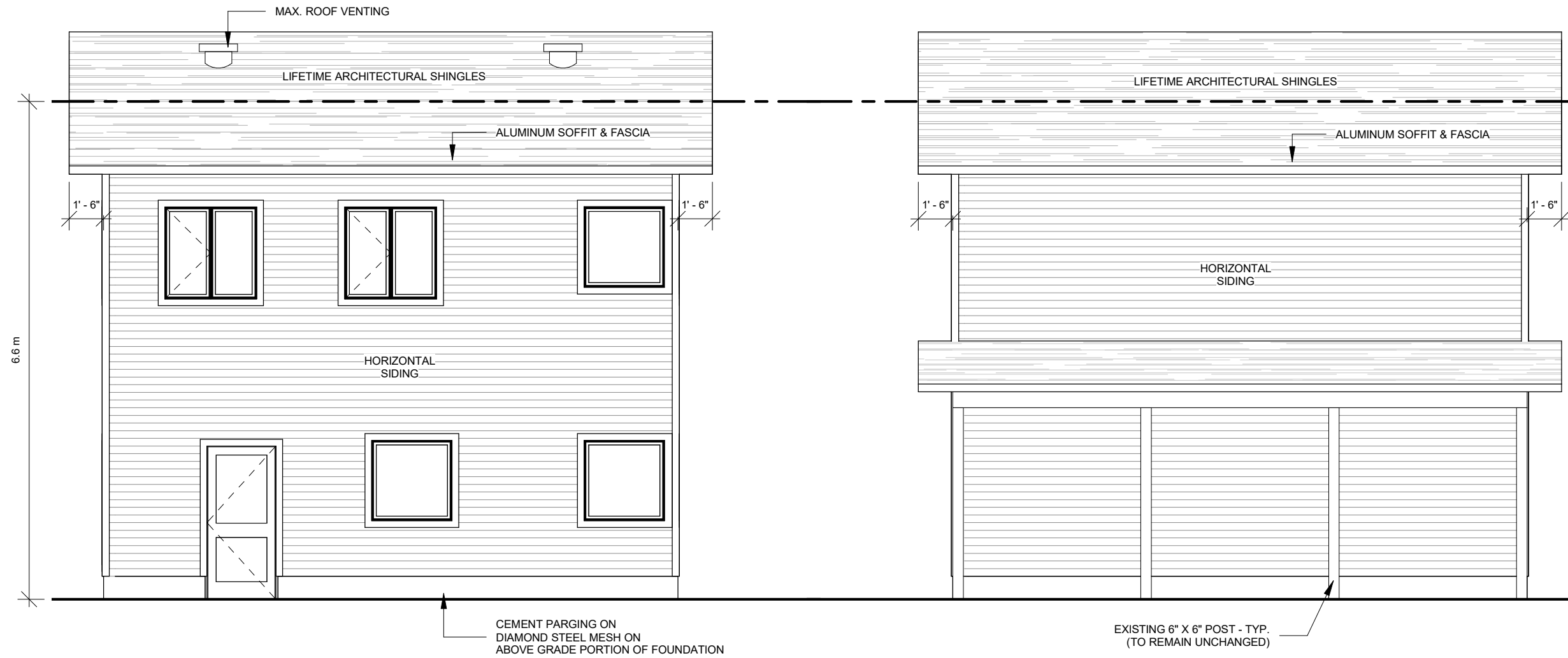


EXISTING GRADES TO BE MAINTAINED

Committee of Adjustment
 Received | Reçu le
 Revised | Modifié le : 2023-09-01
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

Committee of Adjustment
 Received | Reçu le
 2023-08-23
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



① Front Elevation
 3/16" = 1'-0"

② Rear Elevation
 3/16" = 1'-0"

