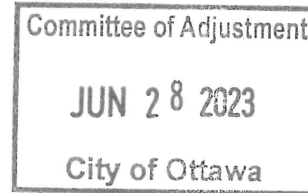


City of Ottawa Committee of Adjustment
101 Centrepointhe Drive, 4th Floor
Ottawa, ON K2G 5K7

June 28th, 2023



Attn: Mr Michel Bellemare
Secretary Treasurer

Re: 7035 Notre Dame St. (Minor Variance application)
Danik Tremblay & Danica Lavigne
Part 1 and 2 on Part Lots 22, 23, 24 (South of St. Joseph Blvd)
Reference Plan 24393, Registered Plan 86
Formerly the Geographic Township of Gloucester, Now the City of Ottawa

On behalf of our clients, we are submitting the enclosed Minor Variance application for the property at 7035 Notre Dame in order to permit the construction of two (2) semi-detached dwellings with one SDU in each dwelling. The property is in a R2N zone and is an interior lot with frontage on Notre Dame St. The existing property is a detached dwelling that does not contain an attached garage.

The variances required to permit this development are:

- A) Lot area. The Zoning By-Law requires a minimum lot area of 270m² per semi-detached dwelling, whereas we are providing a lot area of 244.56m² for the west dwelling. (Table 158A, V, Zoning By-Law 2008-250, as amended).
- B) Secondary Dwelling Unit. The Zoning By-Law states that a secondary dwelling unit is not permitted on a lot that is legally non-complying with respect to lot width or lot area, except when the lot is located in a V1, V2, V3 or VM zone. Whereas, we are proposing a secondary dwelling unit on a lot that does not comply with the minimum lot area requirement (west). (Section 139, (3), Zoning By-Law 2008-250, as amended).
- C) Lot area. The Zoning By-Law required a minimum lot area of 270m² per demi-detached dwelling, whereas we are providing a lot area of 247.22m² for the east dwelling. (Table 158A, V, Zoning By-Law 2008-250, as amended).
- D) Secondary Dwelling Unit. The Zoning By-Law states that a secondary dwelling unit is not permitted on a lot that is legally non-complying with respect to lot width or lot area, except when the lot is located in a V1, V2, V3 or VM zone. Whereas, we are proposing a secondary dwelling unit on a lot that does not comply with the minimum lot area requirement (east). (Section 139, (3), Zoning By-Law 2008-250, as amended).

All other zoning requirements including setbacks, projections, driveways, landscaping, and building height are met. Currently, the detached dwelling features a rear yard setback of 2.54m whereas the requirement is 7m. The existing dwelling also features a monolithic paved area in front of the main wall of the building, whereas the proposed development only features a driveway in front of the proposed garage structure. Therefore this development is bringing the dwelling closer to conformity with the Zoning.



GeoOttawa 2021 aerial image of the subject property.



Image of the existing dwelling at 7035 Notre Dame and the approximate location of the **front lot line**.

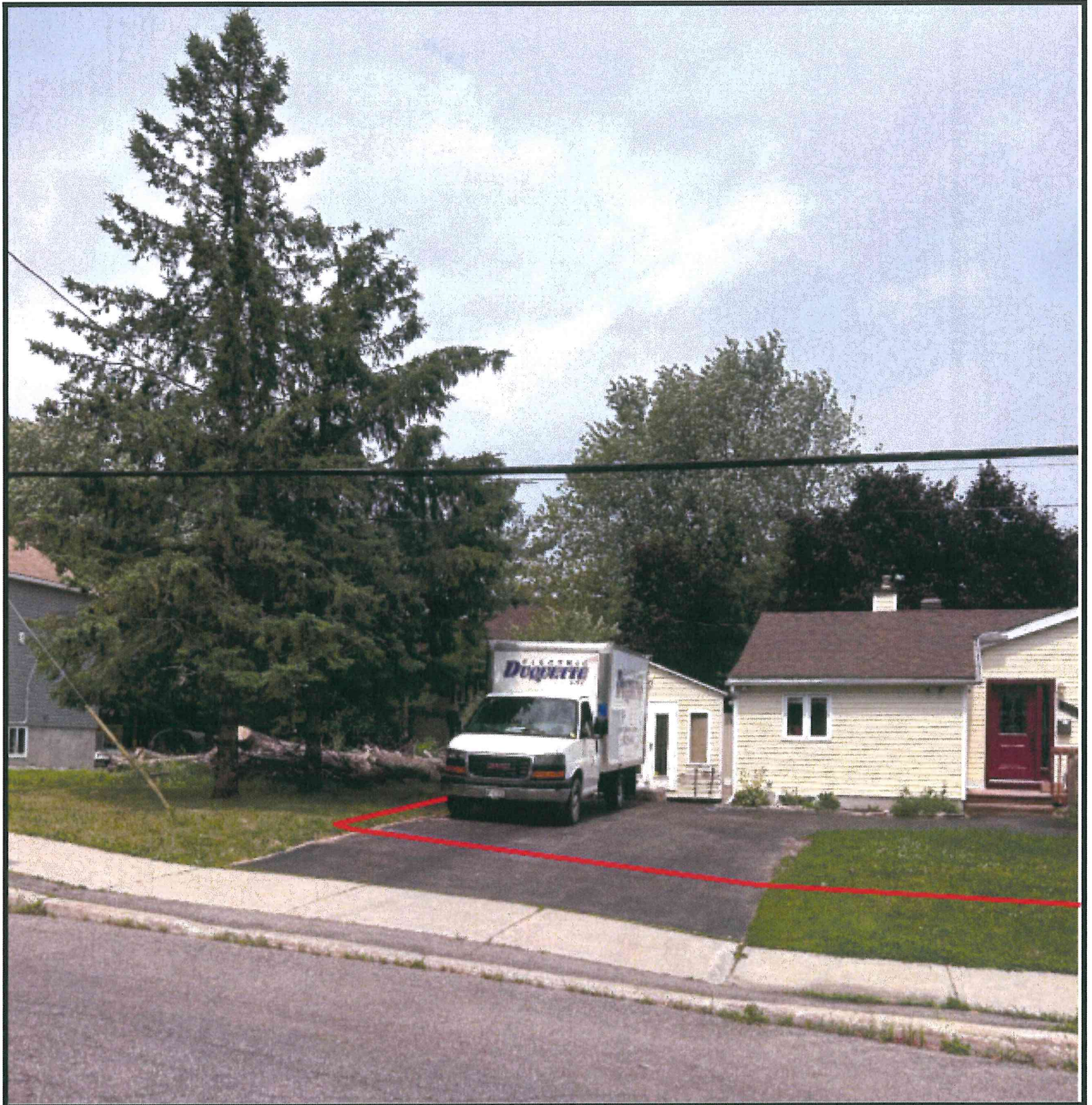


Image of 7025 Notre Dame (left) and 7035 Notre Dame (right) as well as the **approximate boundary** of the subject property.

