

1) Introduction

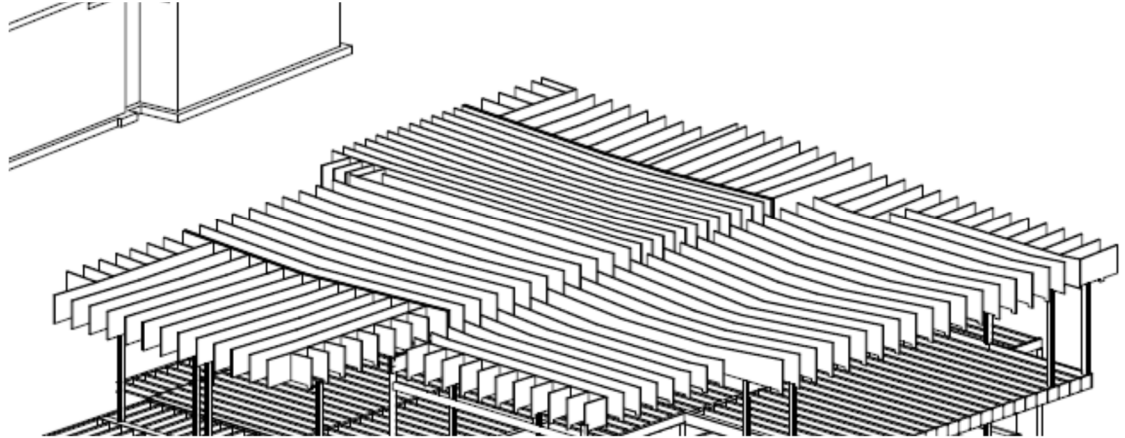
The application is a request for a variance for height of a newly constructed single-family dwelling at 358 Cunningham Ave. The property is zoned as R1GG. The property is located in a neighbourhood of large single-family homes.



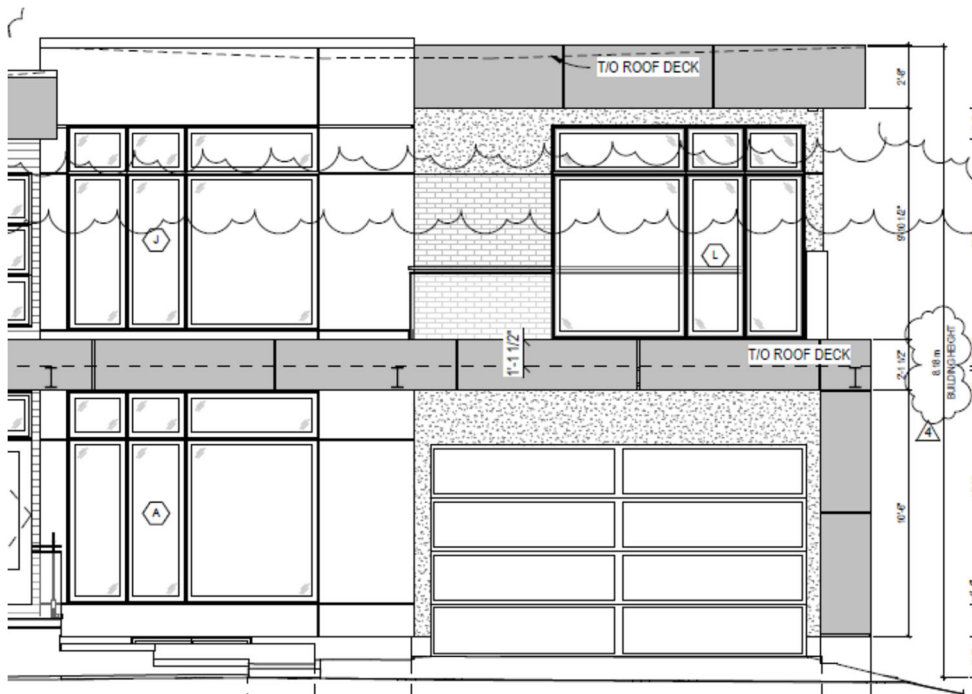
One variance is requested:

- 1) One variance to be requested would permit an increased calculated building height from the required 8.0 m to 8.18 m without changing the appearance of the building from what is permitted under the zoning bylaw.
- 2) Description
 - a) Zoning Bylaw fully compliant building permit drawings were issued regarding the construction of this single-family dwelling. The client wanted to have a modern flat roof look with significant slopes on the roof. This required the construction of a partial parapet hiding the sloped roofs internal to the building exterior. (Section 64, Permitted Projections Above the Height Limit: in the R1, R2, R3, and R4 zones located within Schedule 342, a parapet may project no more than 0.3 m above the maximum building height. (By-law 2020-289)). As a result of this design all roof storm water drainage is retained on the roof and to roof drainage to the storm water connection.

- b) Construction started
- c) Because of the complex roof structure, the client was unable procure roof trusses compliant with the building permit drawing. (see attached affidavit). As a result, the calculated roof height to the highest point of the sloped trusses is 8.18 m



- d) While the building height exceeds the permitted height the parapet height is less than permitted under the bylaw. The height of the parapet can be 0.3m higher than the permitted building height. The current roof and parapet height are a maximum of 8.28m



3) Rational

Under the current zoning bylaw and official plan the variances and consent requested are minor for the following reasons:

- They are minor and desirable.
 - The variance does not change the look of the single family dwelling as permitted under the zoning bylaw because the permitted projection of the parapet and proposed building is still less than permitted 8.30m at 8.28m
- The general intent and purpose of the Zoning By-law is maintained
 - the intent of the bylaw is to permit the single-family detached dwellings.
 - The intent of the bylaw that the additions respect the existing character of the neighbourhood.
- The general intent and purpose of the Official Plan is maintained;
 - The official plan supports this kind of gentle intensification (additions) of land uses compatible with the current urban fabric.
- The Ontario Planning Act supports intensification in residential urban areas

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