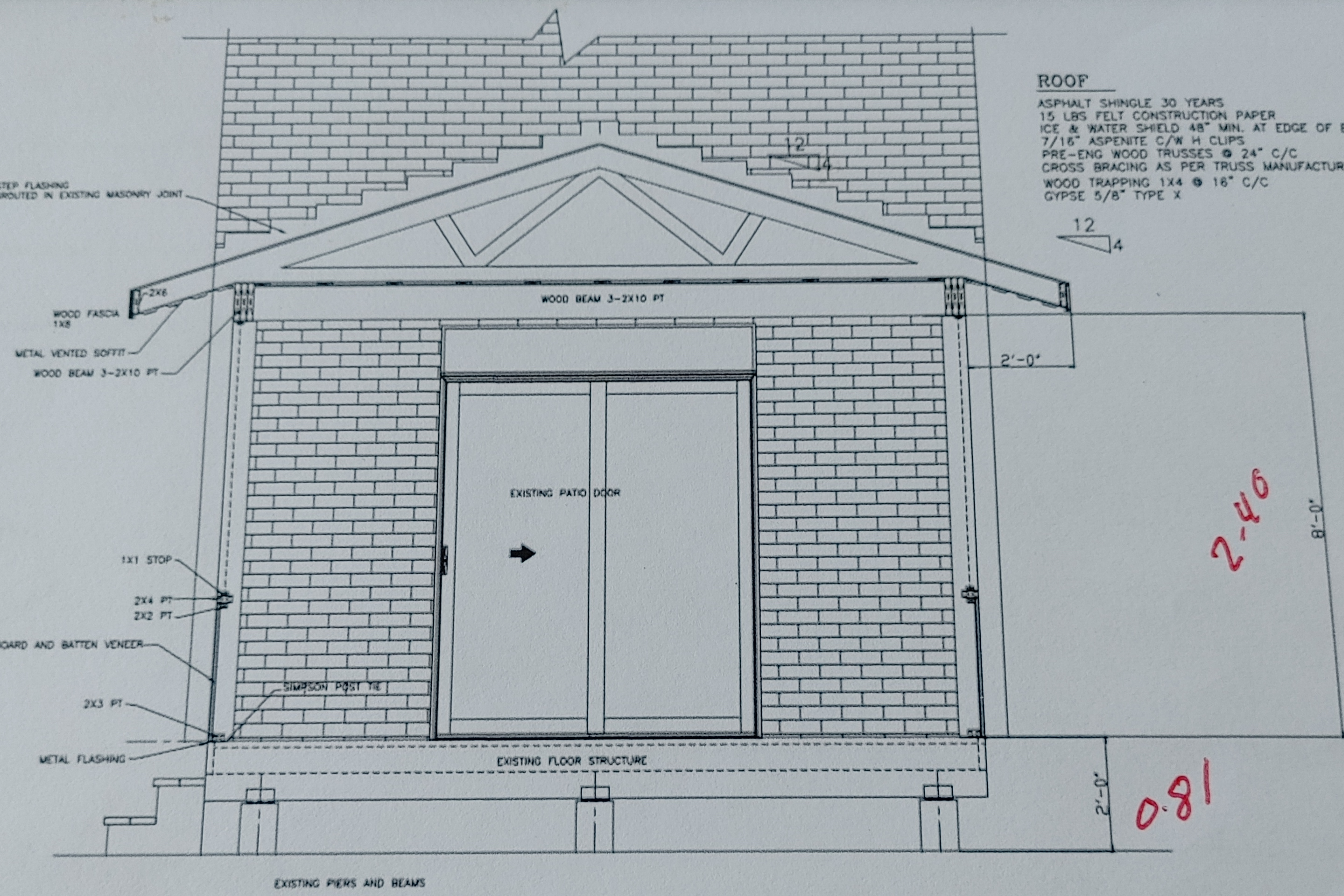




# FRONT ELEVATION

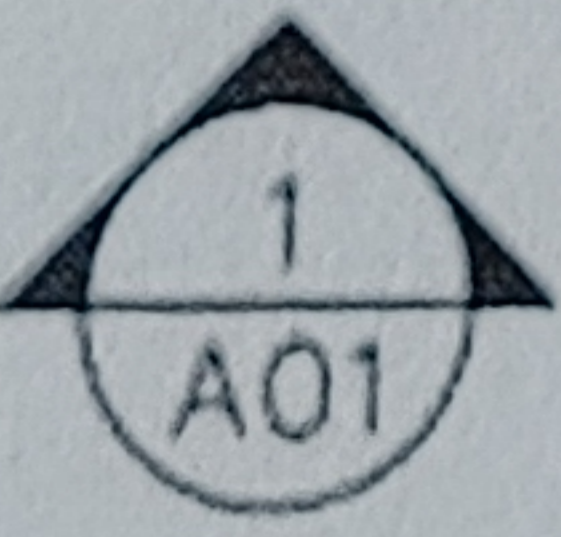
ECHELLE : 1/4" = 1'-0"





**ROOF**  
ASPHALT SHINGLE 30 YEARS  
15 LBS FELT CONSTRUCTION PAPER  
ICE & WATER SHIELD 48" MIN. AT EDGE OF EAVES AND  