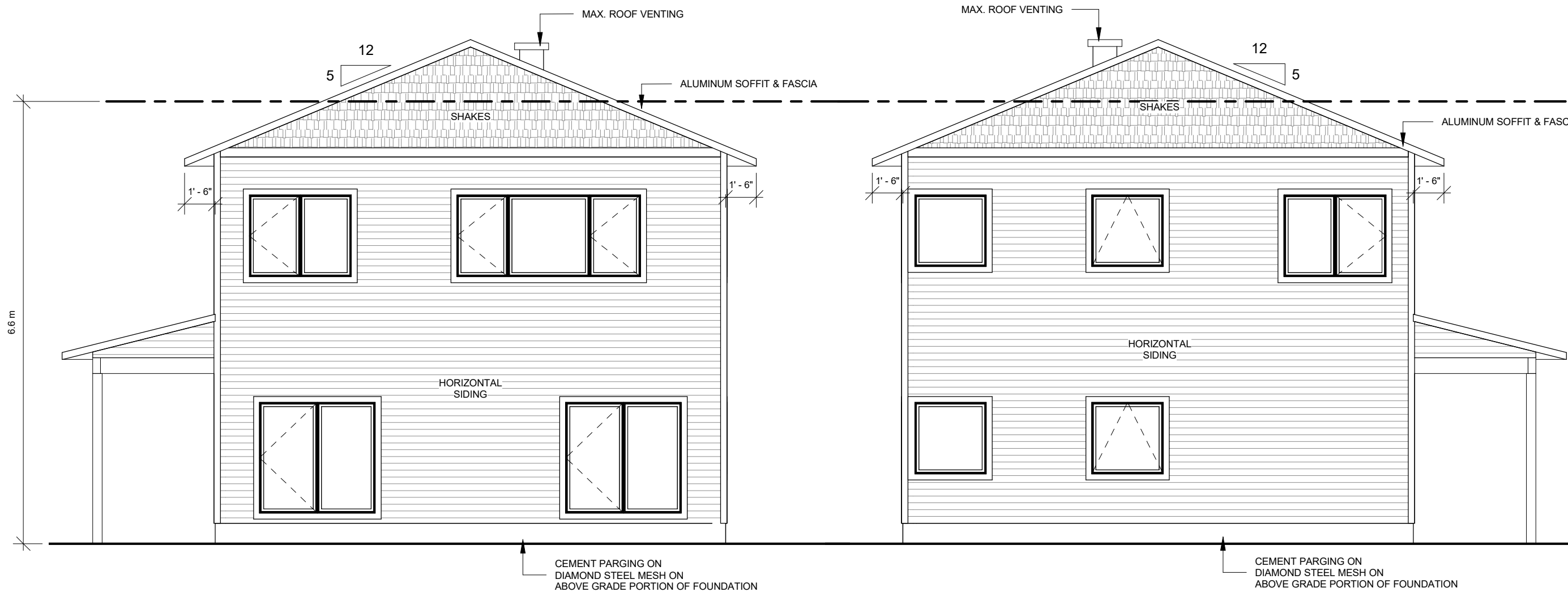


Benedict Studio
 Permit Drawings

PROJECT NUMBER:
 ADDRESS: 5689 Logger's Way

Elevations

DRAWN BY: CK
 CHECKED BY: CK
 SCALE: 3/16" = 1'-0"
 August 16, 2023



① Left Elevation
3/16" = 1'-0"