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Phone: 613 599 9216
Email: probinson@probinsonconsulting.com



Image of 7035 Notre Dame (left) and 7039 Notre Dame (right). Note: 7039 Notre Dame is a long-semi detached dwelling with SDUs on a lot of approximately 475 m². Subject property has a total lot area of 491.78 m².

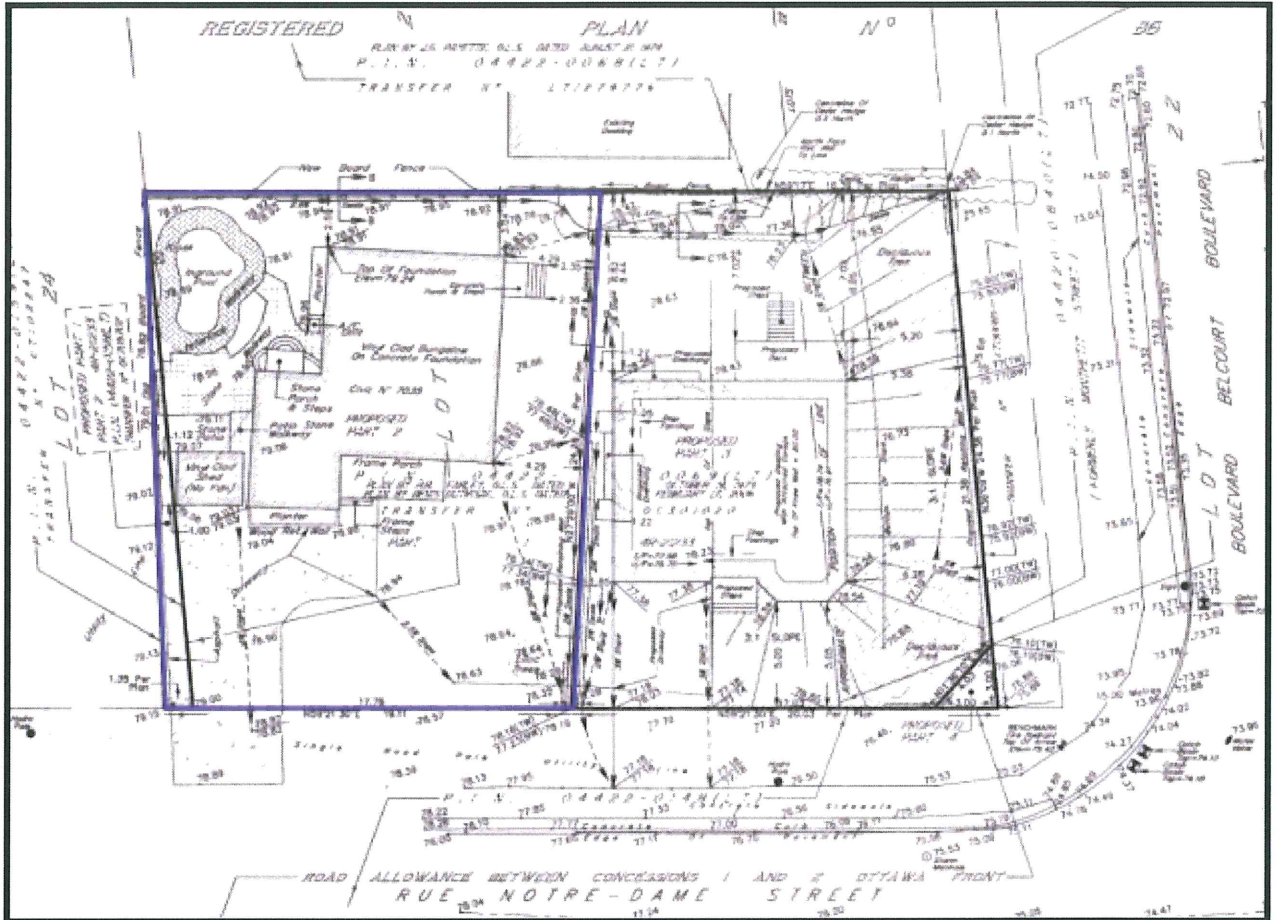


Image from the subject property looking across Notre Dame at the neighbouring properties. Note: the slope of the road which affects the location of the entries into the houses.