7/16" ASPENITE C/W H CLIPS  
PRE-ENG WOOD TRUSSES @ 24" C/C  
CROSS BRACING AS PER TRUSS MANUFACTURER  
WOOD TRAPPING 1X4 @ 18" C/C  
GYPSE 5/8" TYPE X

**CROSS SECTION**



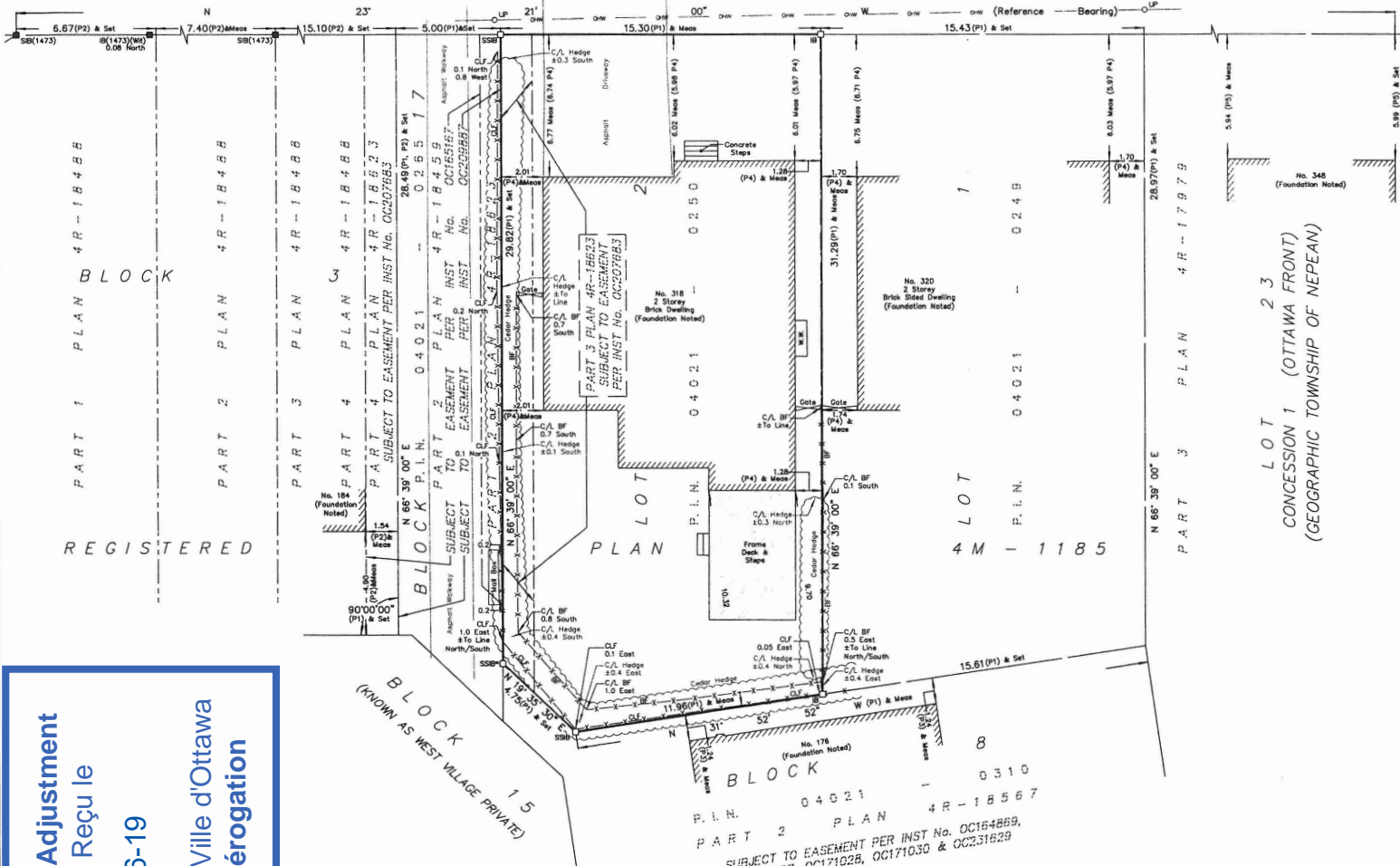
SCALE: 1/8"=1'-0"



