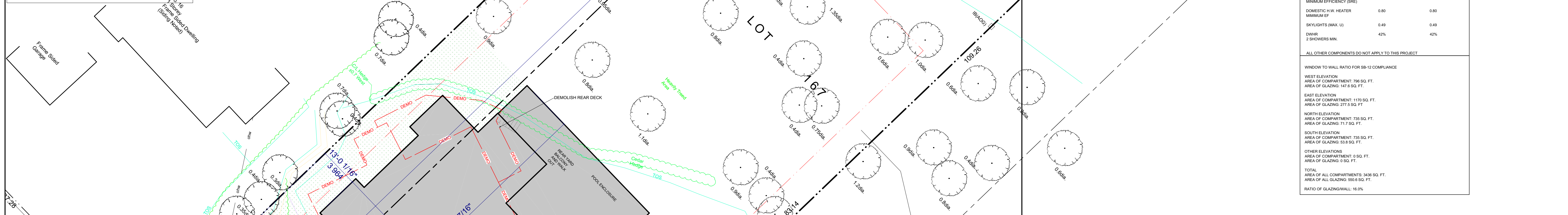


SITE PLAN OF SURVEY LOT 36 AND PART OF LOT 37, REGISTERED PLAN 342 AND PART OF LOT 38, REGISTERED PLAN 342 AND PART OF LOT 5, JUNCTION CORNER, GEOGRAPHIC TOWNSHIP OF GLOUCESTER, CITY OF OTTAWA

Table with 3 columns: LOT INFO, BUILDING AREAS, and PROPOSED SITE DEVELOPMENT INFO. Includes details on lot area, floor area, and site requirements.

Table with 2 columns: WASTE COLLECTION LEGEND and NEW PLANTING MATERIAL. Lists codes and quantities for various tree types and planting materials.

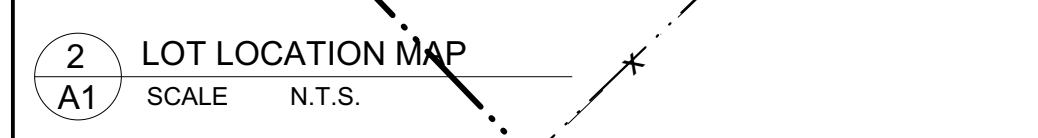


SITE NOTES: NEW ROOF DOWN SPOUTS SHALL NOT BE DIRECTED TOWARDS THE ADJACENT PROPERTIES. EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY. ALL GRADE TO SLOPE 2% AWAY FROM FOUNDATION WALL.

EXISTING PLANTING MATERIAL: TABLE listing species, code, quantity, size, and condition notes.

NEW PLANTING MATERIAL: TABLE listing species, code, quantity, size, and condition notes.

TREE CONSERVATION NOTES: 1. IDENTIFY & MARK ALL THE CRITICAL ROOT ZONE (CRZ) OF ALL TREES. 2. DO NOT PLANT ANY MATERIAL OR EQUIPMENT WITHIN THE CRZ OF A TREE.



2 LOT LOCATION MAP SCALE N.T.S. Committee of Adjustment Received | Reçue le 2023-06-15 City of Ottawa / Ville d'Ottawa Comité de dérogation

Table with 3 columns: COMPLIANCE PACKAGE #1, BUILDING COMPONENT, and MINIMUM REQUIREMENTS. Lists requirements for various building components.

Table with 3 columns: WEST ELEVATION, EAST ELEVATION, NORTH ELEVATION, SOUTH ELEVATION, and OTHER ELEVATION. Lists glazing requirements for different elevations.

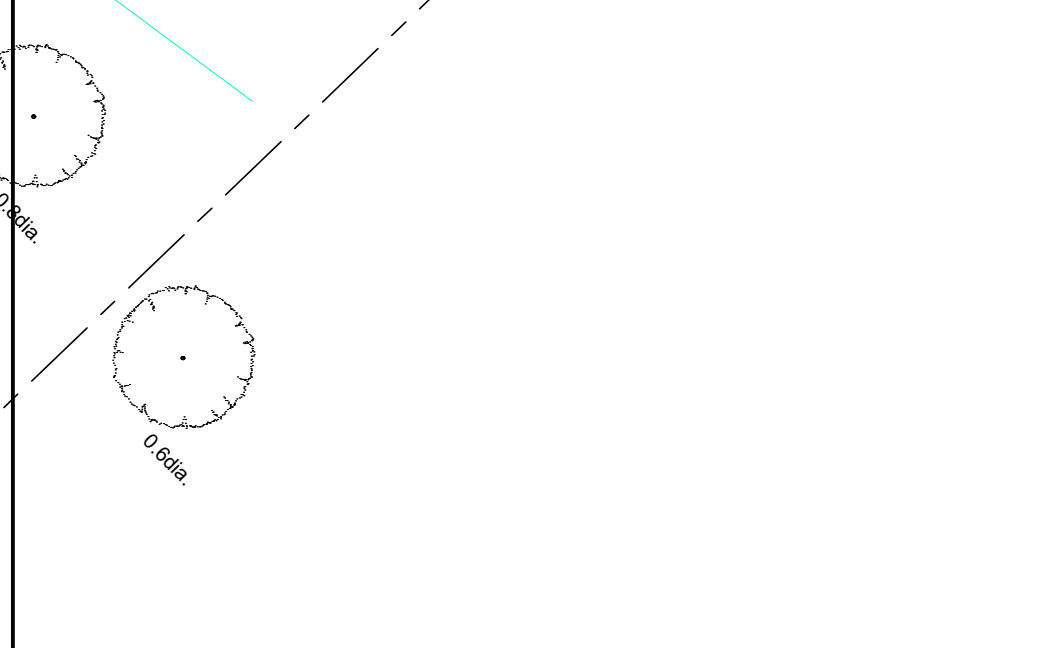


Table with 3 columns: TYPICAL FLOOR ASSEMBLY, TYPICAL ROOF ASSEMBLY, and TYPICAL EXTERIOR WALL ASSEMBLY. Lists assembly details for various parts of the building.

RESOURCES: SOMA STUDIO - BCIN# 33578, FERNANDO MATOS - BCIN# 22431. Includes contact information and project details.

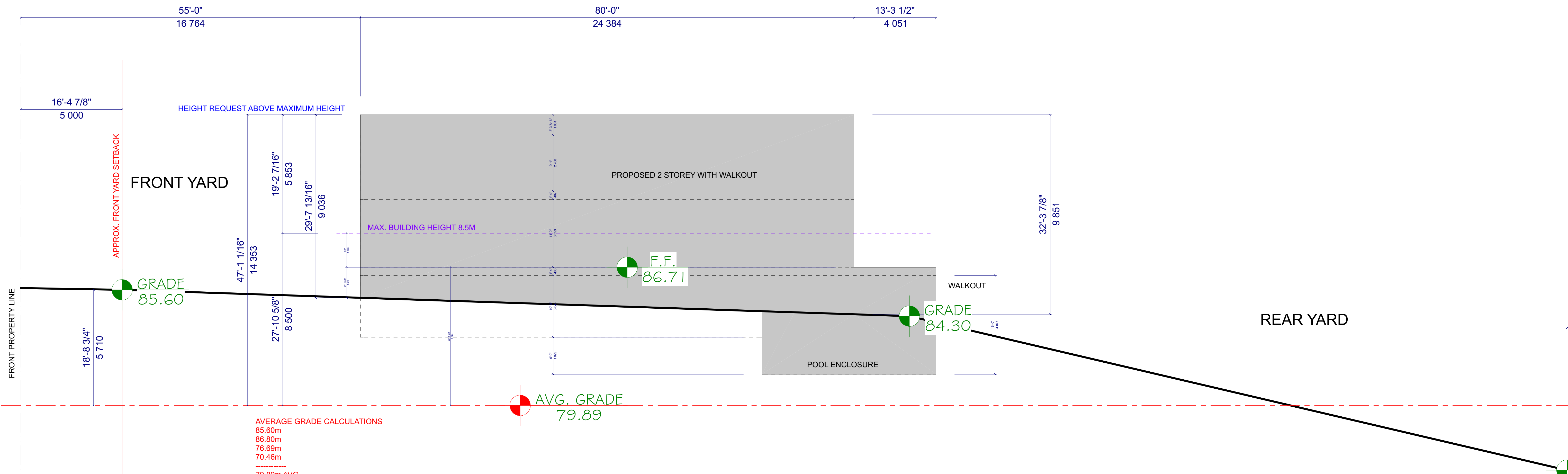
RESOURCES: DO NOT SCALE DRAWINGS. ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION.

GENERAL NOTES: IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND OMISSIONS TO THE ARCHITECT'S DESIGNER. COPYRIGHT RESERVED.

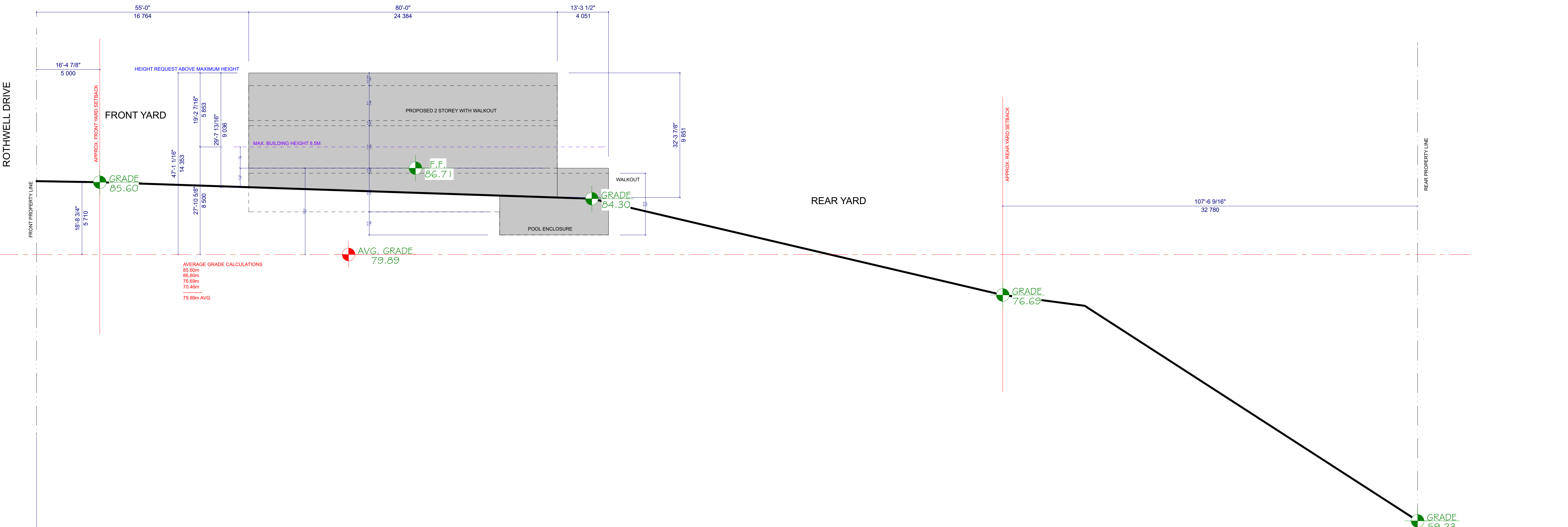
1 BUILDING LOCATION PLAN SCALE 1/16" = 1'-0" A1