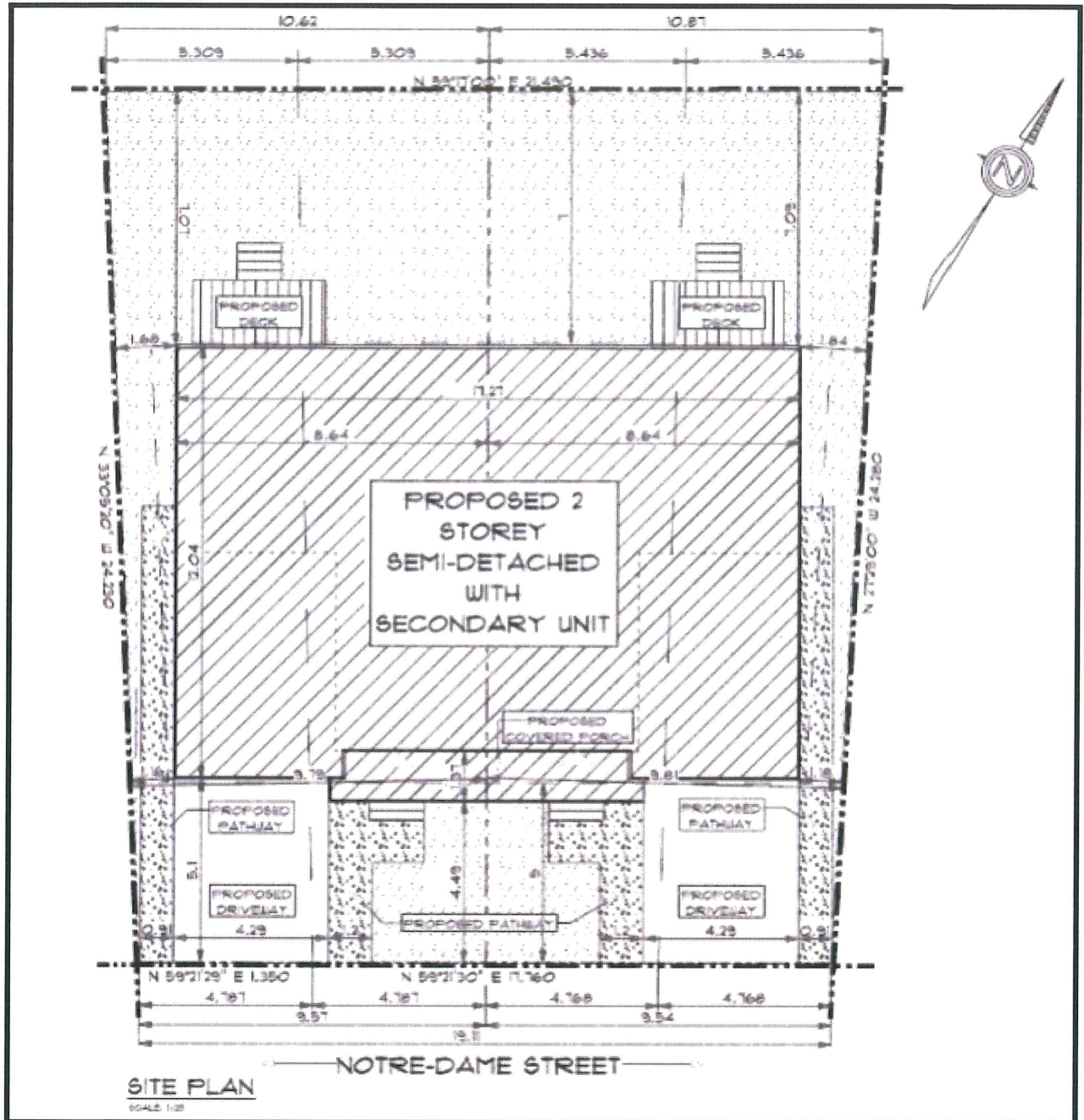
View from across the street from 7035 Notre Dame looking to the east towards the intersection of Notre Dame / Belcourt.

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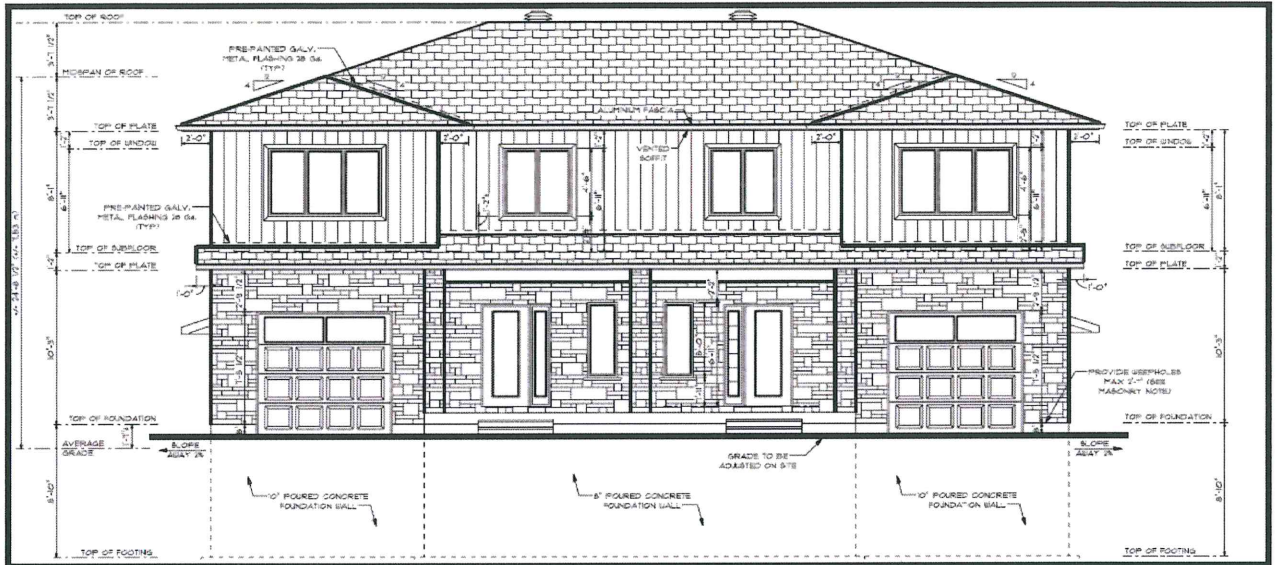
Survey Plan showing the boundary of the **subject property**. A recently built semi detached building is to the east at the corner of Notre Dame/Belcourt.

