

UPDATE

SITE PLAN OF SURVEY LOT 36 AND PART OF LOT 37, REGISTERED PLAN 342 AND PART OF LOT 3, JUNCTION CORNER, GEOGRAPHIC TOWNSHIP OF GLOUCESTER, CITY OF OTTAWA

LOT INFO

REQUIRED	PROPOSED
LOT AREA	300
FRONT YARD	6.0m
REAR YARD	1.2m
INTERIOR YARD	1.2m
MINIMUM SPACES	2
MINIMUM WIDTH	2.0m

BUILDING AREAS

REQUIRED	PROPOSED
FIRST FLOOR AREA	180.00
SECOND FLOOR AREA	180.00
STORAGE	180.00
ENTRANCE	180.00
TOTAL FLOORING	540.00
TOTAL LIVING	360.00
TOTAL ALL AREAS	540.00

PROPOSED SITE DEVELOPMENT INFO

REQUIRED	PROPOSED
NEW GROSS FLOOR AREA	360.00
NUMBER OF UNITS	1
MINIMUM HEIGHT	2.0m
MINIMUM SETBACK	1.2m
MINIMUM SETBACK	1.2m
MINIMUM SETBACK	1.2m

WASTE COLLECTION LEGEND

WASTE COLLECTION LEGEND	CONDITIONS
OR	4x4 GREEN BIN CONTAINERS CAN BE STORED UNDER REAR BALCONIES
OR	4x4 BLUE BIN CONTAINERS CAN BE STORED UNDER REAR BALCONIES
OR	4x4 BLACK BIN CONTAINERS CAN BE STORED UNDER REAR BALCONIES
OR	4x4 WHITE BIN CONTAINERS CAN BE STORED UNDER REAR BALCONIES

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OR	4x4 WHITE BIN CONTAINERS CAN BE STORED UNDER REAR BALCONIES

PLAN BY O.H., DATED NOVEMBER 6 1963 AND ATTACHED TO INST. No. RR7751B

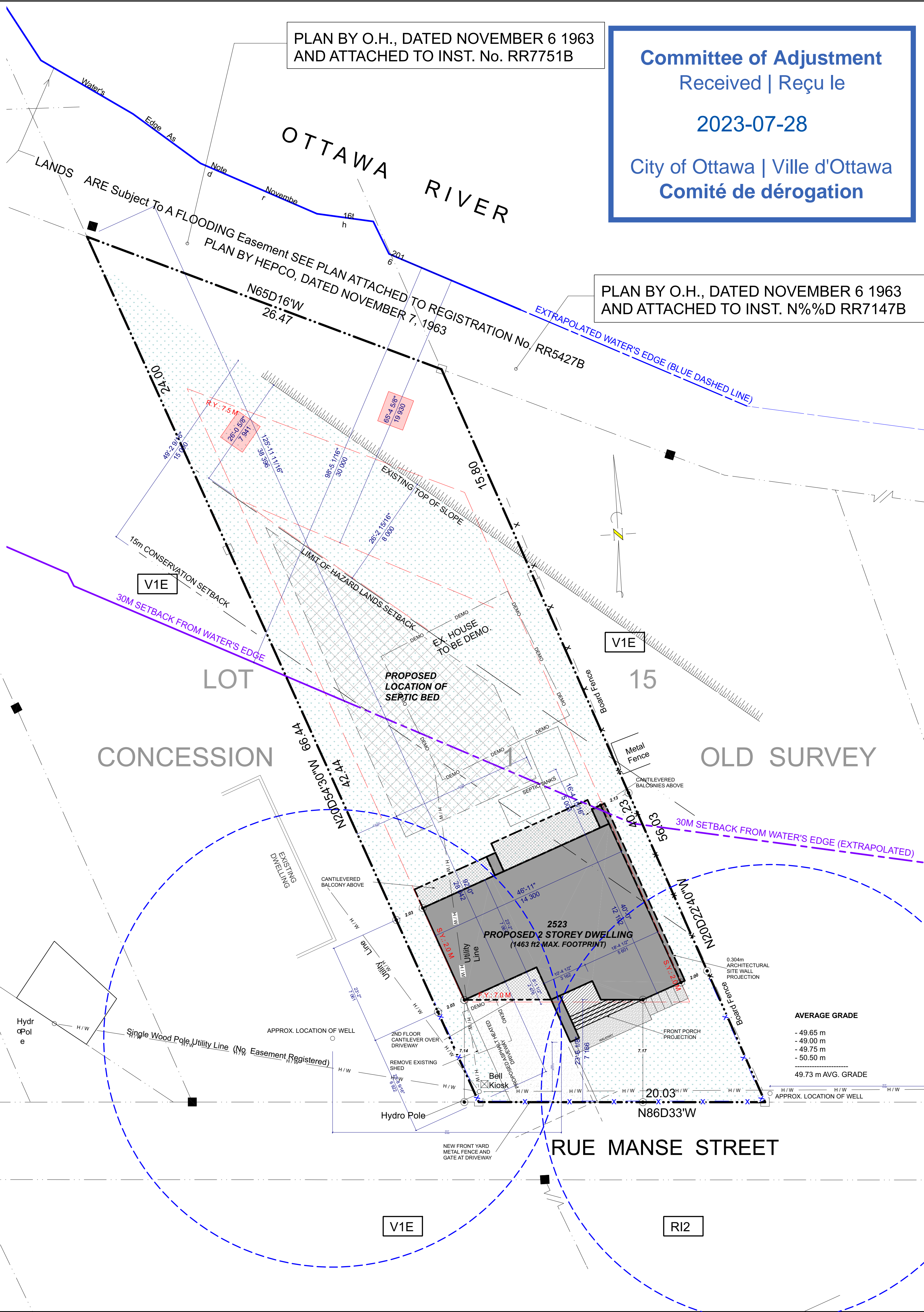
Committee of Adjustment
Received | Reçu le
2023-07-28
City of Ottawa | Ville d'Ottawa
Comité de dérogation