18 ROTHWELL DR. NEW SINGLE DETACH DWELLING. SHEET A1. DATE: MAY 18, 2022.

18 ROTHWELL DRIVE SCOPE OF WORK: NEW SINGLE DETACH DWELLING



1 SITE SECTION
 A2 SCALE 1/8" = 1'-0"



1 EXPANDED SITE SECTION
 A2 SCALE 5/64" = 1'-0"

358'-0 1/2"
 109.14 m

SOMA STUDIO - BCIN# 33578
 2277 PROSPECT AVENUE
 OTTAWA, ON K1H 7G2

FERNANDO MATOS - BCIN# 22431
 613-884-4425

QUALIFICATION INFO
 SMALL BUILDINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:
 DO NOT SCALE DRAWINGS
 ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2006

ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER

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 GENERAL NOTES

18 ROTHWELL DRIVE
 SCOPE OF WORK: NEW SINGLE DETACH DWELLING

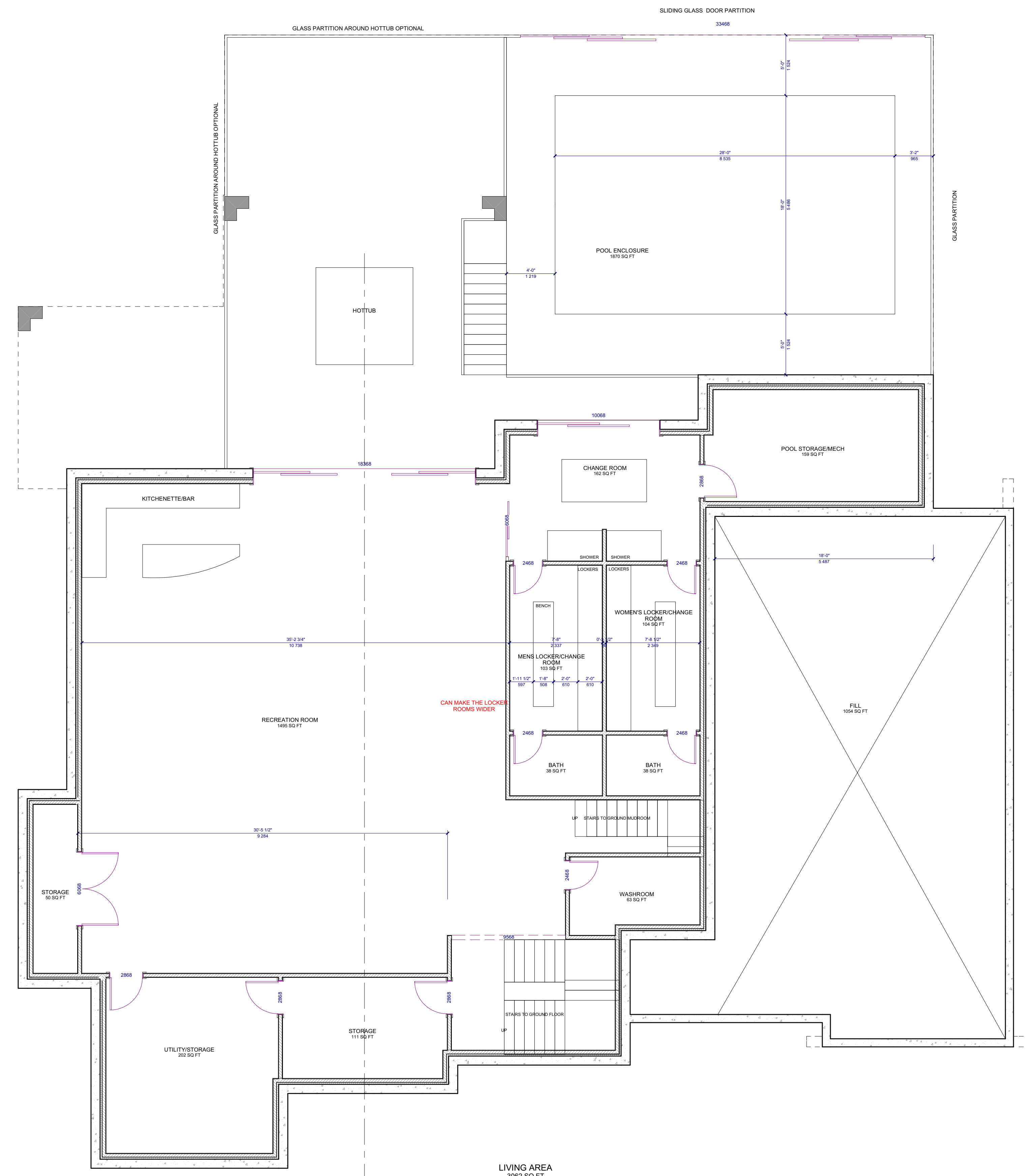
NO.	REVISION/ISSUE	DATE
4	CONST. SET 2	00/00/00
3	REVISIONS TO FINAL	00/00/00
2	FINAL	00/00/00
1	PRELIMINARY	11/01/22

PROJECT: **18 ROTHWELL DR.**
NEW SINGLE DETACHED
 18 ROTHWELL DR.
 OTTAWA, ON K1H 7G4

DRAWING NAME: **SITE SECTIONS**

BY	F.M.	DATE	SHEET
		MAY 18, 2022	A2

SCALE: AS NOTED



SOMA STUDIO - BCIN# 33578
2277 PROSPECT AVENUE
OTTAWA, ON K1H 7G2
FERNANDO MATOS - BCIN# 22431
QUALIFICATION INFO
SMALL BUILDINGS
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:
DO NOT SCALE DRAWINGS
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2006
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DRAWER
COPYRIGHT RESERVED

GENERAL NOTES:

18 ROTHWELL DRIVE
SCOPE OF WORK: NEW SINGLE DETACHED DWELLING

NO.	REVISION/ISSUE	DATE
4	CONST. SET 2	00/00/00
3	REVISIONS TO FINAL	00/00/00
2	FINAL	00/00/00
1	PRELIMINARY	11/01/22

PROJECT: **18 ROTHWELL DR.**
NEW SINGLE DETACHED
18 ROTHWELL DR.
OTTAWA, ON K1H 7G4
613 000-0004

DRAWING NAME:
FIRST FLOOR PLAN

DRAWN BY:	F.M.	SHEET:
DATE:	MAY 18, 2022	A3
SCALE:	AS NOTED	



1 FIRST FLOOR PLAN
SCALE 3/16" = 1'-0"

SOMA STUDIO - BCIN# 33578
2277 PROSPECT AVENUE
OTTAWA, ON K1H 7G2
FERNANDO MATOS - BCIN# 22431
QUALIFICATION INFO
SMALL BUILDINGS
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:
DO NOT SCALE DRAWINGS
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GENERAL NOTES:

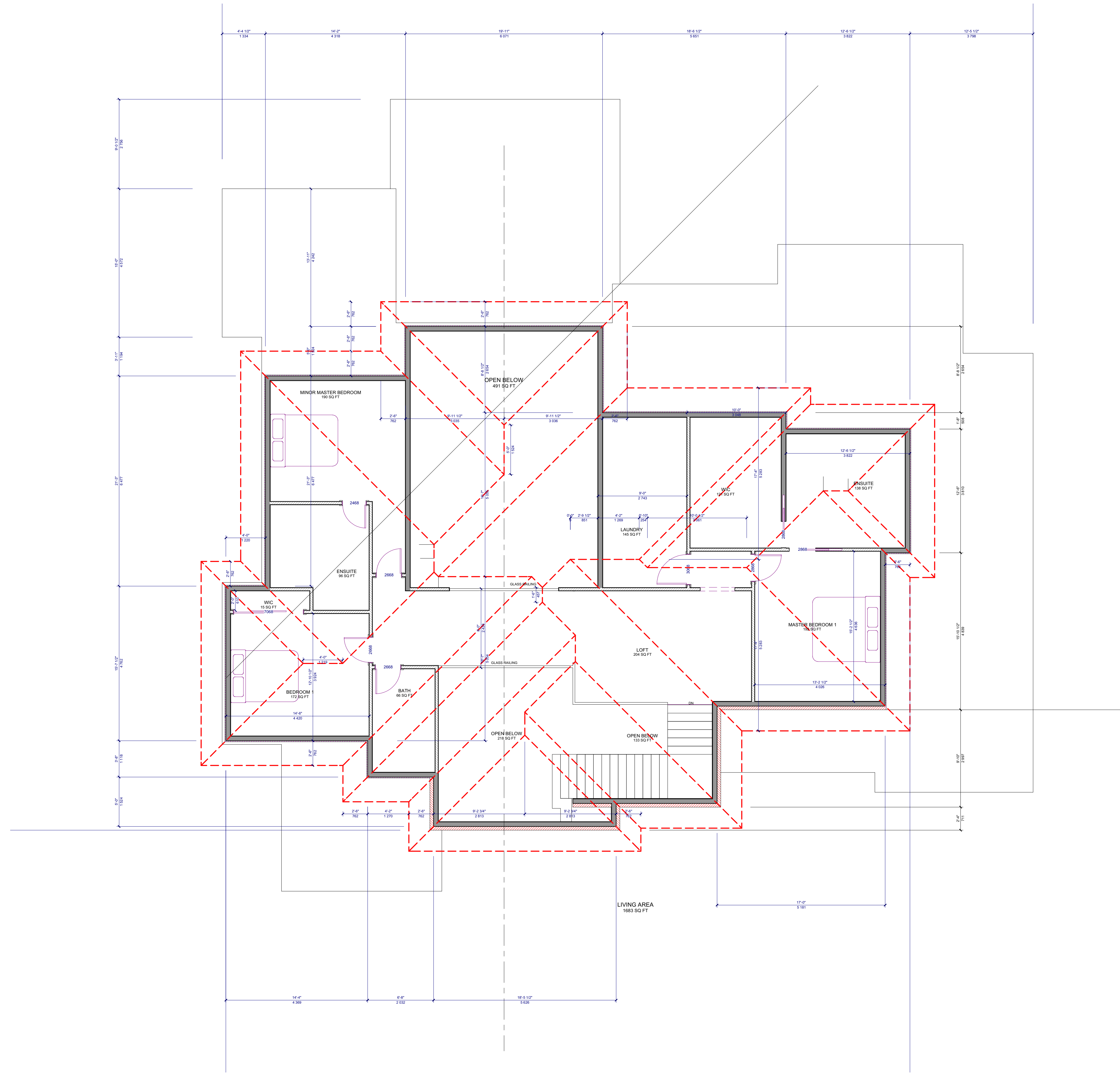
18 ROTHWELL DRIVE
SCOPE OF WORK: NEW SINGLE DETACHED DWELLING

NO.	REVISION/ISSUE	DATE
4	CONST. SET 2	000000
3	REVISIONS TO FINAL	000000
2	FINAL	000000
1	PRELIMINARY	11/01/22

PROJECT: 18 ROTHWELL DR.
NEW SINGLE DETACHED
18 ROTHWELL DR.
OTTAWA, ON K1H 7G4
613 000-0004

DRAWING NAME:
SECOND FLOOR PLAN

DRAWN BY: F.M. SHEET: A4
DATE: MAY 18, 2022
SCALE: AS NOTED



MATERIAL LEGEND & NOTES

- ① FIBRE CEMENT PANELING FINISH (SPEC. B')
- ② STONE VENEER EXTERIOR FINISH (SPEC. C)
- ③ HORIZ. CORRUGATED STEEL SIDING - WOOD FINISH (SPEC. B)
- ④ VERT. CORRUGATED STEEL SIDING (SPEC. B)
- ⑤ FIBRE CEMENT PANELS SIDING (SPEC. B)
- ⑥ ALUMINUM PANELS SIDING or ALUMINUM STOCK EXT.
- ⑦ 4" or 5" PRE-CAST CONC. SILL
- ⑧ ALUMINUM STOCK CLAD FASCIA
- ⑨ CEMENT PARING TO 4" BELOW GRADE
- ⑩ DRAIN TO BE CONNECTED TO WEEPING TILE
- ⑪ ASPHALT SHINGLES
- ⑫ GLASS & METAL GUARDRAIL
- ⑬ 5" WIDE PRE-CAST CONC. SURROUND
- ⑭ ALUM. CLAD POST
- ⑮ 5" RAISED EIFS SURROUND
- ⑯ 6" DOUBLE RAISED EIFS FREIZE (4" x 2")
- ⑰ 12" WIDE PRE-CAST CONC. BAND (PROFILE T.B.D.)
- ⑱ CONCRETE STEPS
- ⑲ CORRUGATED STEEL WINDOW WELL
- ⑳ 12" WIDE RAISED EIFS BAND SOLDIER BRICK COURSE

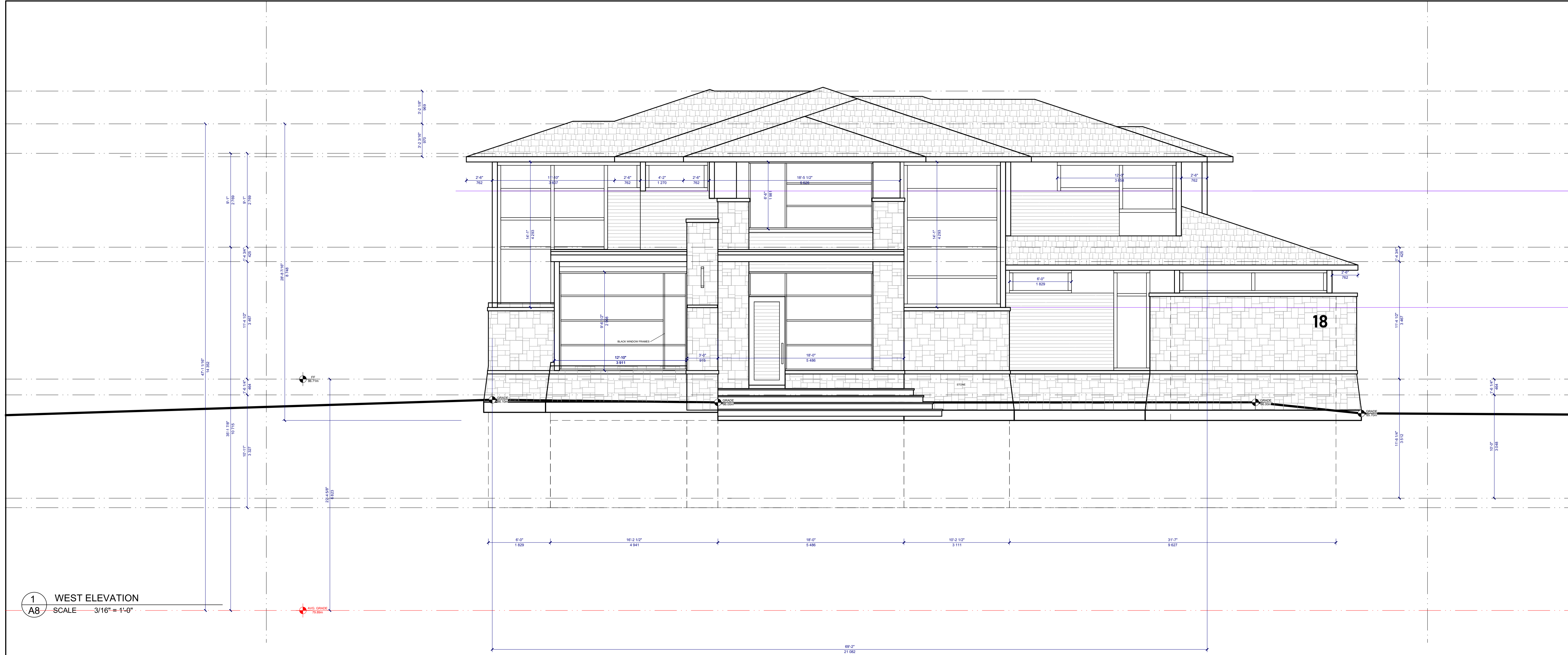
10.4 SQ. FT. GLAZING AREA USED TO CALCULATE FOR SB-12

104.9 SQ. FT. TOTAL WALL AREA USED TO CALCULATE FOR SB-12

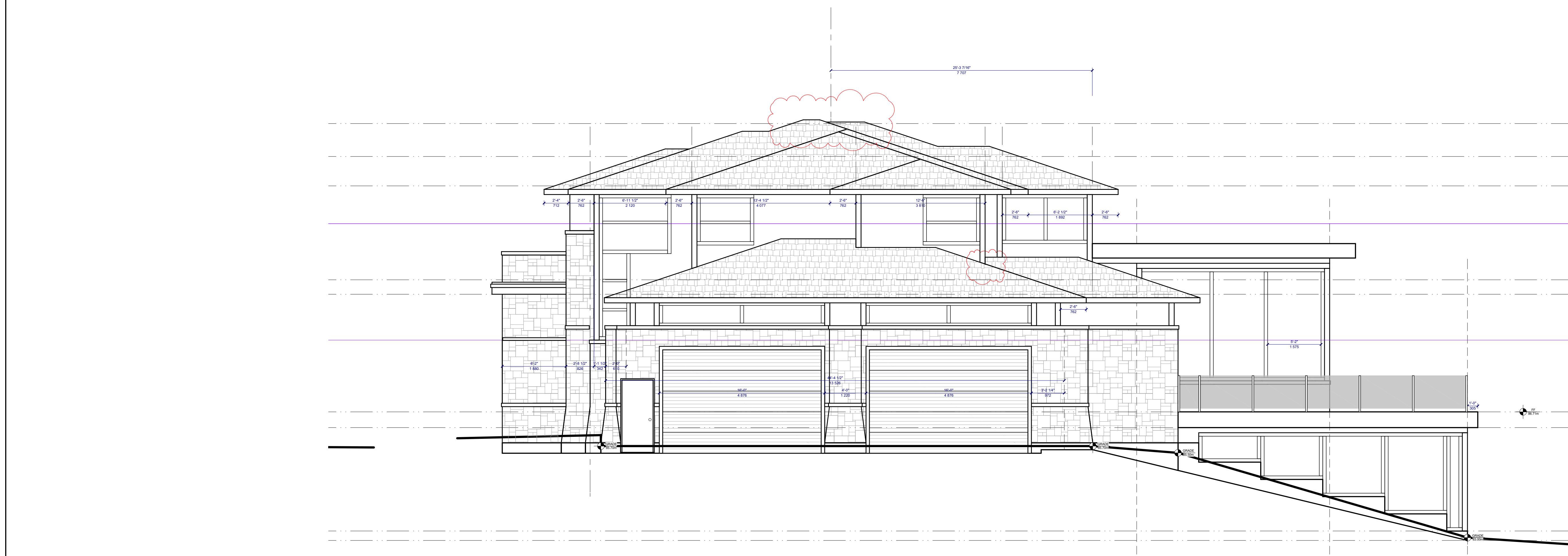
RESponsibilities:
 DO NOT SCALE DRAWINGS
 ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2006
 ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
 IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON-SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER
 COPYRIGHT RESERVED
 GENERAL NOTES

18 ROTHWELL DRIVE
 SCOPE OF WORK: NEW SINGLE DETACHED DWELLING

CONSULTANTS		
STRUCTURAL	MECHANICAL	ELECTRICAL
		MDY
4	CONST. SET 2	000000
3	REVISIONS TO FINAL	000000
2	FINAL	000000
1	PRELIMINARIES	110000
NO.	REVISION/ISSUE	DATE
PROJECT: 18 ROTHWELL DR. NEW SINGLE DETACHED 18 ROTHWELL DR. OTTAWA, ON K1J 7G4 613 000-0004		
DRAWING NAME: SECTIONS & DETAILS		
DRAWN BY: F.M.	SHEET:	A5
DATE: MAY 18, 2022		
SCALE: AS NOTED		



1 WEST ELEVATION
SCALE 3/16" = 1'-0"



2 SOUTH ELEVATION
SCALE 3/16" = 1'-0"

MATERIAL LEGEND & NOTES

- 1 FIBRE CEMENT PANELING FINISH (SPEC. B')
- 2 STONE VENEER EXTERIOR FINISH (SPEC. C)
- 3 HORZ. STEEL SIDING - WOOD FINISH (SPEC. B)
- 4 VERT. CORRUGATED STEEL SIDING (SPEC. B)
- 5 FIBRE CEMENT PANELS SIDING
- 6 ALUMINUM PANELS SIDING or ALUMINUM STOCK EXT.
- 7 4" or 5" PRE-CAST CONC. SILL
- 8 ALUMINUM STOCK CLAD FASCIA
- 9 CEMENT PARING TO 4" BELOW GRADE
- 10 DRAIN TO BE CONNECTED TO WEEPING TILE
- 11 ASPHALT SHINGLES
- 12 GLASS & METAL GUARDRAIL SURROUND
- 13 5" WIDE PRE-CAST CONC. SURROUND
- 14 ALUM. CLAD POST
- 15 5" RAISED EIFS SURROUND
- 16 6" DOUBLE RAISED EIFS FREIZE (4" x 2")
- 17 12" WIDE PRE-CAST CONC. BAND (PROFILE T.B.D.)
- 18 CONCRETE STEPS
- 19 CORRUGATED STEEL WINDOW WELL
- 12" WIDE RAISED EIFS BAND
- SOLDIER BRICK COURSE