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Phone: 613 599 9216
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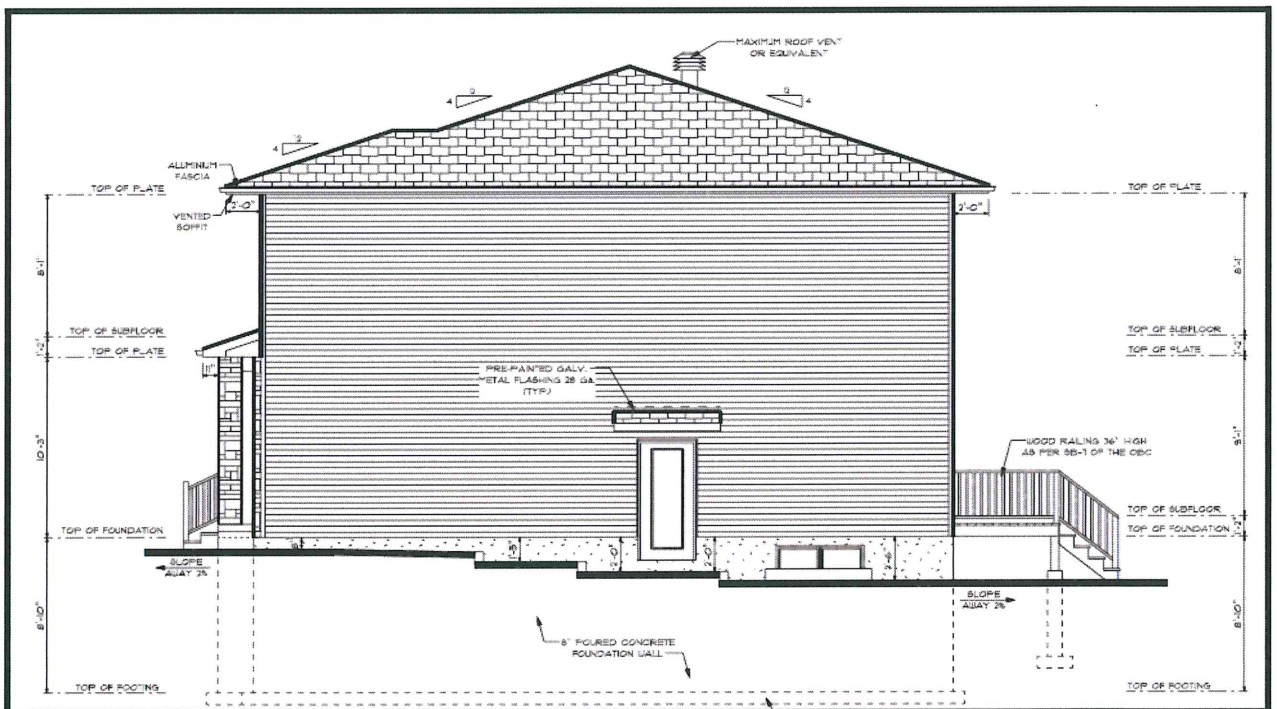


Site Plan of 7035 Notre Dame.

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Front elevation.



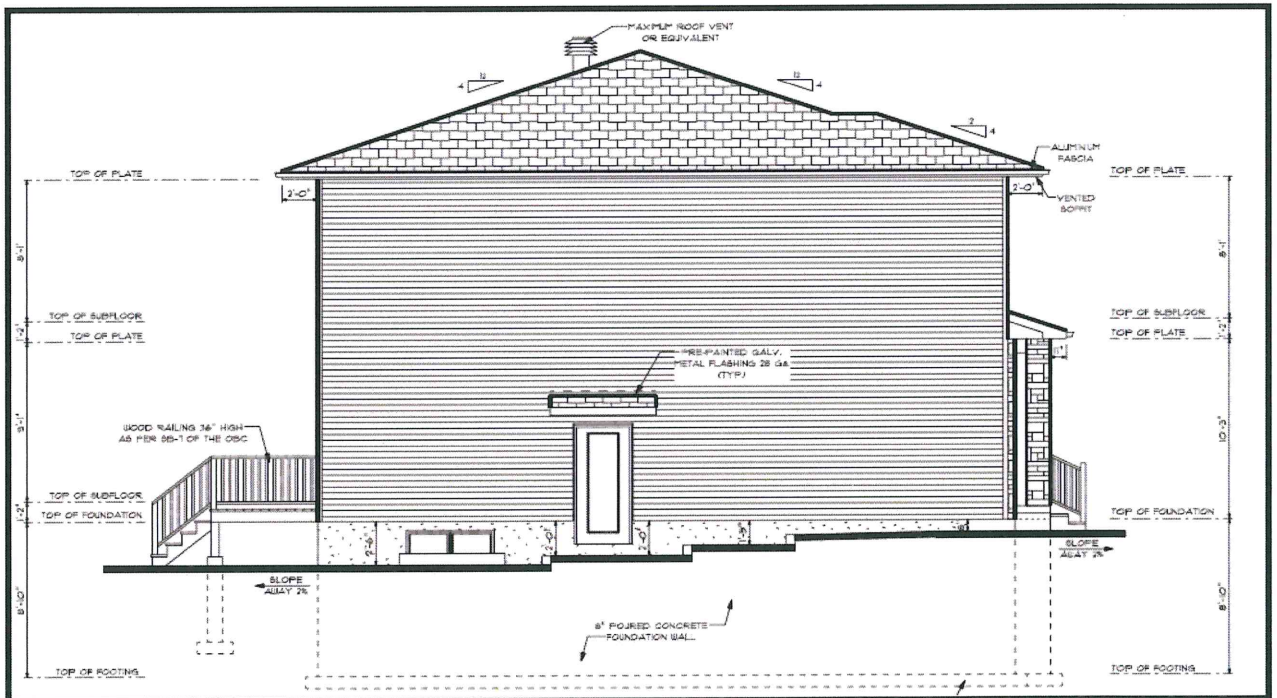
East elevation.