PLAN BY O.H., DATED NOVEMBER 6 1963 AND ATTACHED TO INST. N%%D RR7147B



RESPONSIBILITIES:
DO NOT SCALE DRAWINGS
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
IF IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL DISCREPANCIES AND OMISSIONS TO THE ARCHITECT/DESIGNER
COPYRIGHT RESERVED
GENERAL NOTES

LOT LOCATION MAP
SCALE N.T.S.



ZONE 1 - COMPLIANCE PACKAGE FOR SPACE HEATING EQUIPMENT WITH AFUE > 90%

SB-12 TABLE 3.1.1.2.A (P) FORMING PART OF SENTENCE 3.1.1.2.1 (1)
DEGREE DAYS FOR OTTAWA: 4000
ZONE 1: LESS THAN 5000 DEGREE-DAYS

BUILDING COMPONENT	MINIMUM REQUIREMENTS (NORMAL)	PROPOSED REQUIREMENTS (NORMAL)
CEILING WITH ATTIC SPACE	R10	—
CEILING WITH ATTIC SPACE	R10	—
EXPOSED FLOORS	R10	—
WALLS ABOVE GRADE	R22	R22
BASEMENT WALLS	R12+R10u	R12+R10u
EDGE OF SLAB	—	—
WINDOWS AND SLIDING GLASS DOORS (ER)	25	25
SPACE HEATING EQUIP.	90%	90%
MINIMUM AFUE	—	—
HRV (MINIMUM EFFICIENCY (ERE))	75%	75%
DOMESTIC H.W. HEATER	0.80	0.80
MIMIMUM EFP	—	—
DAYLIGHTS (MAX. U)	0.49	0.49
SHOWERS MIN.	42%	42%

ALL OTHER COMPONENTS DO NOT APPLY TO THIS PROJECT

WINDOW TO WALL RATIO FOR SB-12 COMPLIANCE

WEST ELEVATION
AREA OF COMPARTMENT: 796 SQ. FT.
AREA OF GLAZING: 147.5 SQ. FT.

EAST ELEVATION
AREA OF COMPARTMENT: 1170 SQ. FT.
AREA OF GLAZING: 277.5 SQ. FT.

NORTH ELEVATION
AREA OF COMPARTMENT: 735 SQ. FT.
AREA OF GLAZING: 171.5 SQ. FT.

SOUTH ELEVATION
AREA OF COMPARTMENT: 735 SQ. FT.
AREA OF GLAZING: 33.9 SQ. FT.

OTHER ELEVATIONS
AREA OF COMPARTMENT: 0 SQ. FT.
AREA OF GLAZING: 0 SQ. FT.