10.4 SQ. FT. GLAZING AREA USED TO CALCULATE FOR SB-12

10.4 SQ. FT. TOTAL WALL AREA USED TO CALCULATE FOR SB-12

NOTES

1. SOMA STUDIO - BCIN# 33578
2277 PROSPECT AVENUE
OTTAWA, ON K1H 7G2

2. FERNANDO MATOS - BCIN# 22451
QUALIFICATION INFO
SMALL BUILDINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:

DO NOT SCALE DRAWINGS

ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION

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GENERAL NOTES

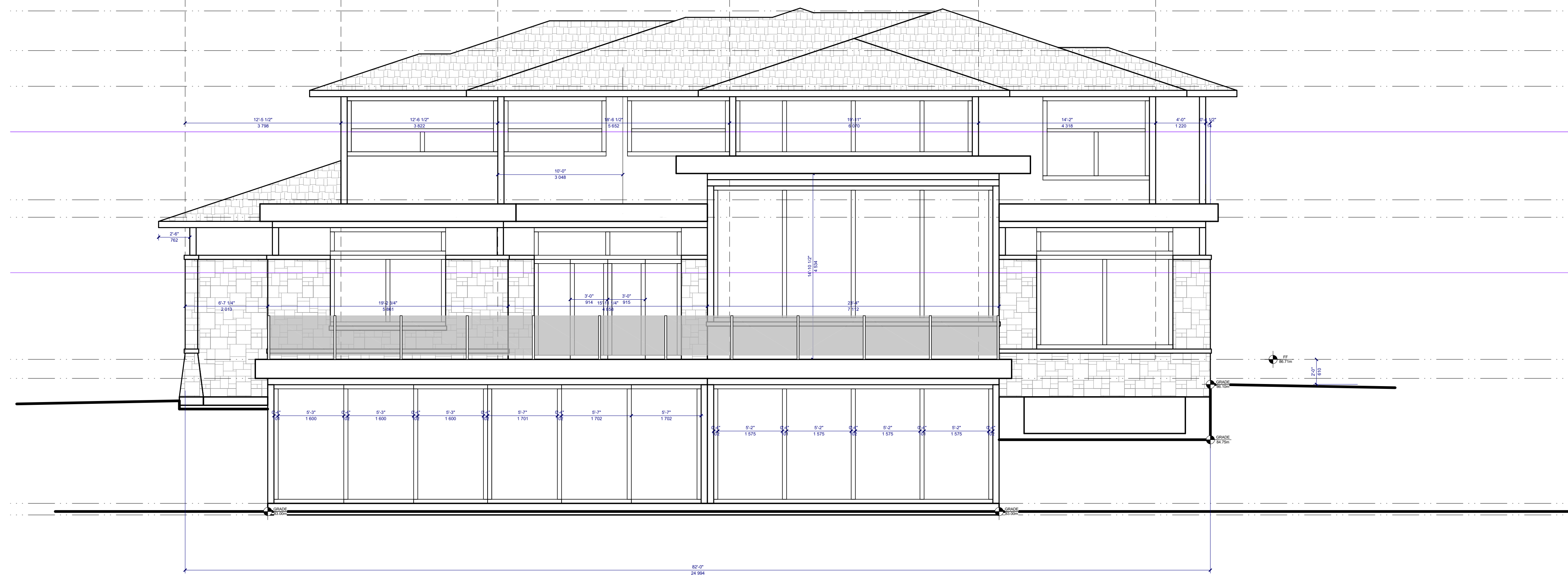
18 ROTHWELL DRIVE
SCOPE OF WORK: NEW SINGLE DETACH DWELLING

NO.	REVISION/ISSUE	DATE
4	CONST. SET 2	000000
3	REVISIONS TO FINAL	000000
2	FINAL	000000
1	PRELIMINARY	110522

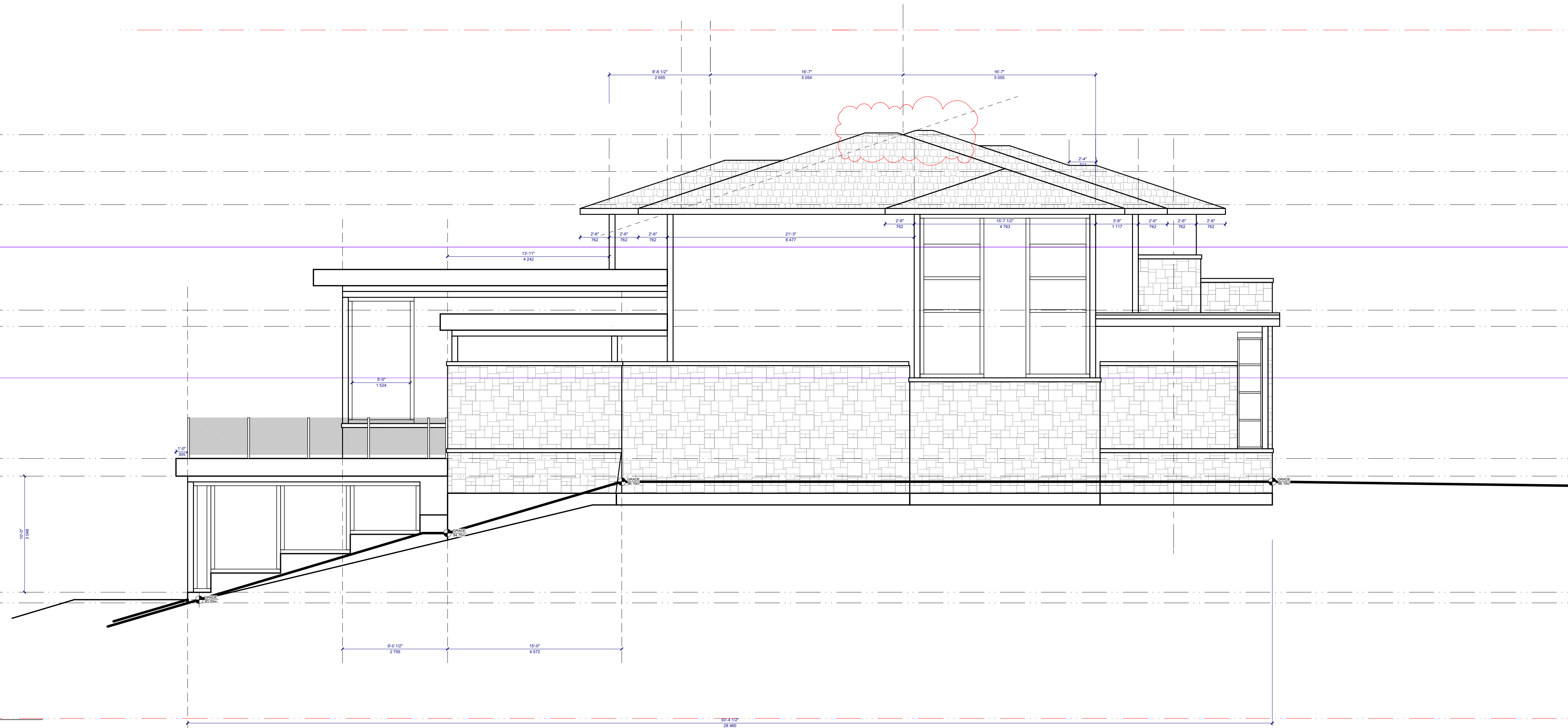
PROJECT: 18 ROTHWELL DR.
NEW SINGLE DETACHED
18 ROTHWELL DR.
OTTAWA, ON K1H 7G4
613 000-0004

DRAWING NAME: ELEVATIONS

DATE: MAY 18, 2022	SHEET: A8
SCALE: AS NOTED	



1 EAST ELEVATION
 A9 SCALE 3/16" = 1'-0"



2 NORTH ELEVATION
 A9 SCALE 1/4" = 1'-0"

SOMA STUDIO - BCIN# 33578
 2277 PROSPECT AVENUE
 OTTAWA, ON K1H 7G2
 FERNANDO MATOS - BCIN# 22431
 613-884-4425

QUALIFICATION INFO
 SMALL BUILDINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:
 DO NOT SCALE DRAWINGS
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GENERAL NOTES:

18 ROTHWELL DRIVE
 SCOPE OF WORK: NEW SINGLE DETACH DWELLING

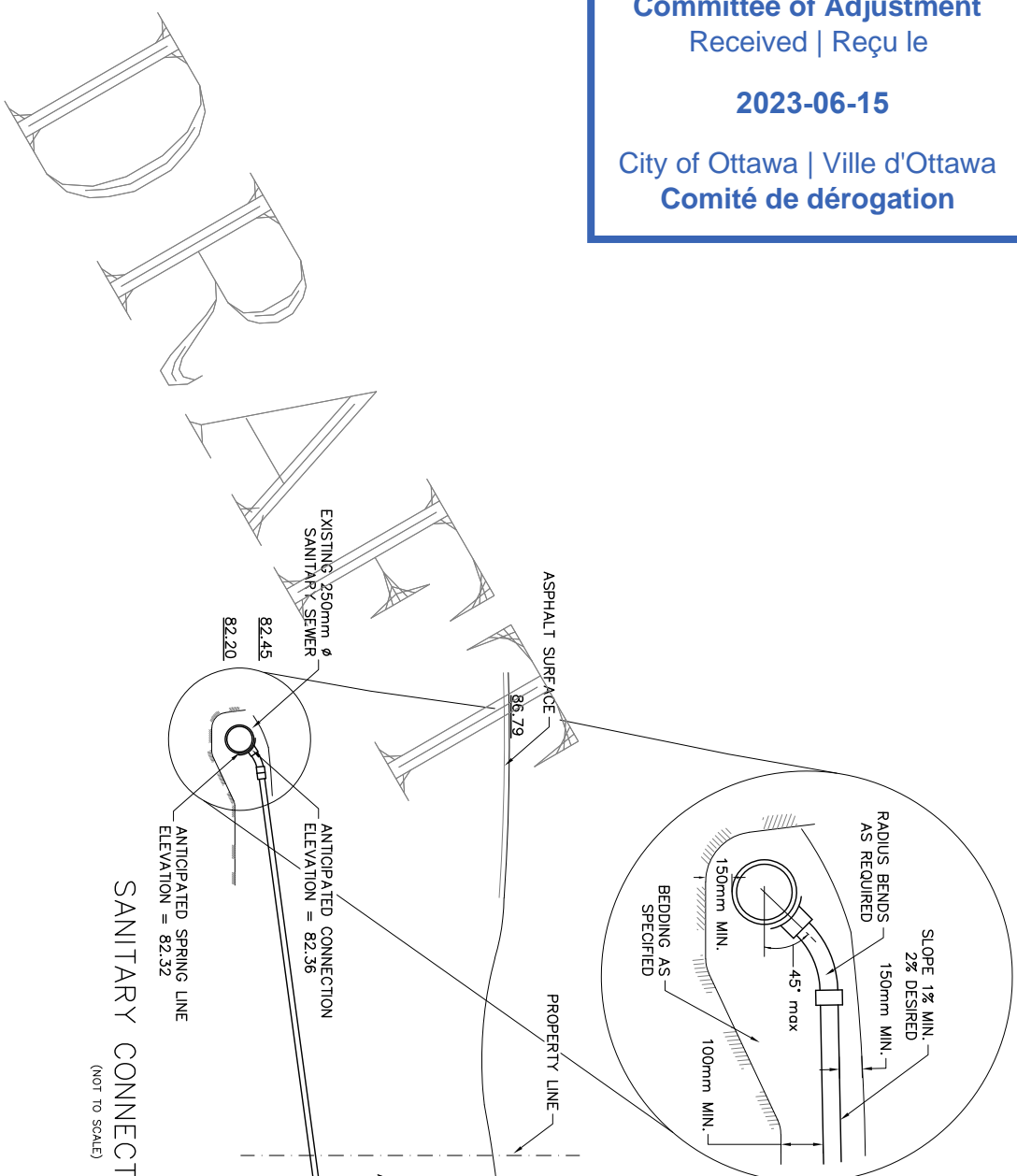
CONSULTANTS		
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
4	CONST. SET 2	0000000
3	REVISIONS TO FINAL	0000000
2	FINAL	0000000
1	PRELIMINARY	1105122
NO.	REVISION/ISSUE	DATE