Committee of Adjustment  
Received | Reçu le  
2023-06-19  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

PATRICIA AVENUE

(FORMERLY ABERDEEN STREET)  
(REGISTERED PLAN 400)  
(BY-LAW 1364, INST CR48836)  
P.L.N. 04021 - 0113



SURVEYOR'S REAL PROPERTY REPORT  
PART 1 Plan of

LOT 2  
REGISTERED PLAN 4M-1185  
CITY OF OTTAWA  
FARLEY, SMITH & DENIS SURVEYING LTD. 2023



Metric Note  
Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note  
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note  
Bearings are grid, are referred to the westerly limit of Patricia Avenue having a bearing of N 23° 21' 00" W as shown on Registered Plan 4M-1185 and are derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

Notes & Legend

- Denotes Survey Monument Planted
- Survey Monument Found
- SIB Standard Iron Bar
- SSIB Short Standard Iron Bar
- SSIB\* Short Standard Iron Bar (0.3m Long)
- IB Iron Bar
- (WH) Witness
- Meas Measured
- (P1) Registered Plan 4M-1185
- (P2) Plan 4R-18488
- (P3) Plan 4R-18567
- (P4) Plan by (SG) dated July 22, 2005 (Ref. No. 1-4M-1185)
- (P5) Plan by (AOG) dated November 2, 2012 (Job No. 13406-12)
- OW Overhead Wires
- UP Utility Pole
- CLF Chain Link Fence
- BF Board Fence
- W.W. Window Well
- C/L Centreline
- Property Line

- PART 2
- REGISTERED RIGHTS-OF-WAY/EASEMENTS  
Part 3 on Plan 4R-18623 is subject to easement per inst No. OC207683.
  - PROPERTY IMPROVEMENTS  
The location of the fencing and hedges in relation to the property lines are noted on the plan.
  - COMPLIANCE WITH MUNICIPAL ZONING BYLAWS  
Compliance is not certified by this report.
  - ADDITIONAL REMARKS  
Site Area=489.8 sq.m.

THIS REPORT WAS PREPARED FOR:  
Mark Klyman ("The Client"), the Client's solicitors, mortgagees, and other related parties. The undersigned accepts no responsibility for use by other parties. See Part 2 of this Report.

Surveyor's Certificate  
I certify that:  
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.  
2. The survey was completed on the 29th day of May, 2023.