TOTAL
AREA OF COMPARTMENT: 3436 SQ. FT.
AREA OF ALL GLAZING: 559.9 SQ. FT.
RATIO OF GLAZING/WALL: 16.0%

UPDATE

CONSTRUCTION NOTES

- (A)** TYPICAL 4" FOUNDATION WALL ASSEMBLY
 - 4" AIR GAP MEMBRANE DRAINAGE LAYER (DELTA MS CCMC 1278R)
 - CEMENT PAVING ABOVE GRADE TO MIN. 2" BELOW GRADE
 - 3" T&G OSB SUBFLOOR NAILED, TACKLED, GULDED & SCREWED
 - 1" POLYETHYLENE VAPOUR BARRIER CONFORM TO CGSB 51.34 TYP.
 - 1" 1/2" STRAPPING @ 16" OC - IF FLOOR SPACING IS GREATER THAN 16" - REFER TO MANUFACTURER'S SPECIFICATIONS FOR SIZE & SPACING
 - 1" 1/2" OSB SHEATHING
 - 1" 1/2" OSB SHEATHING
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- (B)** TYPICAL EXTERIOR WALL ASSEMBLY @ BRICKSTONE VENEER
 - 3/8" T&G OSB SUBFLOOR NAILED, TACKLED, GULDED & SCREWED
 - 1" POLYETHYLENE VAPOUR BARRIER CONFORM TO CGSB 51.34 TYP.
 - 1" 1/2" OSB SHEATHING
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- (C)** TYPICAL 4" INTERIOR NON-LOAD BEARING WALL ASSEMBLY
 - 1" 1/2" OSB SHEATHING
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 - 1" 1/2" OSB SHEATHING
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- (D)** TYPICAL 4" INTERIOR LOAD BEARING WALL ASSEMBLY
 - 1" 1/2" OSB SHEATHING
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- (E)** TYPICAL 4" INTERIOR LOAD BEARING WALL ASSEMBLY
 - 1" 1/2" OSB SHEATHING
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- (F)** TYPICAL 4" INTERIOR LOAD BEARING WALL ASSEMBLY
 - 1" 1/2" OSB SHEATHING
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 - 1" 1/2" OSB SHEATHING
- (G)** TYPICAL FLOOR ASSEMBLY
 - FINISH FLOOR (NOT SHOWN)
 - 3/8" T&G OSB SUBFLOOR NAILED, TACKLED, GULDED & SCREWED
 - 1" POLYETHYLENE VAPOUR BARRIER CONFORM TO CGSB 51.34 TYP.
 - 1" 1/2" STRAPPING @ 16" OC - IF FLOOR SPACING IS GREATER THAN 16" - REFER TO MANUFACTURER'S SPECIFICATIONS FOR SIZE & SPACING
 - 1" 1/2" OSB SHEATHING
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- (H)** PORCH CONSTRUCTION
 - 4" POURED CONCRETE SLAB, SEALED, MIN. STRENGTH 32 MPA
 - 1" POLYETHYLENE VAPOUR BARRIER CONFORM TO CGSB 51.34 TYP.
 - 1" 1/2" OSB SHEATHING
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- (I)** BASEMENT SLAB CONSTRUCTION
 - 4" POURED CONCRETE SLAB, SEALED, MIN. STRENGTH 32 MPA
 - 1" POLYETHYLENE VAPOUR BARRIER CONFORM TO CGSB 51.34 TYP.
 - 1" 1/2" OSB SHEATHING
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- (J)** GARAGE SLAB CONSTRUCTION
 - 4" POURED CONCRETE SLAB, SEALED, MIN. STRENGTH 32 MPA
 - 1" POLYETHYLENE VAPOUR BARRIER CONFORM TO CGSB 51.34 TYP.
 - 1" 1/2" OSB SHEATHING
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- (K)** TYPICAL ROOF ASSEMBLY
 - 2" OR 3" OR 4" SEAL STRUCTURAL ASPHALT SHINGLES
 - 1" POLYETHYLENE VAPOUR BARRIER CONFORM TO CGSB 51.34 TYP.
 - 1" 1/2" OSB SHEATHING
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- (L)** 1HR. MIN. FRR PARTY WALL @ BASEMENT LEVEL
 - 4" POURED CONCRETE WALL @ 20 MPA (2000 PSI) MIN. STRENGTH
 - 1" POLYETHYLENE VAPOUR BARRIER CONFORM TO CGSB 51.34 TYP.
 - 1" 1/2" OSB SHEATHING
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- (M)** TYPICAL FLOOR ASSEMBLY @ NEW CANTILEVER
 - FINISH FLOOR (NOT SHOWN)
 - 3/8" T&G OSB SUBFLOOR NAILED, TACKLED, GULDED & SCREWED
 - 1" POLYETHYLENE VAPOUR BARRIER CONFORM TO CGSB 51.34 TYP.
 - 1" 1/2" STRAPPING @ 16" OC - IF FLOOR SPACING IS GREATER THAN 16" - REFER TO MANUFACTURER'S SPECIFICATIONS FOR SIZE & SPACING
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- (N)** TYPICAL FLOOR ASSEMBLY @ BASEMENT CEILING
 - FINISH FLOOR (NOT SHOWN)
 - 3/8" T&G OSB SUBFLOOR NAILED, TACKLED, GULDED & SCREWED
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- (O)** TYPICAL FLOOR ASSEMBLY @ BASEMENT CEILING
 - FINISH FLOOR (NOT SHOWN)
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- (P)** TYPICAL ROOF CONSTRUCTION
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2523 MANSE ROAD
SCOPE OF WORK: NEW SINGLE DETACH DWELLING