PROJECT: 18 ROTHWELL DR.
 NEW SINGLE DETACHED
 18 ROTHWELL DR.
 OTTAWA, ON K1H 7G4
 613 000-0004

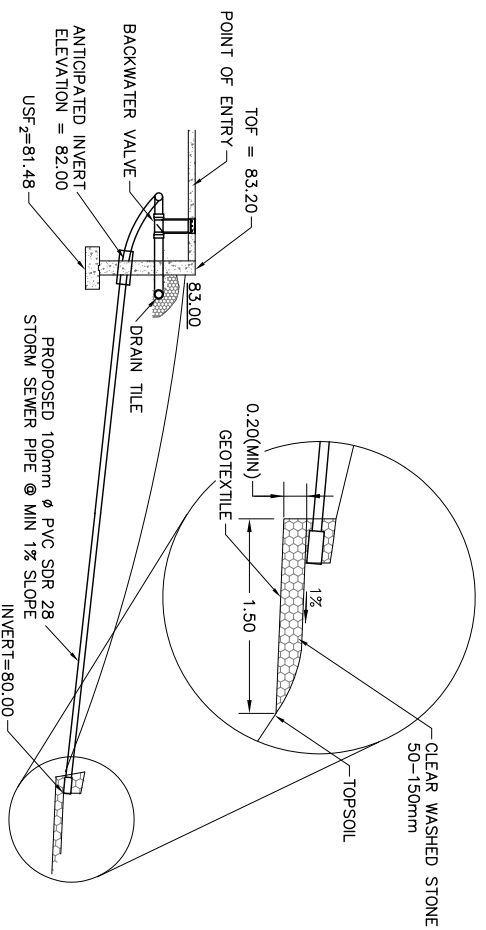
DRAWING NAME: ELEVATIONS

BY:	F.M.	SHEET:
DATE:	MAY 18, 2022	A9
SCALE:	AS NOTED	

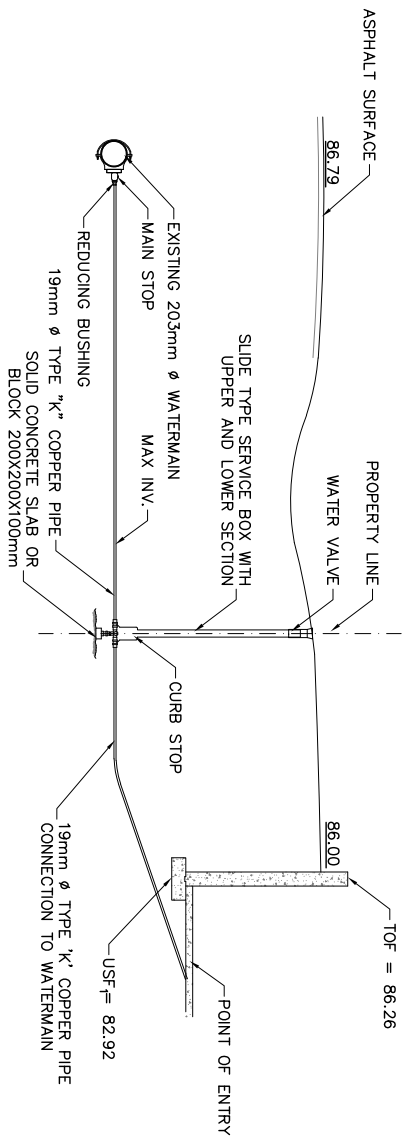
Committee of Adjustment
 Received | Reçu le
2023-06-15
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



SANITARY CONNECTION DETAIL
(NOT TO SCALE)



DRAIN TILE AND SUMP DETAIL
(NOT TO SCALE)



WATER CONNECTION DETAIL
(NOT TO SCALE)

BEDDING AS PER OTTAWA STANDARD DWG. NO. S7

INSULATION MUST BE PROVIDED AT LOCATIONS WITH LESS THAN 2.0 METRES OF COVER AS PER CITY STD DWG W22

CONNECTIONS AS PER CITY OF OTTAWA STANDARD DWG. NO. S11.1 (MODIFIED OP-SD-1006.020)

DRAWING NUMBER: 230347-DET

CONSTRUCTION NOTES:

1. All dimensions and elevations are in metres. Do not scale drawing.
2. This drawing is not a legal survey, a utility plan or a site plan and is for sanitary, storm and water servicing only.
3. TBM = Top of spindle of fire hydrant. Elevation = 87.80 metres as per Farley, Smith and Denis Surveying Ltd File No. 676-22.
4. This drawing cannot be accepted as acknowledging all of the utilities, and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
5. This drawing is not for construction until approved by the relevant authorities.
6. Top of Foundation (TOF) elevations are shown on underside of Footing (USF) elevations are shown on drawing.
7. Existing location of watermain, sanitary sewer and storm sewer as shown on this plan are approximate. Contractor to verify in the field to confirm exact location prior to construction.
8. Service laterals to be insulated where soil is cover is less than 2.4 metres for water services and 2 metres sanitary and storm services as per City of Ottawa Standard Drawing W22.
9. If water service is less than 2.4 metres from sewer manhole or catchbasin, contractor shall insulate between them with 50mm rigid insulation as per City of Ottawa Standard Drawing W23.
10. Bedding for sewers and watermain installation shall be granular type 'A' compacted to 95% dry proctor density.
11. All dimensions to be verified on site by contractor prior to construction.
12. Client is responsible for acquiring all necessary permits.
13. A geotechnical engineer should be retained to provide geotechnical recommendations with respect to the subgrade conditions prior to footing installation.
14. Elevations of existing storm and sanitary services were provided by the Information Centre at the City of Ottawa.
15. Any changes made to this plan must be verified and approved by Kollaard Associates Inc.

REV.	NAME	DATE	DESCRIPTION

Kollaard Associates
 Engineers
 (613) 860-0923
 210 PRESCOTT STREET
 PO BOX 189
 KEMPVILLE ONTARIO
 K0G 1J0
 FAX (613) 258-0475
 www.kollaard.ca
 info@kollaard.ca

CLIENT: HANADI DAWI

PROJECT: SINGLE FAMILY DWELLING

DRAWING: PROPOSED SERVICING DETAILS

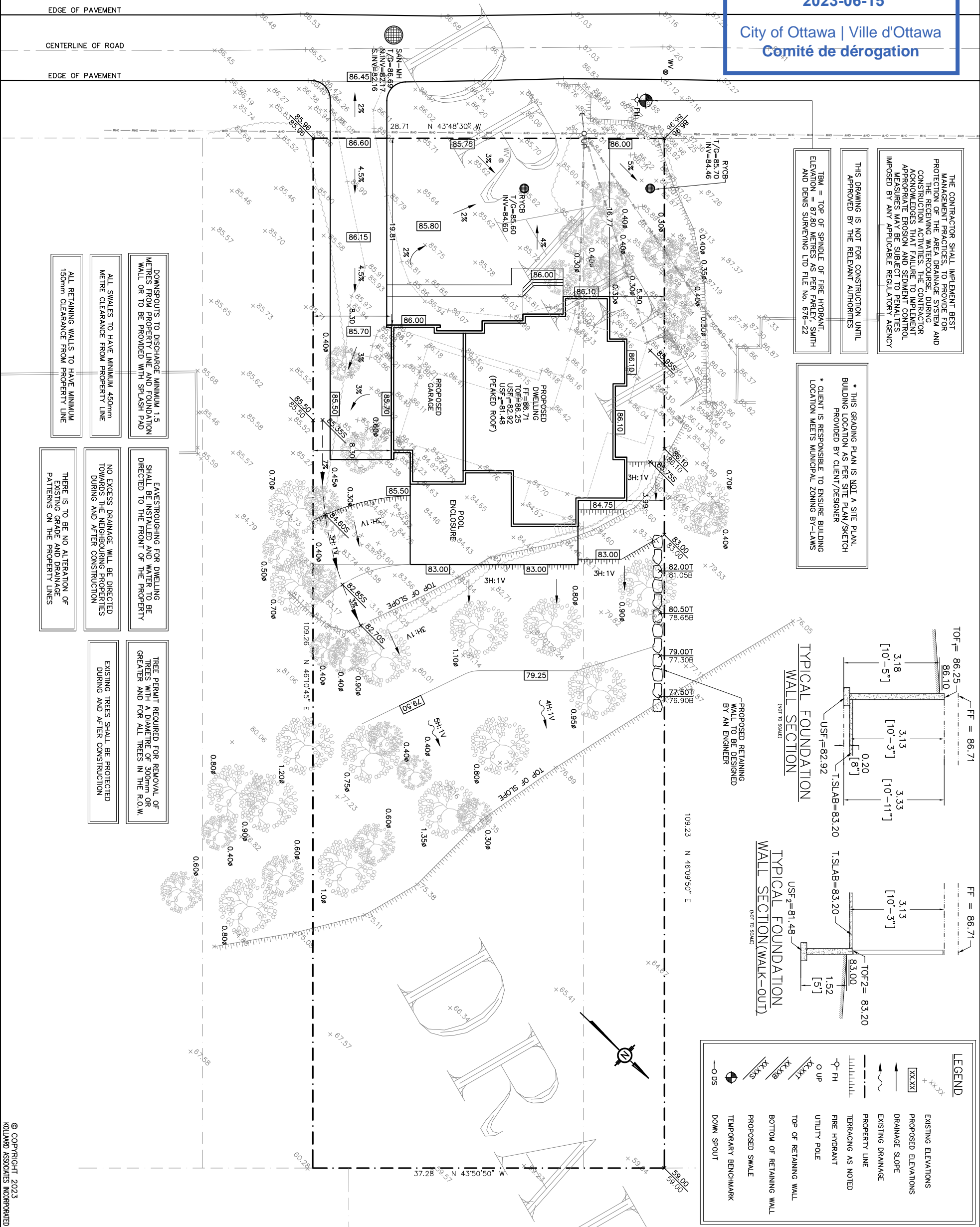
LOCATION: 18 ROTHWELL DRIVE
 PLAN 652, SUBLLOT 167 & 168
 LOT 19, CONC. 1,
 GLOUCESTER,
 CITY OF OTTAWA, ONTARIO

DESIGNED BY: NR
DATE: MAY 9, 2023

DRAWN BY: NR
SCALE: N.T.S.