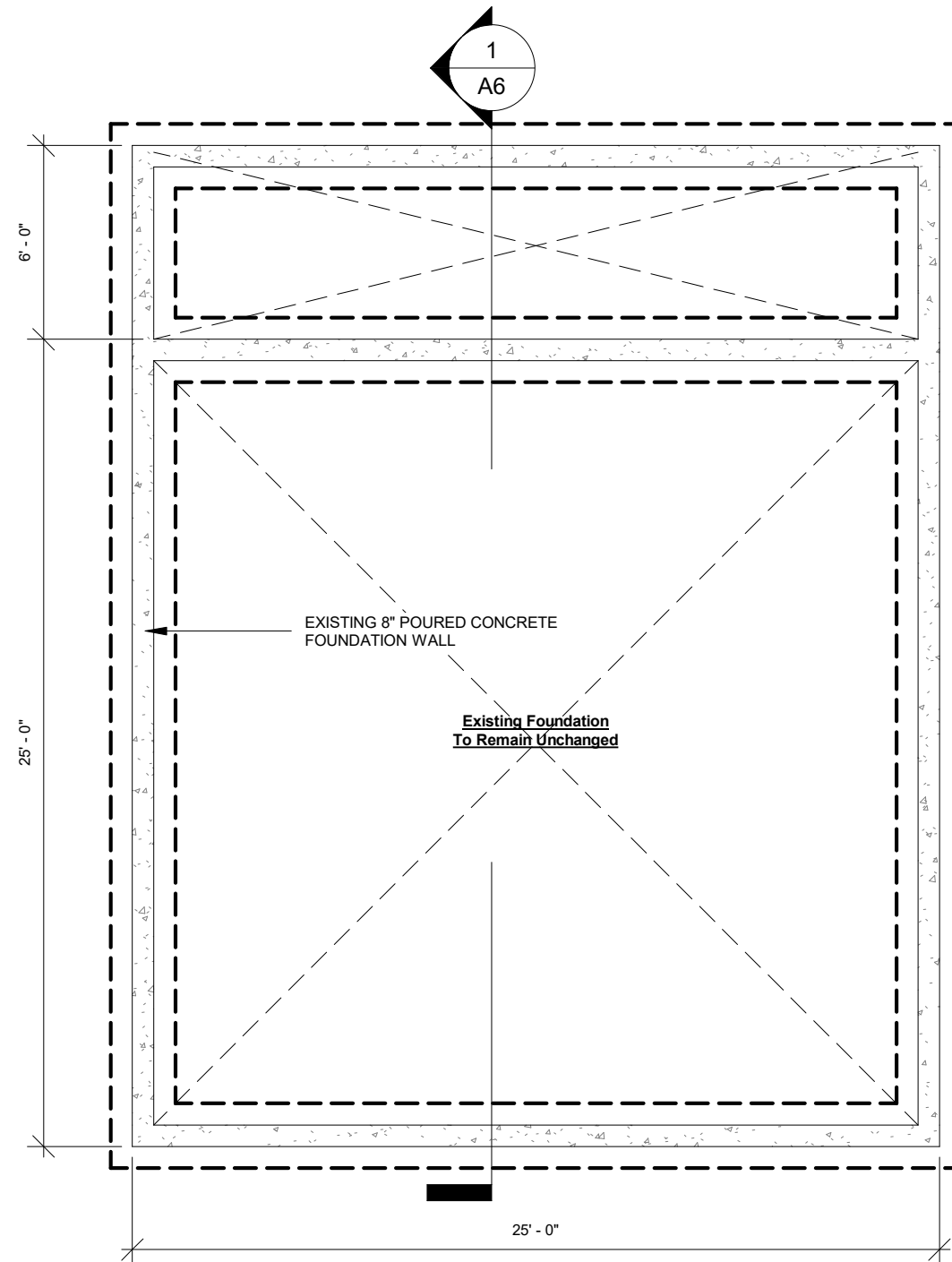
② Right Elevation
3/16" = 1'-0"

Benedict Studio
Permit Drawings

PROJECT NUMBER:
ADDRESS: 5689 Logger's Way

Elevations

DRAWN BY: CK
CHECKED BY: CK
SCALE: 3/16" = 1'-0"
August 16, 2023



CARPENTRY

- * Unless otherwise noted,
 - 1- All lintels, headers and dropped beams are 2 ply 2x10 supported on 2x6 OR 2x4 jack studs.
 - 2- All columns supporting dropped beams, headers and lintels are 3ply-2x6 OR 3ply-2x4.
- * Blocking to be installed beneath partitions parallel to floor joist through the web of joist (consult manufacturers specs), or joist to be doubled.
- * Consult manufacturers specs before altering engineered floor joist/beams.
- * Floor system to be glued & Nailed unless otherwise noted.
- * Additional framing may be required for Mechanical chases/Bulkheads and may not be shown on this plan.
- * All Interior walls are 2"x4" @ 16" OC unless otherwise noted.
- * All Exterior walls are 2"x6" @ 16" OC w/ 7/16" OSB unless otherwise noted.
- * All construction to meet or exceed all current OBC Regulations and all pertinent by-laws.