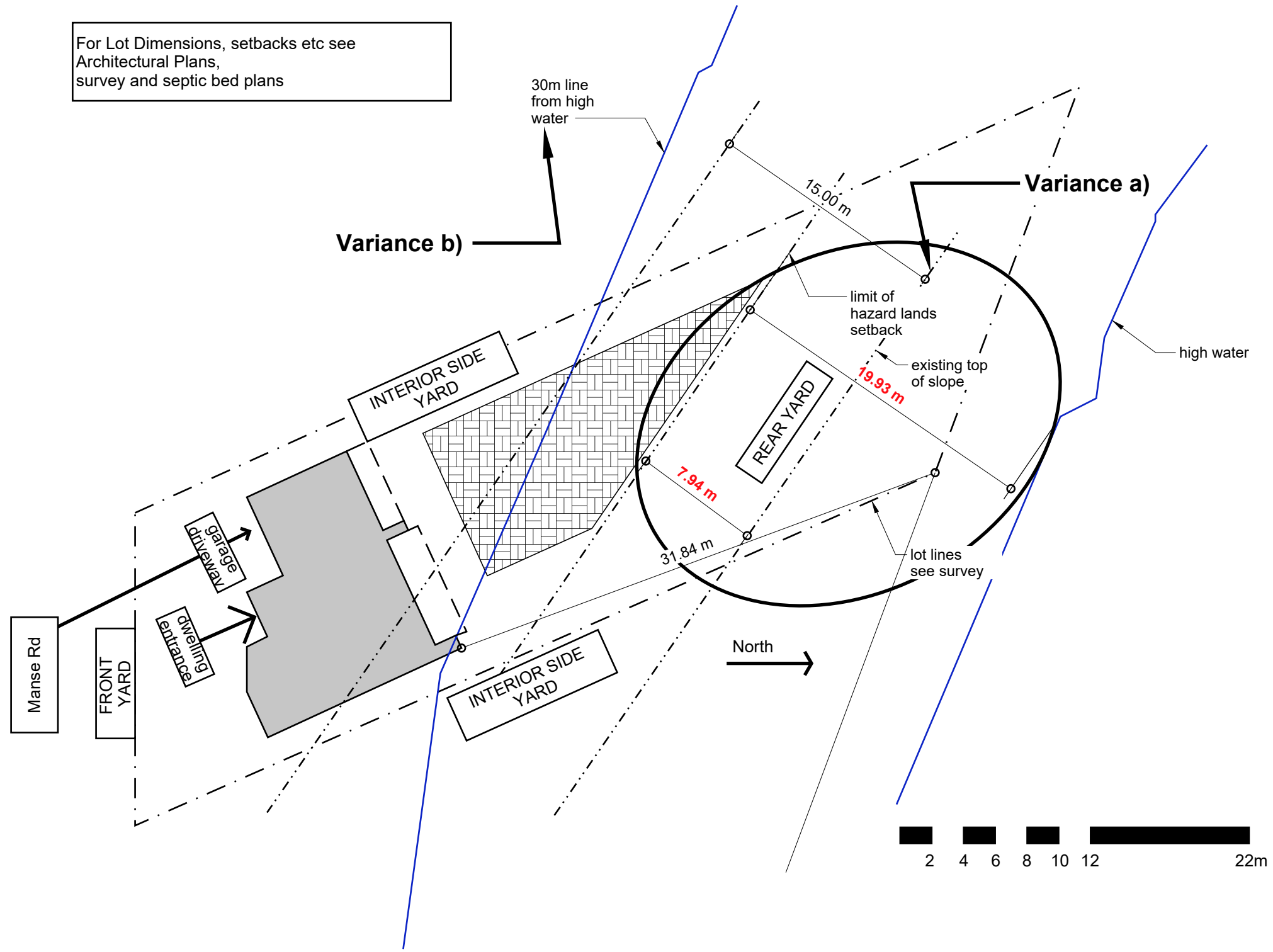
CONSULTANTS:
STRUCTURAL: KOLLARD ASSOCIATES INC.
MECHANICAL: KOLLARD ASSOCIATES INC.
ELECTRICAL: KOLLARD ASSOCIATES INC.
CIVIL: KOLLARD ASSOCIATES INC.