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 Phone: 613 599 9216
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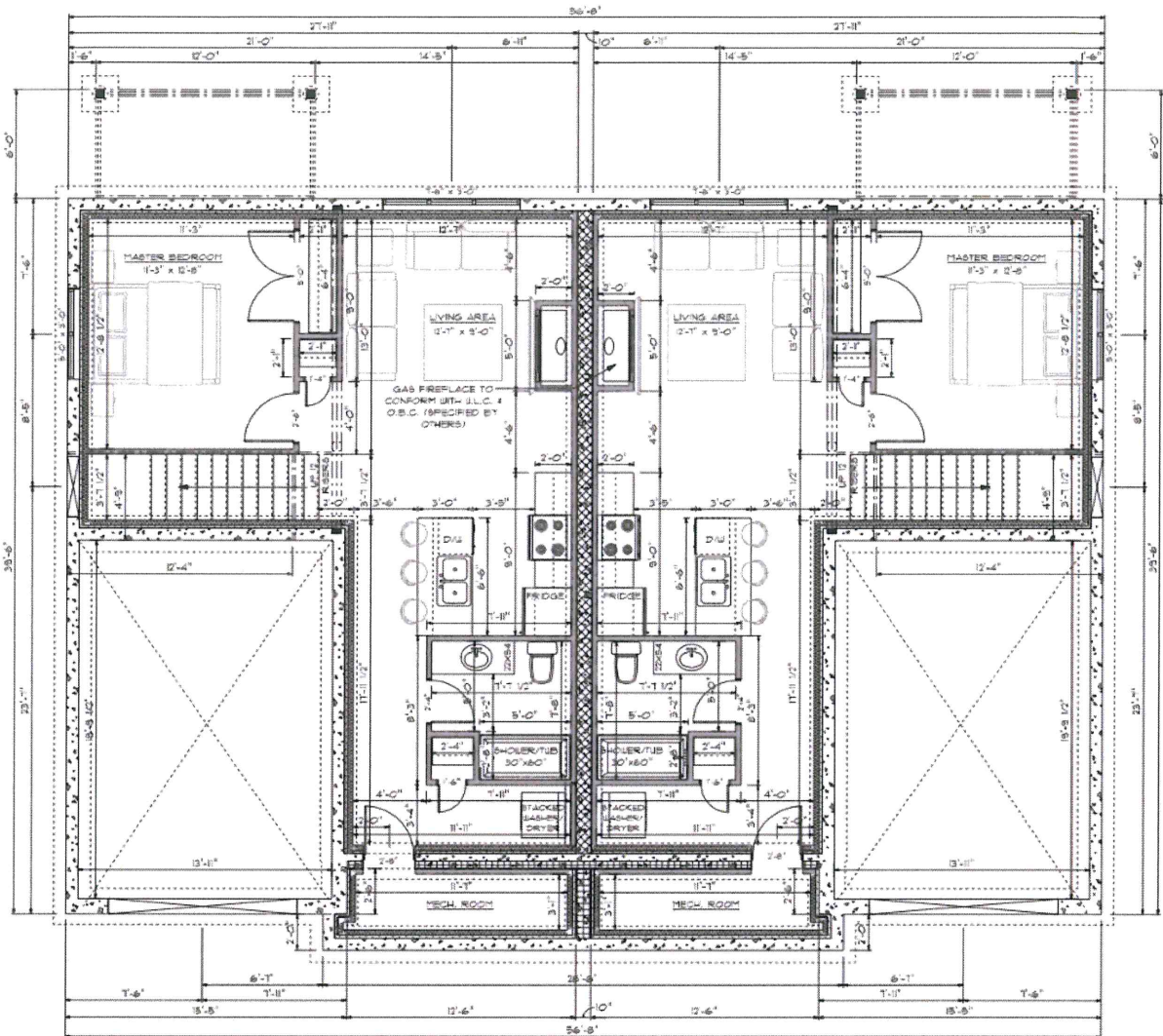


Rear elevation.



West elevation.

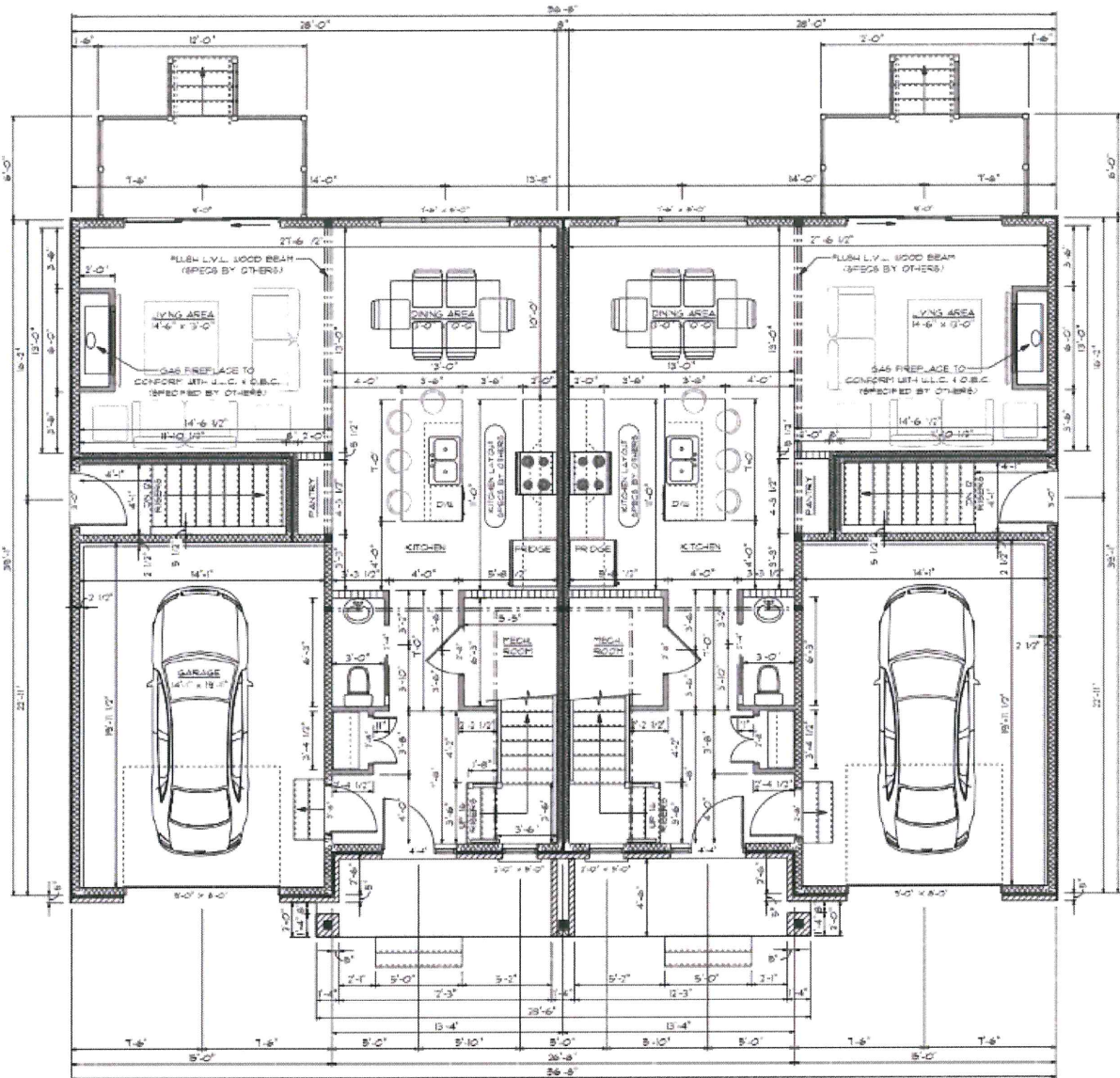
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BASEMENT PLAN