KOLLAARD FILE NUMBER: 230347

ROTHWELL DRIVE



THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE, DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY

THIS DRAWING IS NOT FOR CONSTRUCTION UNTIL APPROVED BY THE RELEVANT AUTHORITIES

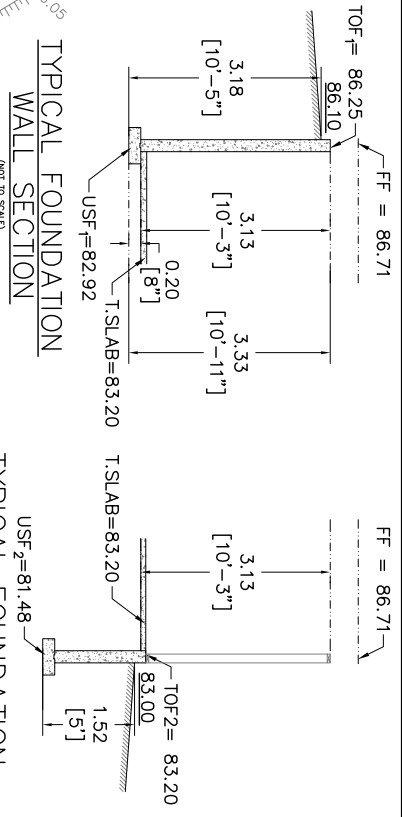
TBM = TOP OF SPINDLE OF FIRE HYDRANT. ELEVATION = 87.80 METRES AS PER FARLEY, SMITH AND DENIS SURVEYING LTD FILE NO. 676-22

* THIS GRADING PLAN IS NOT A SITE PLAN. BUILDING LOCATION AS PER SITE PLAN/SKETCH PROVIDED BY CLIENT/DESIGNER
* CLIENT IS RESPONSIBLE TO ENSURE BUILDING LOCATION MEETS MUNICIPAL ZONING BY-LAWS

DOWNSPOUTS TO DISCHARGE MINIMUM 1.5 METRES FROM PROPERTY LINE AND FOUNDATION WALL OR TO BE PROVIDED WITH SPLASH PAD
ALL SWALES TO HAVE MINIMUM 450mm METRE CLEARANCE FROM PROPERTY LINE
ALL RETAINING WALLS TO HAVE MINIMUM 150mm CLEARANCE FROM PROPERTY LINE

EAVESDRAINING FOR DWELLING SHALL BE INSTALLED AND WATER TO BE DIRECTED TO THE FRONT OF THE PROPERTY
NO EXCESS DRAINAGE WILL BE DIRECTED TOWARDS THE NEIGHBOURING PROPERTIES DURING AND AFTER CONSTRUCTION
THERE IS TO BE NO ALTERATION OF EXISTING GRADE AND DRAINAGE PATTERNS ON THE PROPERTY LINES

TREES REQUIRING REMOVAL OF TREES WITH A DIAMETER OF 150MM OR GREATER AND FOR ALL TREES IN THE R.O.W.
EXISTING TREES SHALL BE PROTECTED DURING AND AFTER CONSTRUCTION



LEGEND

XXXXX	EXISTING ELEVATIONS
XXXXX	PROPOSED ELEVATIONS
XXXXX	DRAINAGE SLOPE
XXXXX	EXISTING DRAINAGE
XXXXX	PROPERTY LINE
XXXXX	TERRACING AS NOTED
XXXXX	FIRE HYDRANT
XXXXX	UTILITY POLE
XXXXX	TOP OF RETAINING WALL
XXXXX	BOTTOM OF RETAINING WALL
XXXXX	PROPOSED SWALE
XXXXX	TEMPORARY BENCHMARK
XXXXX	DOWN SPOUT

- CONSTRUCTION NOTES:
- All dimensions and elevations are in metres. Do not scale drawing.
 - This drawing is not a legal survey, a utility plan or a site plan and is for grading purposes only.
 - TBM = Top of spindle of fire hydrant. Elevation = 87.80 metres as per Farley, Smith and Denis Surveying Ltd File No. 676-22.
 - This drawing cannot be accepted as acknowledgment of the user to contact the respective utility authorities for confirmation.
 - This drawing is not for construction until approved by the relevant authorities.
 - Contractor is responsible for location and protection of utilities.
 - Top of Foundation (TOP) elevation and Underdrain of Footing (USF) elevation for dwelling are as shown on drawing.
 - Finished grade around dwelling to be as shown.
 - Maximum allowable slope on site is 3H:1V. Finished grade to slope away from house at all sides at a minimum of 2%, and a maximum of 7%. Maximum slope away from septic system area is 4H:1V.
 - All dimensions to be verified on site by contractor prior to construction.
 - Client is responsible for acquiring all necessary permits.
 - The proposed grades have been set and verified for site grading control only. The grade rise of the house location should be verified with regard to subsurface conditions by qualified geotechnical personnel after completion of the excavation.
 - The underside of footing elevation may not have been accounted for actual ground water conditions at the exact house location and should be verified by qualified geotechnical personnel upon completion of the excavation.
 - A geotechnical engineer should be retained to provide geotechnical recommendations with respect to the subgrade conditions prior to footing installation.
 - Frost protection will be required for the foundation footing where the soil cover over the underside of footing is less than 1.52 metres.
 - Any changes made to this plan must be verified and approved by Kollaard Associates Inc.

Kollaard Associates
Engineers
210 PRESCOTT STREET
PO BOX 189
KEMPVILLE ONTARIO
K0G 1J0
(613) 860-0923
FAX (613) 258-0475
www.kollaard.ca
info@kollaard.ca

CLIENT: HANADI DAWI

PROJECT: SINGLE FAMILY DWELLING

DRAWING: PROPOSED LOT GRADING PLAN

LOCATION: 18 ROTHWELL DRIVE
PLAN 652, SUBLLOT 167 & 168
LOT 19, CONC. 1,
GLOUCESTER,
CITY OF OTTAWA, ONTARIO

DESIGNED BY: NR
DRAWN BY: NR
DATE: MAY 9, 2023
SCALE: 1:400
KOLLAARD FILE NUMBER: 230347

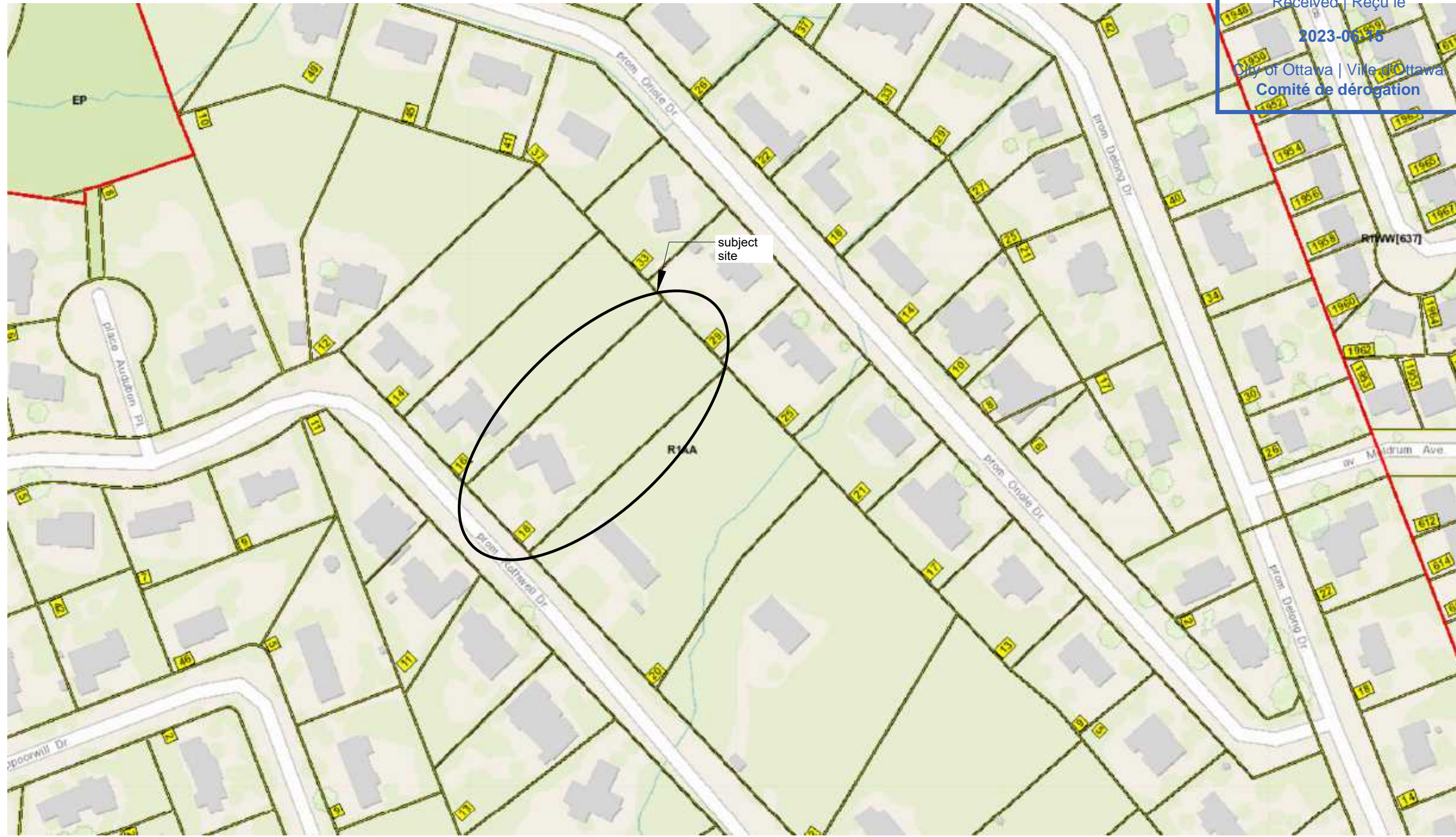
REV. NAME DATE DESCRIPTION

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Modulink
Planning & Design
331 Osgoode Street
Apt 3, Ottawa, Ont.
K1N 1H2