NO.	REVISIONS	DATE
1	PRELIMINARY	11/02/21
2	REVISED PLAN	07/21/23
3	FINAL - SCOPE STUDY	04/02/23
4	REVISED PLAN	05/09/23

SITE PLAN AND NOTES

BRAND: F.M. SHEET: A1
DATE: DEC. 26, 2020
SCALE: AS NOTED

For Lot Dimensions, setbacks etc see Architectural Plans, survey and septic bed plans



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**Modulink
Planning & Design**
51 Rothwell Drive
Ottawa, On
K1J 7G7

CLIENT

PROJECT
2175 Alta Vista

ISSUE

July 20, 2023
Variance(s)

DRAWN BY
CJ

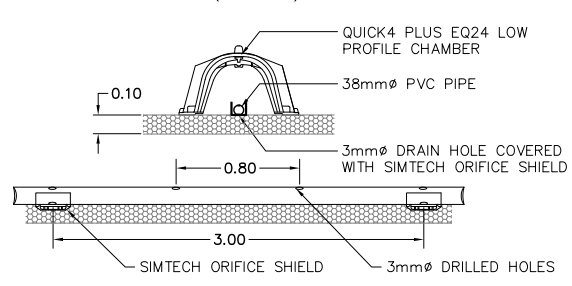
PROJECT NO.
2023

Scale
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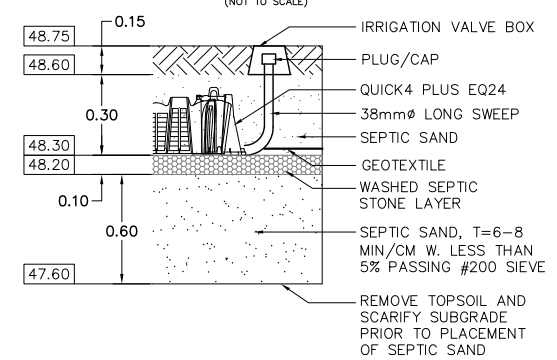
LEGEND

+XXXX	EXISTING ELEVATIONS
XX.XX	PROPOSED ELEVATIONS
■	TEST PIT LOCATION
---	SEPTIC BED OUTLINE
- - -	PERFORATED PVC PIPE
—	SOLID PVC PIPE
HP	HYDRO POLE
⊕	TEMPORARY BENCHMARK

ORIFICE SHIELD DETAIL
(NOT TO SCALE)