CODES & STANDARDS

- * All workmanship is to be of a standard equal in all respects to good building practice.
- * Original plans which have been reviewed & stamped by local authorities, must be on site at all times.
- * CO2 & Smoke detectors with Visual Signalling device to be installed on all floors and in all bedrooms per ESA requirements.

CONCRETE & FOUNDATIONS

- * All concrete to have a minimum compressive strength of 2,900 PSI (20mPa) at 28 days.
- * Concrete footings must be placed on undisturbed or compacted soil to an elevation below frost penetration, or of suitable nature. Footings shown on these drawings have been designed for soil bearing capacity of 75 Kpa. If a lesser bearing capacity is encountered, it is the responsibility of the owner/builder to have the footings redesigned by qualified persons to suit existing conditions.
- * Foundation walls shall be adequately dampproofed prior to backfill, with 6" perforated drain pipe installed along the perimeter of the footings with minimum 6" of clear stone cover.
- * Grades shown on elevations are estimated. Adjust on site as required, or with appropriate persons. Retaining walls other than the foundation walls of the residence are beyond the scope of these drawings unless otherwise noted. (Retaining walls over 1m in height must be engineered)
- * Construction of ICF foundations shall be in accordance to manufacturer's specifications.

INSULATION/VENTILATION

- * Ceiling insulation may be loose filled type or batt type. Wall and Floor insulation must be batt type, or other approved materials.
- * Insulation requirements may vary with heating systems and with local conditions. Refer to Energy Efficiency Design Summary.
- * All roof spaces shall be ventilated with soffit, roof or gable vents or a combination of these, equally distributed between the top of the roof space and soffits. (1/300th area of roof space)

NOTES

- * See attached truss layout for girder truss locations & truss details.
- * provide water resistant flooring in bathrooms, laundry, entry, halls and general storage areas (OBC 9.30.1.2.)
- * water proof wall finish around tub/showers (OBC 9.29.2.1.)
- * Main bathroom stud wall reinforcement (OBC 9.5.2.3.)
- * Provide fans with direct ductwork to exterior of house in all bathrooms
- * Provide double jack studs for all R.O.'s 60" or wider
- * All exterior dimensions are to outside of framing

The undersigned has reviewed and takes responsibility for the design, and has the qualifications as required by the Ontario Building Code