Date: 06-29-23  
Jamie Leslie  
Ontario Land Surveyor

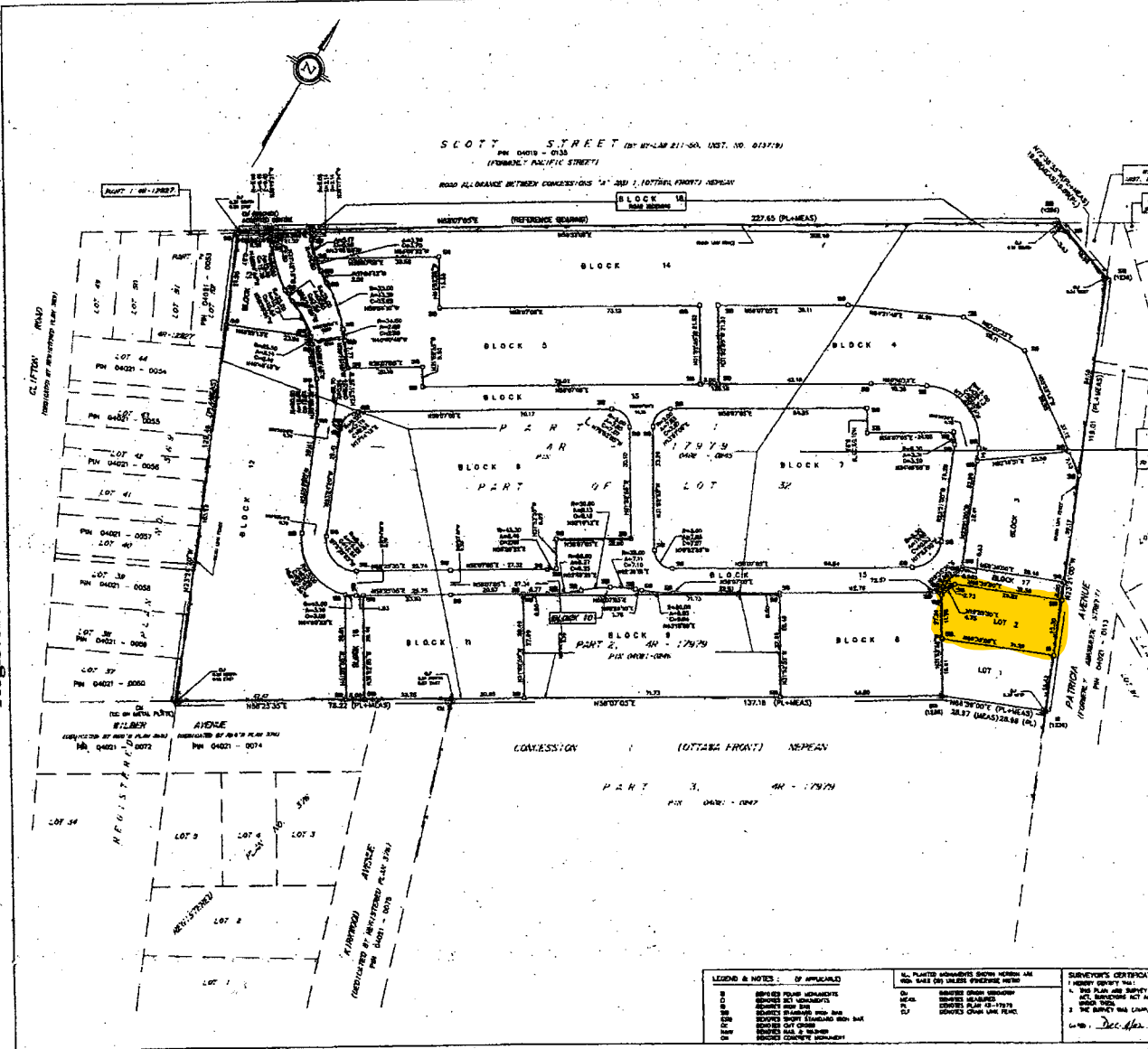
This plan of survey relates to AOLS Plan Submission Form Number V-48412  
FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS  
CANADA LAND SURVEYORS  
Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6  
TEL: (613) 727-8226 E-mail: fdsurveys@bellnet.ca

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Schedule B Plot 2  
Registered Plan of Subdivision



APPROVED UNDER SECTION 31 OF THE PLANNING ACT BY THE CITY OF OTTAWA THIS 12<sup>TH</sup> DAY OF December, 2002.

*[Signature]*  
 JOHN MOSE, DIRECTOR  
 PLANNING AND INFRASTRUCTURE APPROVALS  
 DEVELOPMENT SERVICES  
 CITY OF OTTAWA

PLAN 4M-1183

I HEREBY CERTIFY THAT THIS PLAN IS IN ACCORDANCE WITH THE LAND SURVEY ACT AND THE REGULATIONS THEREUNDER AND THAT THE REQUIRED CONDITIONS AND AFFIDAVITS ARE REGISTERED AS A REGISTERED PLAN OF SUBDIVISION.

*[Signature]*  
 LAND SURVEYOR

PLAN OF SUBDIVISION  
 PART OF LOT 32  
 CONCESSION 1 (OTTAWA FRONT)  
 GEOGRAPHIC TOWNSHIP OF NEPEAN  
 CITY OF OTTAWA

WEBSTER & SIMMONDS SURVEYING LTD.