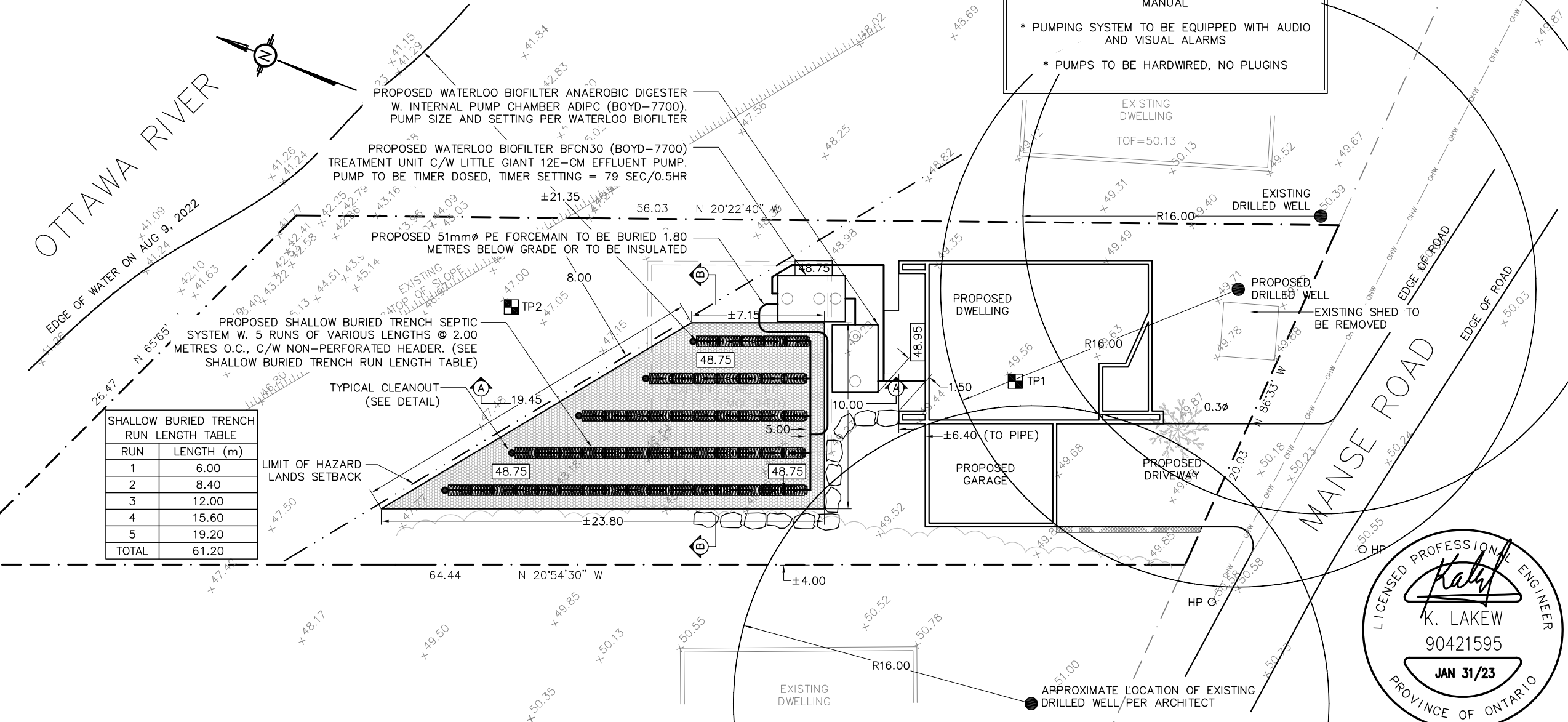
CLEANOUT DETAIL
(NOT TO SCALE)



- TBM = DOUBLE NAIL IN EXISTING HYDRO POLE, ELEVATION = 50.50 METRES
- THIS DRAWING IS NOT FOR CONSTRUCTION UNTIL APPROVED BY THE RELEVANT AUTHORITIES
- 100-YEAR FLOOD ELEVATION = 44.62 METRES
- * REMOVE ORGANIC MATERIAL AND SCARIFY SUBGRADE PRIOR TO PLACEMENT OF SEPTIC SAND
- * INSTALL WATERLOO BIOFILTER SYSTEM AS PER MANUFACTURER SPECIFICATIONS AND INSTALLATION MANUAL
- * PUMPING SYSTEM TO BE EQUIPPED WITH AUDIO AND VISUAL ALARMS
- * PUMPS TO BE HARDWIRED, NO PLUGS