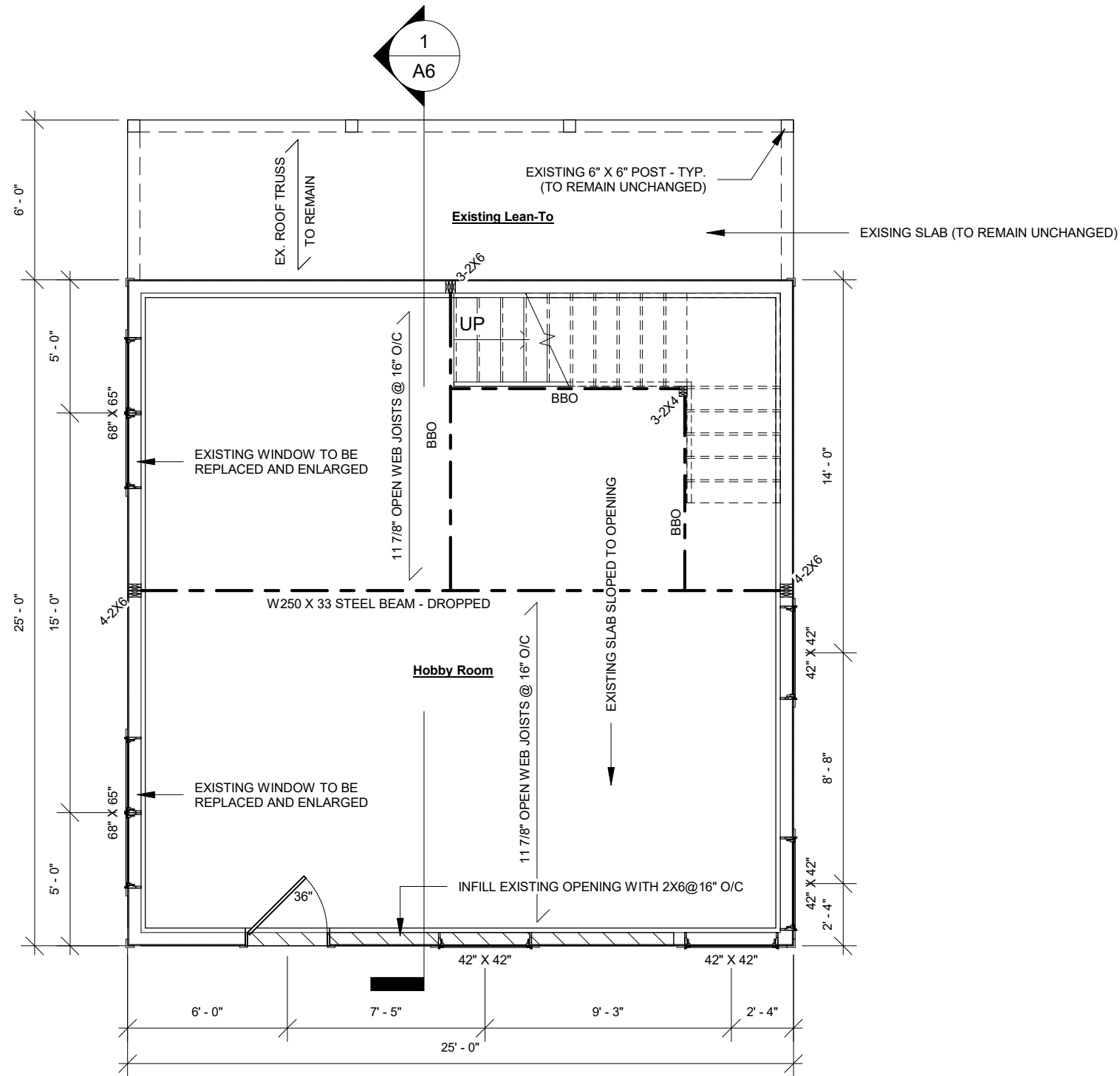


Benedict Studio
Permit Drawings

PROJECT NUMBER:
ADDRESS: 5689 Logger's Way

Foundation Plan

DRAWN BY: CK
CHECKED BY: CK
SCALE: As indicated
August 16, 2023



CARPENTRY

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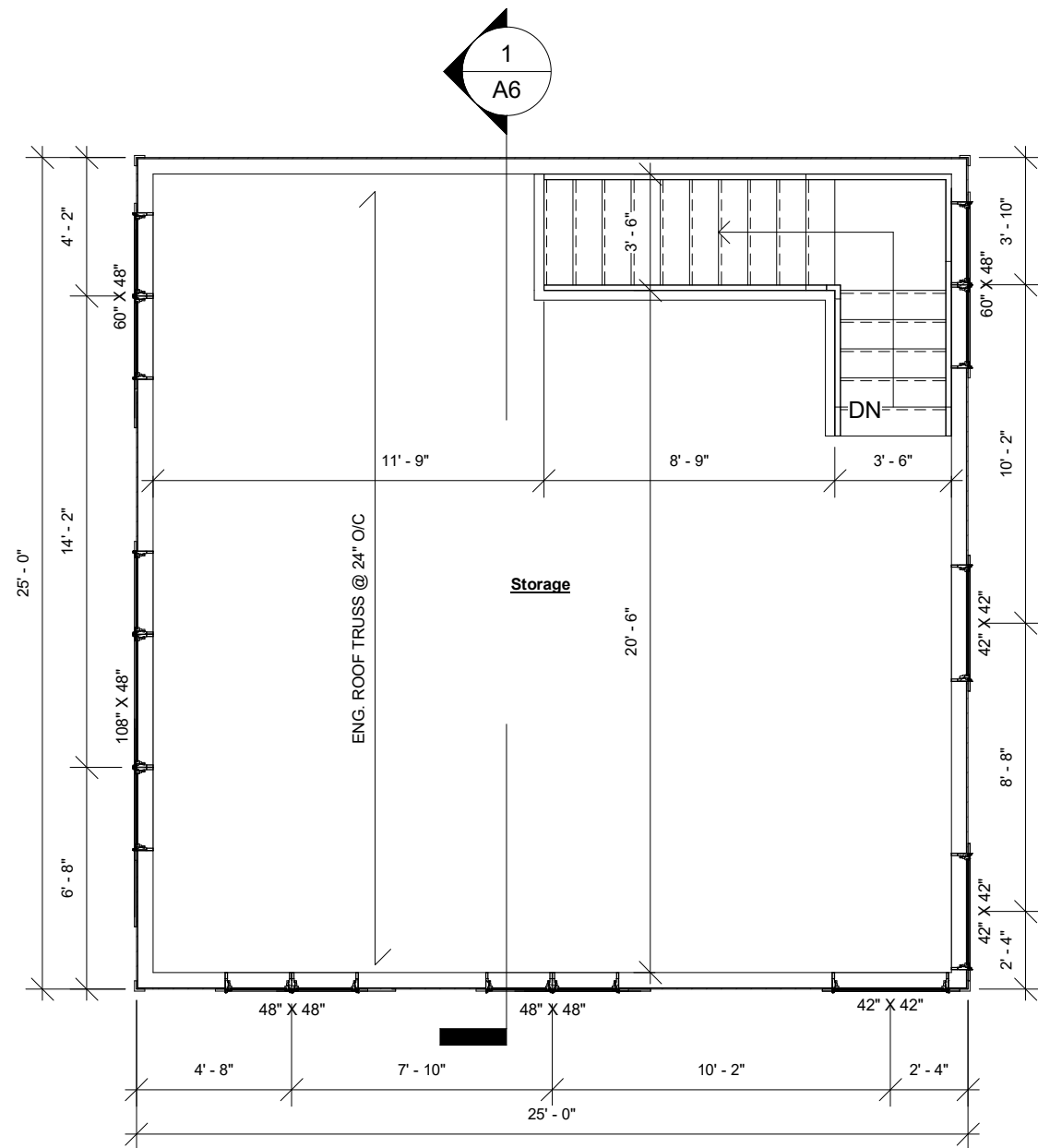


Benedict Studio
Permit Drawings

PROJECT NUMBER:
ADDRESS: 5689 Logger's Way

Main Level Plan

DRAWN BY: CK
CHECKED BY: CK
SCALE: As indicated
August 16, 2023



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Benedict Studio
 Permit Drawings