ISSUE
DRAWN BY
CJ

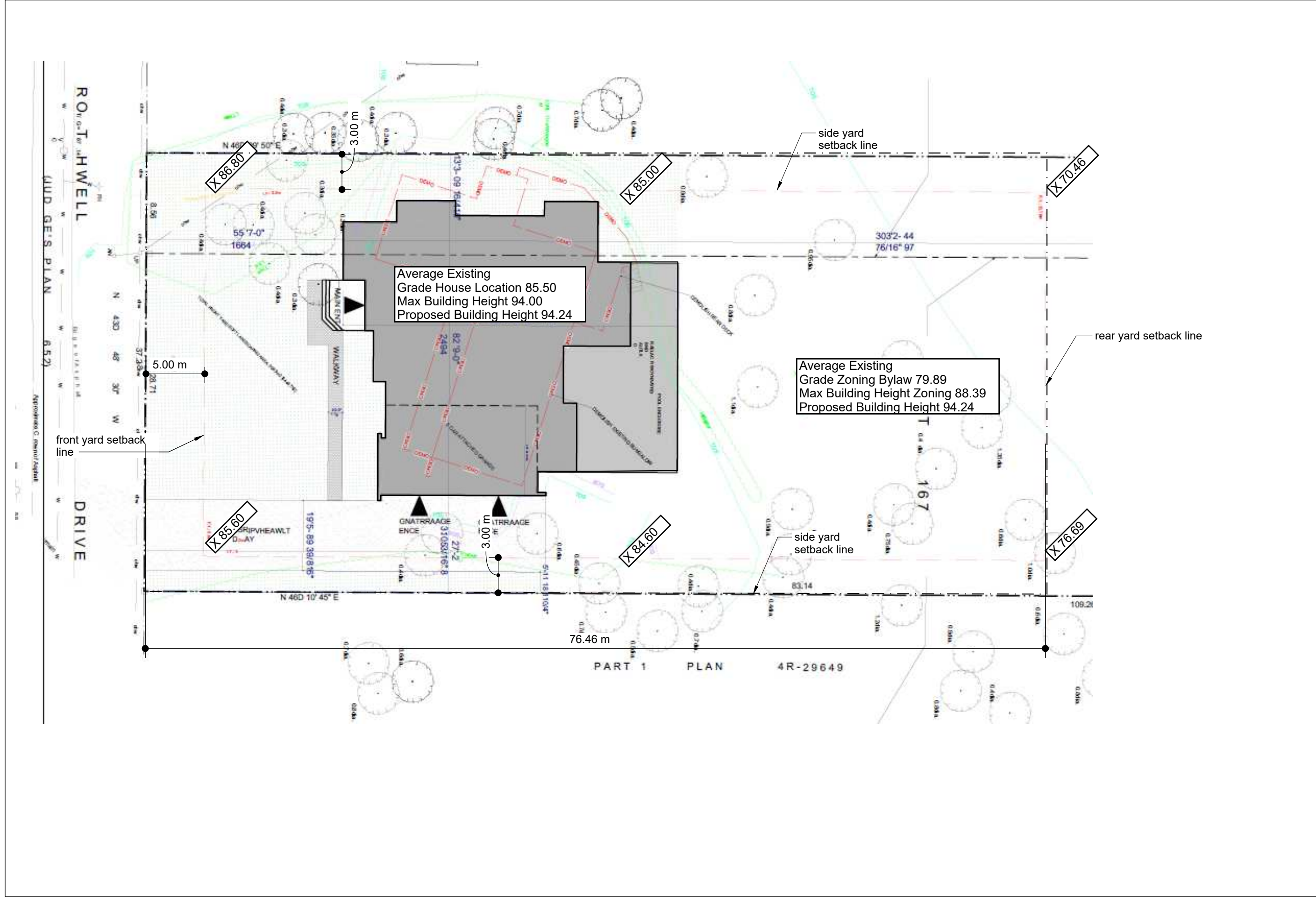
PROJECT
18 Rothwell Drive

CLIENT

PROJECT NO.
2023

Scale
1:2000

May 11, 2023
Neighbourhood



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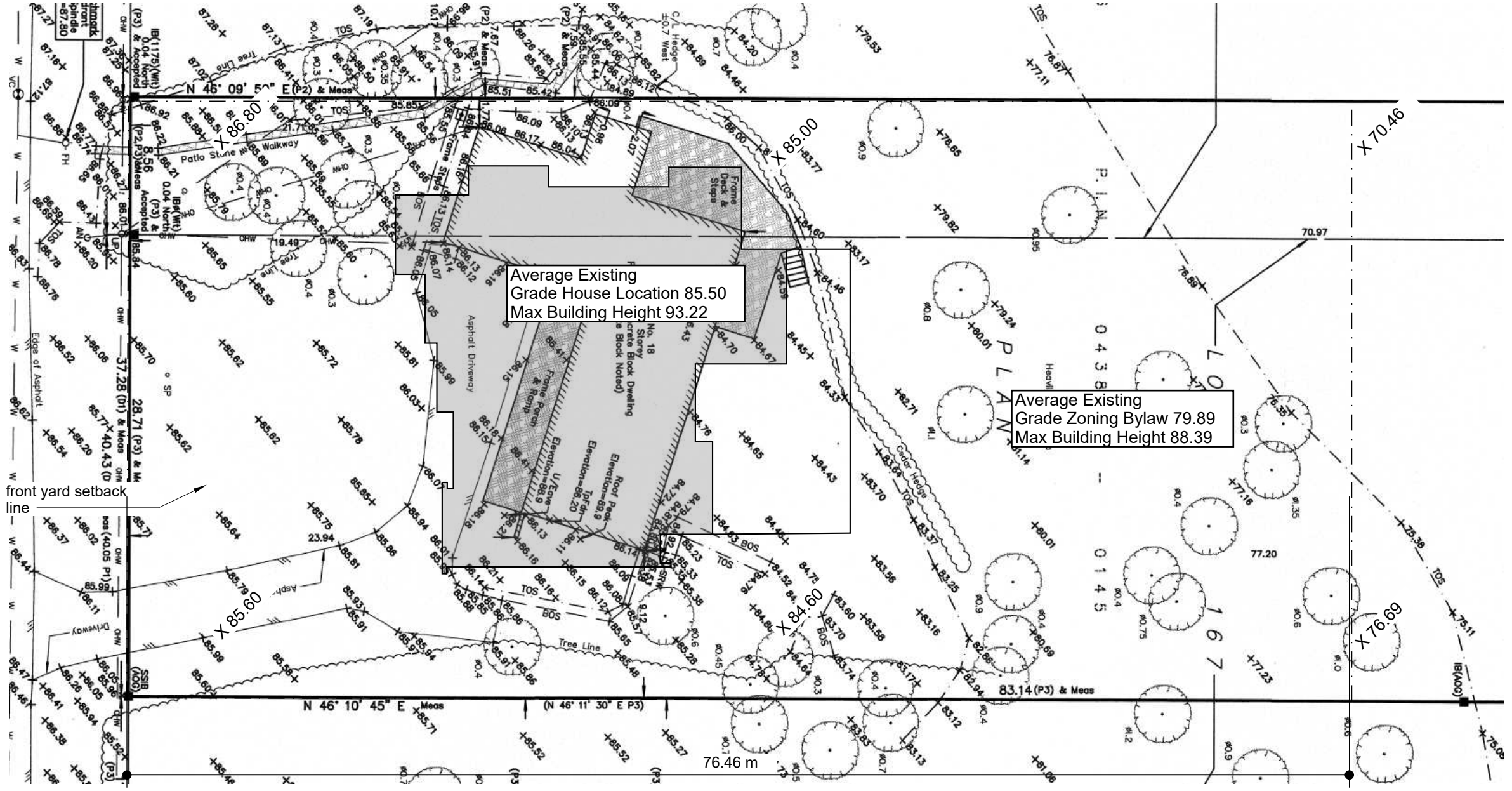
ISSUE May 11, 2023
PROJECT 18 Rothwell Drive
CLIENT
DRAWN BY CJ
PROJECT NO. 2023
Scale 1:500

Building Height



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CLIENT
18 Rothwell Drive

PROJECT NO.
2023

Scale
1:500

ISSUE
May 11, 2023
Survey

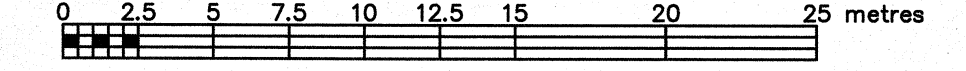
PART OF LOTS 167 & 168

JUDGE'S PLAN 652

CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2022

Scale 1: 250



Metric Note

Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99995.

Bearing Note

Bearings are grid, are referred to the easterly limit of Rothwell Drive having a bearing of N 43° 48' 30" W as shown on Plan 4R-29649 and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°44'00" counter-clockwise was applied to bearings on P1 & P2.

Elevation Notes

- 1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 :1978. (AOG Job No. 18465-17)
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

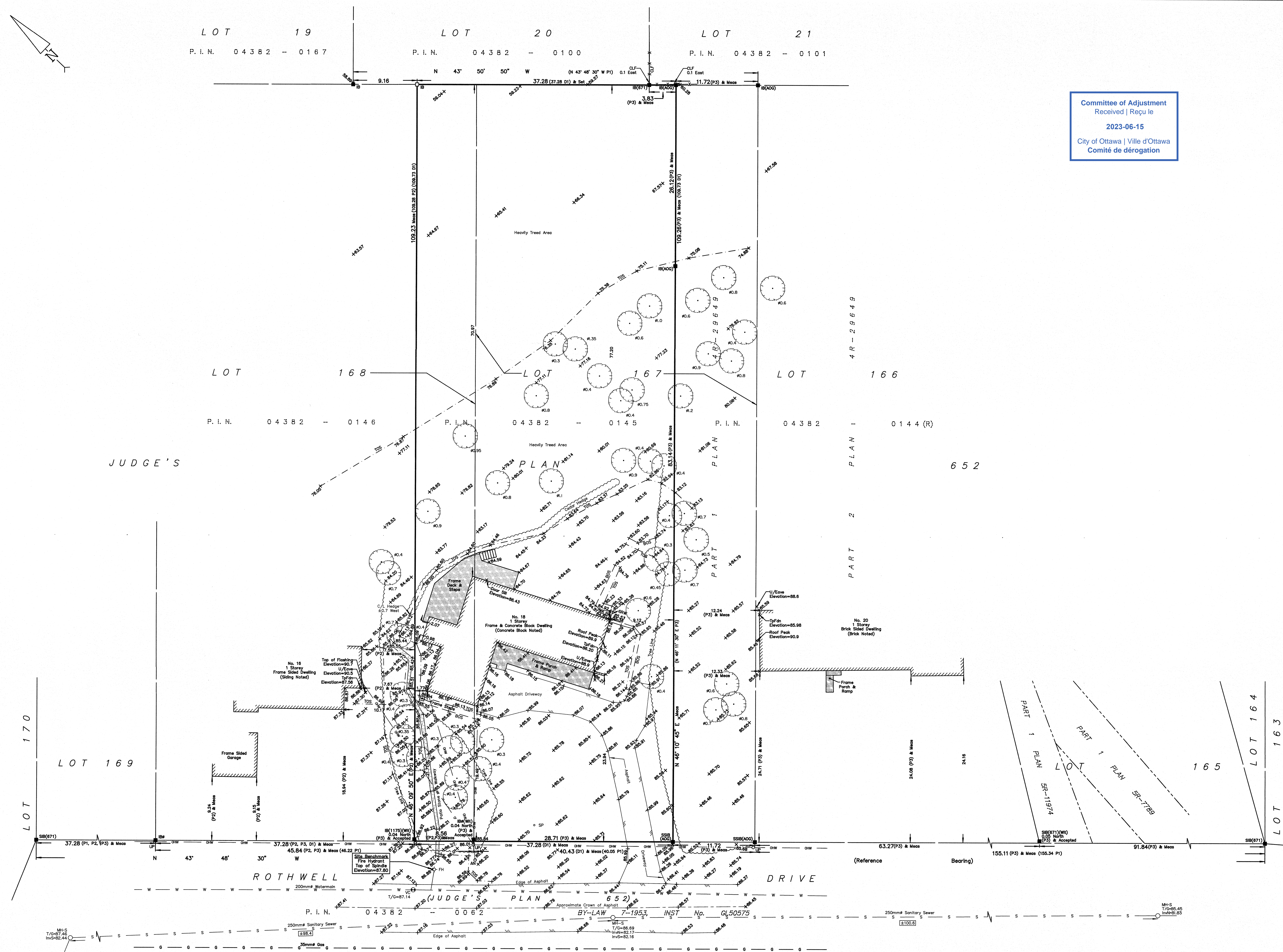
Utility Notes

- 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. Underground utility data compiled from City of Ottawa utility sheet reference: B-24-16, B-24-22, 6437p&p04 and V02-A04-120-2.
4. Sanitary and storm sewer grades and inverts were derived from: Field measurement.
5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Notes & Legend

Table with 2 columns: Denotes and Description. Includes symbols for Survey Monument Planted, Standard Iron Bar, Short Standard Iron Bar, Iron Bar, Round Iron Bar, Witness, Measured, Judge's Plan 652, Plan by (1175) dated May 3, 2001, Plan by (AOG) dated July 20, 2016, Maintenance Hole (Sanitary), Valve Chamber (Watermain), Undergound Sanitary Sewer, Undergound Water, Undergound Gas, Overhead Wires, Utility Pole, Anchor, Fire Hydrant, Water Stand Post, Diameter, Chain Link Fence, Stone Retaining Wall, Invert, Top of Grate, Underside of Eave, Top of Foundation, Centreline, Location of Elevations, Top of Wall Elevation, Property Line, and Deciduous Tree.