2002

SCALE 1:500 METRES

0 5 10 15 20 25 30 35 40 METRES

NOTES:  
 1. DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND ARE TO BE CONSIDERED AS THE DISTANCES TO BE USED IN CONSTRUCTION.  
 2. ALL DISTANCES SHOWN ARE AS MEASURED TO THE CENTRE LINE OF THE ROAD UNLESS OTHERWISE SPECIFIED.  
 3. ALL DISTANCES SHOWN ARE AS MEASURED TO THE CENTRE LINE OF THE ROAD UNLESS OTHERWISE SPECIFIED.

OWNER'S CERTIFICATE

I HEREBY CERTIFY THAT:

- THE LOTS AND LINES SHOWN ON THIS PLAN ARE IN ACCORDANCE WITH THE PLAN SHOWN ON THIS PLAN AND ARE IN ACCORDANCE WITH THE INSTRUCTIONS THEREON.
- ALL DISTANCES SHOWN ON THIS PLAN ARE AS MEASURED TO THE CENTRE LINE OF THE ROAD UNLESS OTHERWISE SPECIFIED.

LAND (THEY) UNLESS OTHERWISE SPECIFIED: THURGOOD (1974) LIMITED CORPORATION  
 COMPANY OR BUSINESS AS SET OUT IN THE PARTNERSHIP AGREEMENT

DATE: December 11, 2002  
*[Signature]*  
 REGISTERED OWNER

DATE: December 11, 2002  
*[Signature]*  
 REGISTERED OWNER

I HAVE THE AUTHORITY TO SIGN THE CORPORATION  
 I HAVE THE AUTHORITY TO SIGN THE CORPORATION

<p>LEGEND &amp; NOTES: (IF APPLICABLE)</p> <p>1. ALL DISTANCES SHOWN ON THIS PLAN ARE AS MEASURED TO THE CENTRE LINE OF THE ROAD UNLESS OTHERWISE SPECIFIED.</p> <p>2. ALL DISTANCES SHOWN ARE AS MEASURED TO THE CENTRE LINE OF THE ROAD UNLESS OTHERWISE SPECIFIED.</p>	<p>REGISTERED OWNER'S CERTIFICATE</p> <p>I HEREBY CERTIFY THAT:</p> <ol style="list-style-type: none"> <li>THIS PLAN IS IN ACCORDANCE WITH THE PLAN SHOWN ON THIS PLAN AND IS IN ACCORDANCE WITH THE INSTRUCTIONS THEREON.</li> <li>ALL DISTANCES SHOWN ON THIS PLAN ARE AS MEASURED TO THE CENTRE LINE OF THE ROAD UNLESS OTHERWISE SPECIFIED.</li> </ol> <p>DATE: December 11, 2002  <i>[Signature]</i>    REGISTERED OWNER</p>	<p>REGISTERED OWNER'S CERTIFICATE</p> <p>I HEREBY CERTIFY THAT:</p> <ol style="list-style-type: none"> <li>THIS PLAN IS IN ACCORDANCE WITH THE PLAN SHOWN ON THIS PLAN AND IS IN ACCORDANCE WITH THE INSTRUCTIONS THEREON.</li> <li>ALL DISTANCES SHOWN ON THIS PLAN ARE AS MEASURED TO THE CENTRE LINE OF THE ROAD UNLESS OTHERWISE SPECIFIED.</li> </ol> <p>DATE: December 11, 2002  <i>[Signature]</i>    REGISTERED OWNER</p>
---	---	---