SCALE: 1/8" = 1'-0"

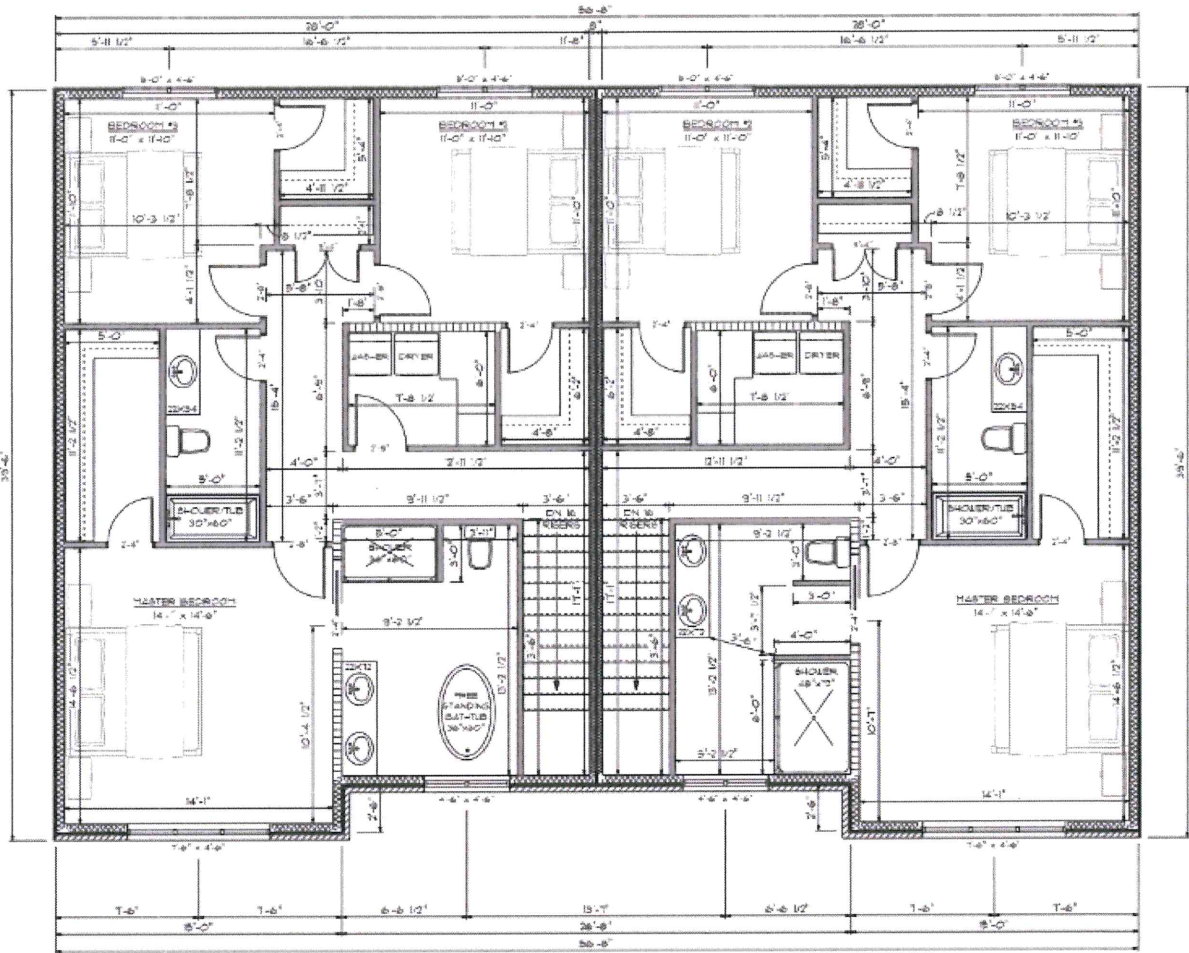
Basement plan for illustration purposes only. Location of Secondary Dwelling Unit.



MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"

Main level floor plan for illustration purposes only.



SECOND FLOOR PLAN

SCALE 1/8" = 1'-0"

Second level floor plan for illustration purposes only.

The four tests of a Minor Variance application from Section 45 (1) of the Planning Act are that the variances are minor in nature, are desirable for the appropriate development or use of the land and building, and are to maintain the general intent and purpose of the Official Plan and the Zoning By-law.

1. The variances are minor in nature

Variances A and C for lot area are minor in nature because they represent a decrease by 25.44 m² (west lot) and 22.78 m² (east lot), or approximately 9% and 8%, respectively, of the required lot area. The property is compliant with all other setback requirements and the resulting dwellings are designed with plenty of space for families in the primary units and singles or couples in the secondary dwelling units. The size of the lot is able to accommodate sufficient space for the building, driveways, pathways, and rear yard amenity space. Variances B and D pertaining to the secondary dwellings units are required due to an out-dated clause in the Zoning By-Law. Bill 23 from the Province of Ontario, amended the existing City zoning provisions that restrict additional dwelling units on lots that are compliant on lot area and width to allow for these units on any parcel of land where residential uses are permitted in settlement areas with full municipal services. Additionally, City Planning staff have recognized the inconsistencies in the Zoning By-Law due to Bill 23 and have proposed numerous Zoning By-Law Amendments including “removing the existing prohibition on secondary/additional dwelling units on lots that are legally non-compliant with lot width or lot area”. So despite Bill 23 superseding local official plans and zoning, we have been advised by staff that variances for SDUs on non-complying lots in regards to lot area and lot width are still required.