Committee of Adjustment Received | Reçu le 2023-06-15 City of Ottawa | Ville d'Ottawa Comité de dérogation



Revision Note

Revised to show mature trees with a diameter of 0.3m or greater. Date: 1/22 Daniel Robinson Ontario Land Surveyor

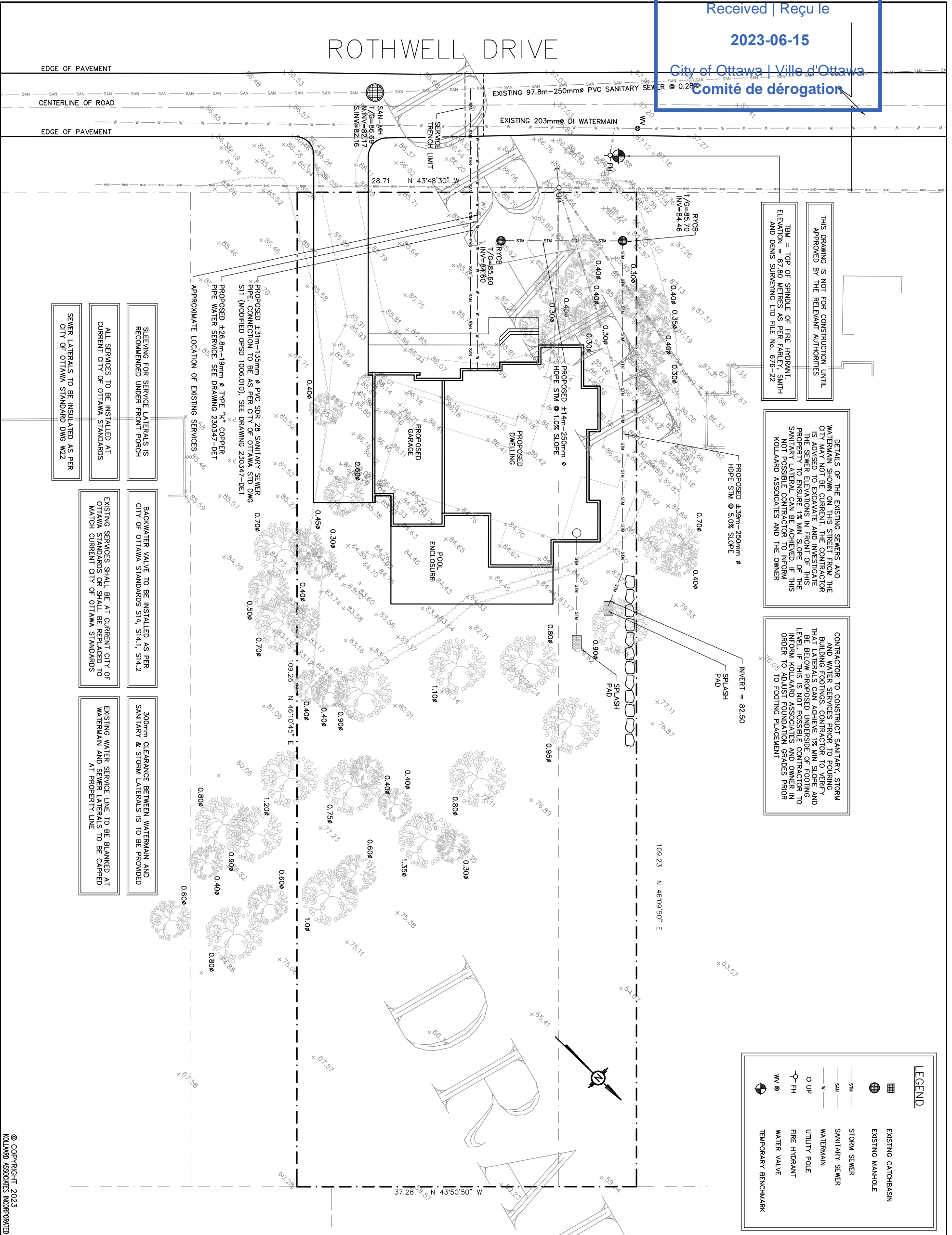
Surveyor's Certificate section containing text about the survey's accuracy and date, and the Association of Ontario Land Surveyors logo and name.

FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS CANADA LAND SURVEYORS Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6 TEL. (613) 727-8226 E-mail: fssurveys@bellnet.ca

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2023-06-15



THIS DRAWING IS NOT FOR CONSTRUCTION UNTIL APPROVED BY THE RELEVANT AUTHORITIES

TBM = TOP OF SPINDLE OF FIRE HYDRANT. ELEVATION 87.80 METRES AS PER FARLEY, SMITH AND DENIS SURVEYING LTD FILE NO. 676-22

DETAILS OF THE EXISTING SEWERS AND WATERMAIN SHOWN ON THIS STREET FROM THE CITY MAY NOT BE CURRENT. THE CONTRACTOR IS ADVISED TO EXCAVATE AND INVESTIGATE THE SEWER ELEVATIONS IN FRONT OF THIS PROPERTY TO ENSURE 1% MIN SLOPE OF THE SANITARY LATERAL CAN BE ACHIEVED. IF THIS IS NOT POSSIBLE CONTRACTOR TO INFORM KOLLAARD ASSOCIATES AND THE OWNER

CONTRACTOR TO CONSTRUCT SANITARY, STORM AND WATER SERVICES PRIOR TO POURING BUILDING FOOTINGS. CONTRACTOR TO VERIFY THAT LATERALS CAN ACHIEVE 1% MIN SLOPE AND BE BELOW PROPOSED UNDERSIDE OF FOOTING. IF THIS IS NOT POSSIBLE CONTRACTOR TO INFORM KOLLAARD ASSOCIATES AND OWNER IN ORDER TO ADJUST FOUNDATION GRADES PRIOR TO FOOTING PLACEMENT

PROPOSED ±31m-135mm Ø PVC SPR 28 SANITARY SEWER PIPE, CONNECTION TO BE AS PER CITY OF OTTAWA STD DWG S11 (MODIFIED OPD 1006.010). SEE DRAWING 230347-DET
PROPOSED ±26.8m-19mm Ø TYPE "K" COPPER PIPE WATER SERVICE. SEE DRAWING 230347-DET
APPROXIMATE LOCATION OF EXISTING SERVICES

SLEEVING FOR SERVICE LATERALS IS RECOMMENDED UNDER FRONT PORCH
ALL SERVICES TO BE INSTALLED AT CURRENT CITY OF OTTAWA STANDARDS
SEWER LATERALS TO BE INSULATED AS PER CITY OF OTTAWA STANDARD DWG W22

BACKWATER VALVE TO BE INSTALLED AS PER CITY OF OTTAWA STANDARDS S14, S14.1, S14.2
EXISTING SERVICES SHALL BE AT CURRENT CITY OF OTTAWA STANDARDS OR SHALL BE REPLACED TO MATCH CURRENT CITY OF OTTAWA STANDARDS

300mm CLEARANCE BETWEEN WATERMAIN AND SANITARY & STORM LATERALS IS TO BE PROVIDED
EXISTING WATER SERVICE LINE TO BE BLANKED AT WATERMAIN AND SEWER LATERALS TO BE CAPPED AT PROPERTY LINE

LEGEND	
	EXISTING CATCHBASIN
	EXISTING MANHOLE
	STORM SEWER
	SANITARY SEWER
	WATERMAIN
	UTILITY POLE
	FIRE HYDRANT
	WATER VALVE
	TEMPORARY BENCHMARK

DRAWING NUMBER: 230347-SER

- CONSTRUCTION NOTES:
- All dimensions and elevations are in metres. Do not scale drawing.
 - This drawing is not a legal survey, a utility plan or a site plan and is for sanitary, storm and water servicing only.
 - TBM = Top of spindle of fire hydrant. Elevation = 87.80 metres as per Farley, Smith and Denis Surveying Ltd File No. 676-22.
 - This drawing cannot be accepted as acknowledging all of the utilities, and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 - This drawing is not for construction until approved by the relevant authorities.
 - Top of Foundation (TOP) elevations and assumed Underside of Footing (USF) elevations are shown on drawing.
 - Existing location of watermain, sanitary sewer and storm sewer as shown on this plan are approximate. Contractor to verify in the field to confirm exact location prior to construction.
 - Service laterals to be insulated where soil is cover is less than 2.4 metres for water services and 2 metres for sanitary and storm services as per City of Ottawa Standard Drawing W22.
 - If water service is less than 2.4 metres from sewer manhole or catchbasin, contractor shall insulate between them with s/m rigid insulation as per City of Ottawa Standard Drawing W23.
 - Bedding for sewers and watermain installation shall be granular type "A" compacted to 95% dry proctor density.
 - All dimensions to be verified on site by contractor prior to construction.
 - Client is responsible for acquiring all necessary permits.
 - A geotechnical engineer should be retained to provide geotechnical recommendations with respect to the subgrade conditions prior to footing installation.
 - Elevations of existing storm and sanitary services were provided by the Information Centre of the City of Ottawa.
 - Any changes made to this plan must be verified and approved by Kollaard Associates Inc.

REV.	NAME	DATE	DESCRIPTION

Kollaard Associates
Engineers
(613) 860-0923

210 PRESCOTT STREET
PO BOX 189
KEMPVILLE ONTARIO
K0G 1J0

FAX (613) 258-0475
www.kollaard.ca
info@kollaard.ca

CLIENT: HANADI DAWI

PROJECT: SINGLE FAMILY DWELLING

DRAWING: PROPOSED LOT SERVICING PLAN

LOCATION: 18 ROTHWELL DRIVE
PLAN 652, SUBLLOT 167 & 168
LOT 19, CONC. 1,
GLOUCESTER,
CITY OF OTTAWA, ONTARIO

DESIGNED BY: NR
DATE: MAY 9, 2023

DRAWN BY: NR
SCALE: 1:400

KOLLAARD FILE NUMBER: 230347