Purchaser(s) Signature

Purchaser(s) Signature

January 16, 2003

PATRICIA AVENUE

(FORMERLY ABERDEEN STREET)
(REGISTERED PLAN 400)
(BY-LAW 1364, INST CR48836)
P.L.N. 04021 - 0113

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of

LOT 2
REGISTERED PLAN 4M-1185
CITY OF OTTAWA
FARLEY, SMITH & DENIS SURVEYING LTD. 2023



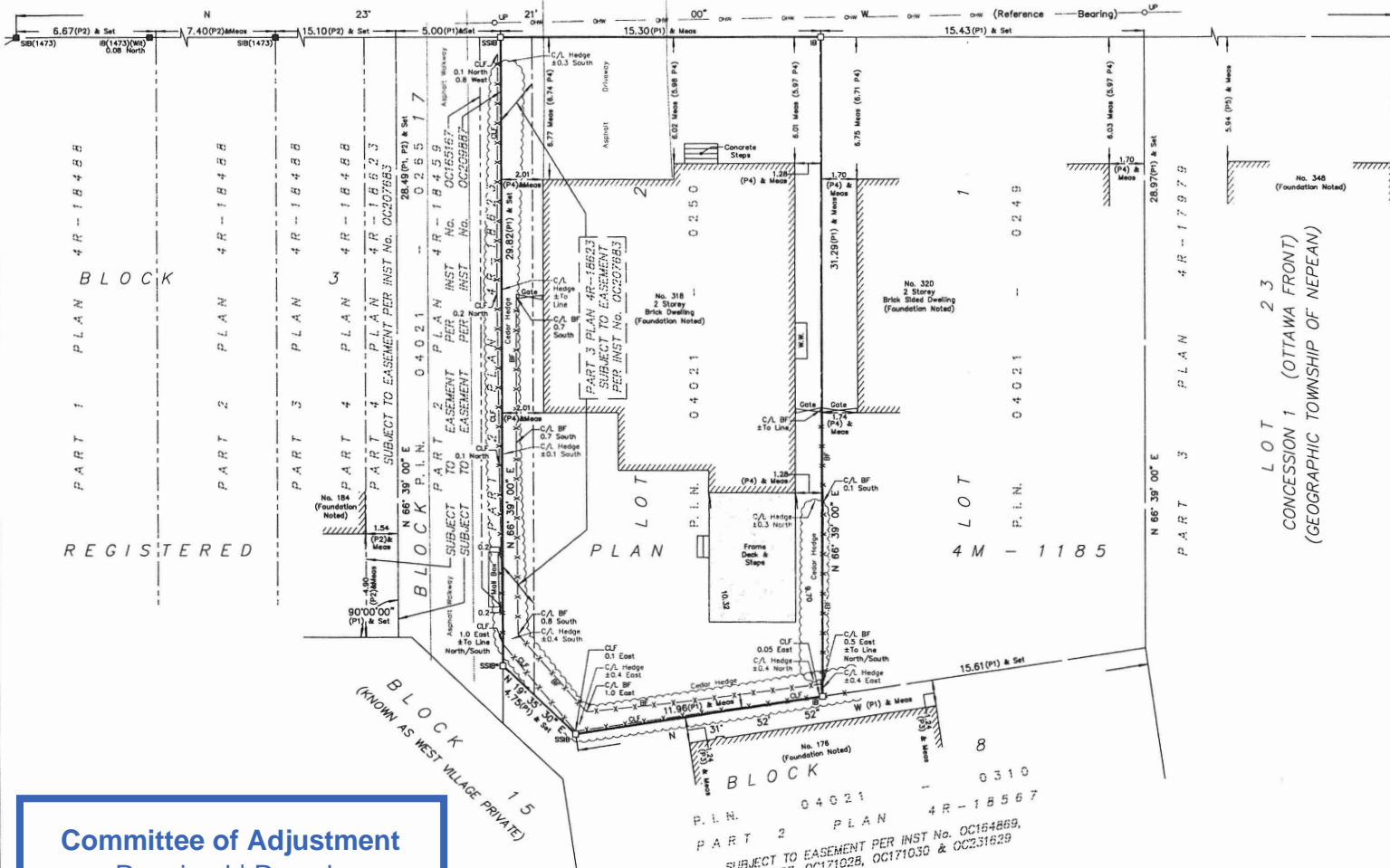
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Notes & Legend

Table with 2 columns: Symbol and Denotes. Symbols include survey monuments, iron bars, witness, measured, registered plans, utility poles, fences, and property lines.



Committee of Adjutment
Received | Reçu le

2023-06-19

City of Ottawa | Ville d'Ottawa
Comité de dérogation

- PART 2
1. REGISTERED RIGHTS-OF-WAY/EASEMENTS
2. PROPERTY IMPROVEMENTS
3. COMPLIANCE WITH MUNICIPAL ZONING BYLAWS
4. ADDITIONAL REMARKS

THIS REPORT WAS PREPARED FOR:
Mark Klyman, ("The Client"), the Client's solicitors, mortgagees, and other related parties. The undersigned accepts no responsibility for use by other parties. See Part 2 of this Report.

Surveyor's Certificate
I certify that:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
2. The survey was completed on the 29th day of May, 2023.

Date: 06-29-23
Signature: Jamie Leslie, Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-48412
FARLEY, SMITH & DENIS SURVEYING LTD.

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