2. The development is appropriate for the lands in question

The Urban Design Guidelines for Low-Rise Infill Housing imposes design guidelines for infill development in the Downtown Core, Inner Urban, Outer Urban and Suburban Transects, as identified on Schedule B of the Official Plan. This development is located in the Eastern Suburban Transect and represents low-rise infill housing.

The current Urban Design Guidelines document was approved in July 2022 and it outlines the following applicable guidelines:

1.1 Streetscapes: Locate principal entries, windows, porches and key internal uses at street level. **The primary entrances face the street and are located close to the grade with a maximum of two steps to reach the porch.**

3.1.2 Building Design: Locate and build infill in a manner that reflects the desirable planned neighbourhood pattern of development in terms of building height, elevation and the location of primary entrances, the elevation of the first floor, yard encroachments such as porches and stair projections, as well as front, rear, and side yard setbacks. **The front steps and porch typology is desirable as many of the houses west on Notre Dame feature the same type of entrance. Many of the houses on the south side of Notre Dame St. feature projecting garages and entrances that are**

setback, rather than garages that are setback and projecting entrances. So our design features the garage projecting forward slightly, but the porch projects in front of the garage.

3.1.7 Unit Design: Avoid the arrangement of units where the front of one dwelling faces the back of another, unless the units in the back row have façades rich in detail, extensive landscaping, and recessed garages if applicable. The proposed development is for a pair of semi-detached dwellings that are attached vertically perpendicular to the street edge. We are not proposing long-semis that would be attached vertically back-to-back.

3.1.9 Rear yards: Maintain rear yard amenity space that is generally consistent with the pattern of the neighbouring homes. Limit disruption to an existing neighbourhood pattern of green rear yards caused by reducing required rear yard setbacks. Rear yard amenity space is a common theme along Notre Dame, however the lots to the west of the subject property have much larger lots and much larger rear yards by consequence. We are proposing a rear yard that meets the Zoning By-Law requirements for rear yard setback and rear yard area. Additionally, the majority of the yard will be softly landscaped leaving room for the rear deck that is proposed. At the present time, the rear yard on the west side of the property is quite small in depth and the new semis will have a greater rear yard depth.

3.3.1 Public facade: Design all sides of a building that face public streets and open spaces to a similar level of quality and detail. There is only one building wall proposed to face the street and it is designed with various materials and projections to produce a dynamic facade.

4.2 Driveways and walkways. Where driveways and walkways are in close proximity to each other, use contrasting materials or landscaping to distinguish and highlight the walkway to the front door. We are proposing a single lane driveway to be paved with asphalt, and two walkways leading to the entrances of the primary and secondary units. The walkways will use either concrete or interlocking pavers and will be easily distinguishable from the driveway surface.

The May 2023 Draft Urban Design Guidelines document outlines the following applicable guidelines:

1.2 Ground floor height: Locate the ground floor close to, or at, grade level. If the ground floor must be raised, limit the height of the porch to the entrance to no more than approximately 3 to 5 steps and/or 1.2m above the grade of the sidewalk directly at the front of the entrance, to avoid a long barrier-like flight of stairs. The first floor of the proposed development is located close to grade level and will not need more than 3 steps from grade to reach the entrance.

1.3 Primary entrances: Orient the primary entrance(s) of building(s) to the street. Locate primary entrance doors at an elevation that reflects the dominant and desirable pattern of door heights in the neighbourhood. A first floor elevation that is the average of that of the surrounding homes, allows for better compatibility with the neighbourhood pattern of doors, entries, porches, and landscape. **The primary entrance is located close to the grade and faces the street. This typology is desirable in the suburban area as many of the surrounding houses west on Notre Dame feature the same entrance typology. However, houses to the east on Notre Dame feature many more stairs to reach the front entrances due to the slope of Notre Dame St (approximately 5% slope from St. Jean Street to Belcourt Blvd).**

1.4 Street facing facades: Orient the principal façade of building(s) to face the street. Where they are in keeping with the character of the neighbourhood, include front yard projections, such as porches, bay windows, and balconies, to enhance the façade of the infill and contribute to the sociability of the street, while balancing with energy impacts. **The large majority of properties on Notre Dame feature either a small landing, or porch for the primary entrance. The main entrance of the proposed is facing the street and keeps in character with the neighbourhood by also featuring a small landing/porch projecting into the front yard past the garage entrance.**

1.5 Blank walls: Design all sides of a building that face public streets and open spaces to a similar level of quality and detail. Avoid large blank walls that are visible from the street, other public spaces, or adjacent properties. **The only building wall proposed to face the street is the front facade which is designed with various materials and projections to produce a dynamic street-facing facade.**

2.15 Secondary Entrances: Secondary entrances should be visible from the street and provide suitable lighting to indicate its location and provide safe access from the front yard. **The secondary entrances are clearly accessible from the front yard via a walkway. The actual entrances are located on the sides of the building.**

2.33 Materials: Design buildings to fit-in visually with surrounding build-ings, especially those along the same street, by using a limited range of complementary materials. (high quality - durable, wood/brick/stone, roof colour and hard landscaping to reduce urban heat island effect, avoid corrugated metal). **The proposal includes various materials that compliment the variety of materials found on Notre Dame properties. It will specifically relate the abutting properties which feature red brick, beige horizontal siding, and a double pitched roof line to the west and brown masonry stone with black accents to the east. The proposed design features brown masonry stone on the front facade with brown/grey horizontal siding with a double pitched roof line. The specific materials will be chosen during a later development stage and will be high quality and durable.**

3.21 Garage facing streets: Where front garages are permitted, recess garages behind the front façade and make windows, projecting balconies, living space, and landscaping the dominant elements facing the public streetscape. Incorporate parking garage ramps,

access stairs, refuse collection/ storage areas, and loading areas into the building. Front facing garages are permitted on this lot and are located on either side of the building so the principal entrances are the main focal point. The garages are visually setback from the front facade due to a projecting column separating the garage entrance from the principal entrance landing and the first roof overhang.

Based on the proposal's relation to these guidelines, the development is appropriate for the lands in question.