PROJECT NUMBER:
 ADDRESS: 5689 Logger's Way

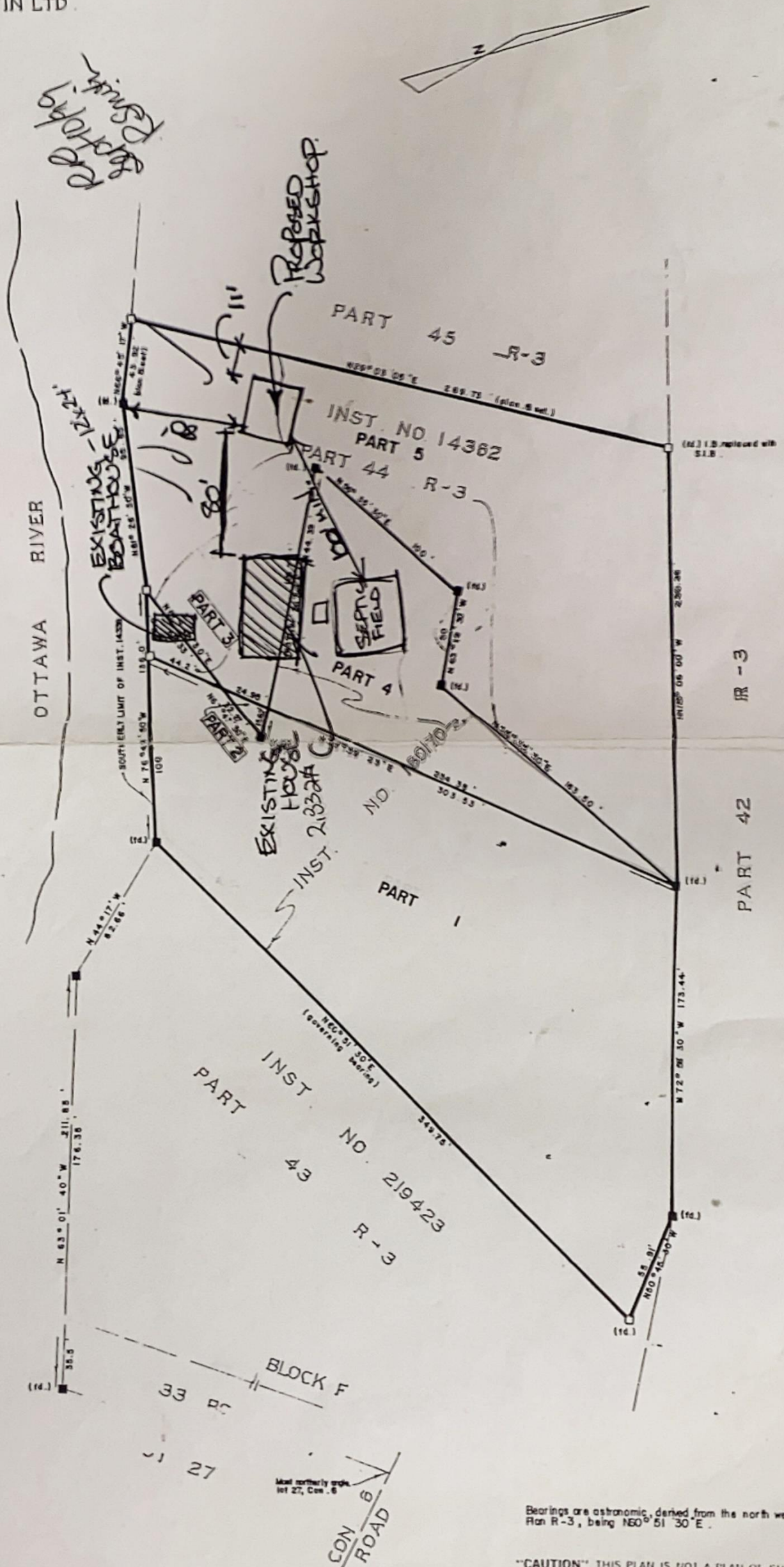
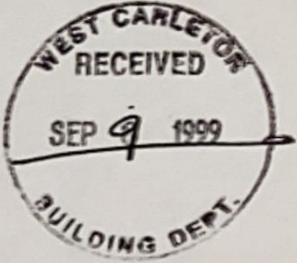
Second Level Plan

DRAWN BY: CK
 CHECKED BY: CK
 SCALE: As indicated
 August 16, 2023

PART OF BLOCK F
 IN FRONT OF CONCESSIONS 6 & 7)
 TOWNSHIP OF FITZROY
 NOW IN THE TOWNSHIP OF WEST CARLETON
 REGIONAL MUNICIPALITY OF OTTAWA-CARLETON
 SURVEYED BY H.J. MARTIN O.L.S.
 SCALE 1"=50'
 1976
 FARLEY & MARTIN LTD.

5 MARCH 1976
H.J. Martin
 H.J. MARTIN
 ONTARIO LAND SURVEYOR

4 March 1976
D. Wilson
 REGISTRAR FOR THE
 REGISTRY DIVISION OF
 CARLETON NO. 5



SURVEYOR'S CERTIFICATE
 I hereby certify that
 1) This survey and plan are correct and in accordance with the Survey Act and the Regulations, and the conditions made there

LEGEND
 ■ I.B. - DENOTES IRON BAR
 S.I.B. - DENOTES SERRATED IRON BAR
 W.P. - DENOTES WITNESS

FARLEY & MARTIN
 LAND SURVEYORS
 157 Main Avenue Street