3. The proposal meets the general intent of the Official Plan

The following sections are policies in the City of Ottawa Official Plan followed by responses pertaining to the proposed development:

2.2.1 Intensification and Diversifying Housing Options

Policy ii) Provide housing options for larger households

Much of the demand for new housing is expected to be for ground-oriented units, such as single detached, semi-detached, rowhouse dwellings and new forms not yet developed. However, opportunities to provide for these dwelling types are limited within areas that are already developed. There needs to be opportunities in residential Neighbourhoods within a short walking distance to Hubs and Corridors to build dwelling units with enough floor space to accommodate larger households within building typologies that increase densities on existing lots. This will provide more choices for housing with three or more bedrooms within the developed built-up portions of the urban area. The proposal features two primary units in a semi-detached dwelling that are ground-oriented. The site is within a 250 m walking distance from St. Joseph Blvd which is a mainstreet corridor and within 1km from Place d'Orleans which is a hub and Town Center. The primary units in the development feature three bedrooms.

4.2.1 Enable greater flexibility and an adequate supply and diversity of housing options throughout the city

1) A diverse range of flexible and context-sensitive housing options in all areas of the city shall be provided through the Zoning By-law, by: b) Promoting diversity in unit sizes, densities and tenure options within neighbourhoods including diversity in bedroom count availability; The proposed units will consist of three bedrooms (primary) and one bedroom (secondary). The property owners plan to live in one of the primary units and rent out the remaining units.

2) The City shall support the production of a missing middle housing range of mid-density, low-rise multi-unit housing, in order to support the evolution of healthy walkable 15-minute neighbourhoods by: a) Allowing housing forms which are denser, small-scale, of generally three or more units per lot in appropriate locations, with lot configurations that depart from the traditional lot division and put the emphasis on the built form and the public realm, as-of-right within the Zoning By-law; Compared to the single detached dwellings on Notre Dame St, the proposed semi-detached dwelling represents a denser housing form containing a total of four units. Emphasis has been placed on the built form of the proposed dwellings in order to enforce the residential

nature of the neighbourhood and match the characteristics of the surrounding properties. Additionally, pathways have been provided for the primary and secondary units to connect the entrances to the sidewalk.

3) Accessory Dwelling units as provided for by the Planning Act, including coach houses and secondary dwelling units in the main building, are recognized as key components of the affordable housing stock and shall be protected for long-term residential purposes. The proposed development includes two secondary dwelling units total and they will be rental units.

5.4.1 Recognize a suburban pattern of built form and site design while supporting an evolution towards 15-minute neighbourhoods

3) In the Suburban Transect, this Plan shall support: ii) Predominantly ground-oriented housing forms in Neighbourhoods located away from rapid transit stations and Corridors, with Low-rise multi-unit dwellings permitted near street transit routes. The units in the proposed development are ground-oriented and are located approximately 1.5km from the proposed stage 2 LRT station at Convent Glen Station, and approximately 1.3km from the existing transit station at Place d'Orleans. However, St. Joseph Blvd is only 200 m from the subject property and features bus routes such as 31 (Blair / Place d'Orleans; Monday - Friday), 32 (Blair / Chapel Hill B), 131 (Jeanne d'Arc / Chapel Hill), and 4 routes that serve as school transport during the week before and after school hours.

5.4.4 Provide direction for new development in the Suburban Transect

3) On lands with all of the following characteristics prior to the date of adoption of this Plan, residential development shall strive to achieve a density target of 40 units per hectare, unless there are technical infrastructure impediments as determined by the City to achieve this target: a) Within the urban area; b) Outside of approved Secondary Plans or Community Design Plans; c) Have not received draft approval for plan(s) of subdivision; d) Have not received site plan approval; e) Do not have a submission of a complete Planning Act application for a net increase in existing residential dwellings. The subject property is within the urban area, outside of a Secondary Plan/CDP, is not part of a draft plan of subdivision, does not require site plan approval, and does not have a submission for a Planning Act application therefore its density target is 40 units per hectare. The proposed development is on a lot with an area of 491.78m² and has a unit density of 40.67 units / hectare (excluding secondary units).

4. The proposal meets the general intent of the Zoning By-Law

The purpose of the R2 zone is to:

- Restrict development to detached and two principal unit buildings;
- Allow for other residential uses to provide additional housing choices in R2 areas;
- Regulate development in a manner that is compatible with the existing land use patterns;
- Promote efficient land use and compact forms which showcasing newer design approaches.

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The proposed development features a semi-detached dwelling and secondary dwelling units, both of which are permitted dwelling types in this zone. The addition of SDUs increases the housing choices in the area and the overall development is compatible with the surrounding land uses. The abutting property to the east contains a long semi-detached dwelling with secondary dwelling units on a slightly smaller lot compared to the subject property.

The relief requested for lot area represents a difference of 25.44 m² (west lot) and 22.78 m² (east lot) or approximately 9% and 8% respectively from the required. The proposal is compliant with all other requirements and contains a softly landscaped rear yard. For comparison, the property to the east has allotted approximately 220 m² lot area per primary unit and does not contain any soft landscaping on the entire property. Variances related to secondary dwelling units on a non-complying lot in regards to lot area are being filed as the City Zoning By-Law has not been updated to reflect changing regulations due to Bill 23. It is understanding that the modifications to the Zoning By-Law are to be introduced by Planning Staff in the fall of 2023.

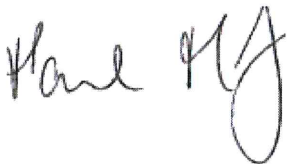
At this time we are also submitting the following in support of the application:

- Completed application form (1 original)
- Application fees
- Site plan showing the proposed new semi detached building
- Architectural elevation plans of the proposed building from all four sides
- Architectural floor plans (for reference only)
- Survey plan of the entire property with existing lot areas
- Owners authorisation
- Tree Information Report

When the notification signs are ready for this application could you please email the undersigned and I will arrange for their installation on the property.

Should you have any questions or require anything further, please do not hesitate to contact the undersigned at (613) 599 9216 or via email at probinson@probinsonconsulting.com

P H Robinson Consulting



Paul Robinson, RPP

P H Robinson Consulting



Jasmine Paoloni, Junior Planner

100 Palomino Drive, Ottawa, Ontario K2M 1N3
Phone: 613 599 9216
Email: probinson@probinsonconsulting.com