DRAWING NUMBER: 210850-1

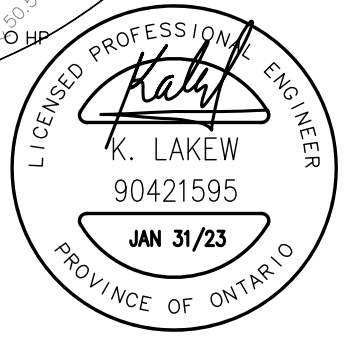
- CONSTRUCTION NOTES:**
- All dimensions and elevations are in metres. Do not scale drawing.
 - This drawing is not a legal survey, a utility plan or a site plan and is for septic purposes only.
 - TBM = Double nail in existing hydro pole, elevation = 50.50 metres.
 - This drawing cannot be accepted as acknowledging all of the utilities, and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 - This drawing is not for construction until approved by the relevant authorities.
 - The sewage system envelope (leaching bed) as identified on the drawing must be maintained free of the deposit or disposal of any materials, structures, or equipment other than the material or equipment required for the construction of the leaching bed within the sewage system envelope.
 - Topsoil rootmat (organics) to be removed from bed area and exposed subgrade. No wheeled vehicles to be allowed in leaching bed area.
 - Percolation rate of any imported sand for bed to be 6 to 8 min/cm, with < 5% passing the #200 (0.080 mm) sieve.
 - Stone layer to be washed septic stone, free of fine material, with gradation conforming to OBC Table 8.7.3.3.A.
 - The septic system leaching bed is to be graded to provide positive drainage away from the septic system and treated with 75 to 100 mm permeable topsoil and seed. Grass growth is to be established.
 - The following are not to be connected to the septic system: Water softener; swimming pool or filter system backwash; sump pump discharge.
 - Septic system to be installed in accordance with the OBC.
 - Septic tank to meet criteria described in the OBC.
 - No silty clay or clayey or silty material to be placed around or over leaching bed.
 - All changes to this design must be verified and approved by Kollaard Associates Incorporated.
 - Minimum clearance from treatment unit to;
 - * structure = 1.5m
 - * property line = 3m
 - * drilled well = 15m
 - Minimum clearance from distribution piping to;
 - * structure = 6.0m
 - * property line = 4.0m
 - * drilled well = 16.0m



SHALLOW BURIED TRENCH RUN LENGTH TABLE

RUN	LENGTH (m)
1	6.00
2	8.40
3	12.00
4	15.60
5	19.20
TOTAL	61.20

LIMIT OF HAZARD LANDS SETBACK



REV.	NAME	DATE	DESCRIPTION

Kollaard Associates Engineers
(613) 860-0923
210 PRESCOTT STREET
PO BOX 189
KEMPTVILLE ONTARIO
K0G 1J0
www.kollaard.ca
info@kollaard.ca

CLIENT: TAM PAYMAN

PROJECT: PROPOSED SEPTIC DESIGN PLAN

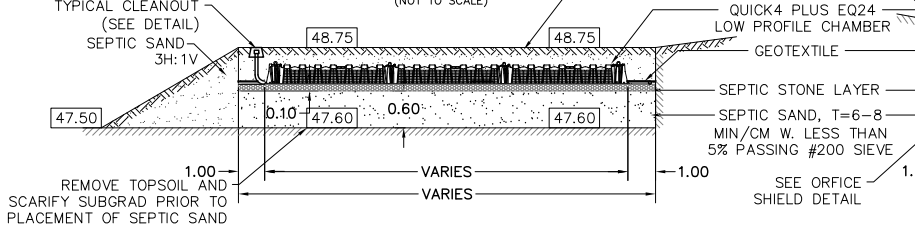
LOCATION: 2523 MANSE ROAD
LOT 15, CONC. 1,
CUMBERLAND,
CITY OF OTTAWA, ONTARIO

DESIGNED BY: NJR
DATE: JAN 31, 2023

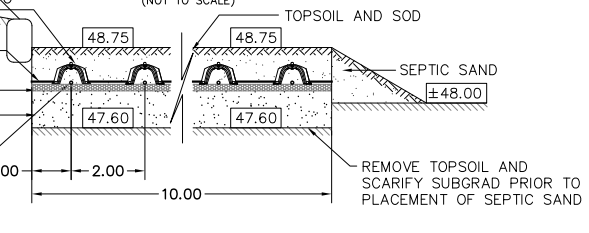
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KOLLAARD FILE NUMBER: 210850

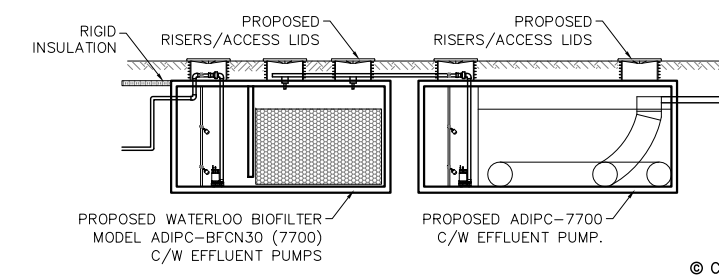
SECTION A-A
(NOT TO SCALE)



SECTION B-B
(NOT TO SCALE)

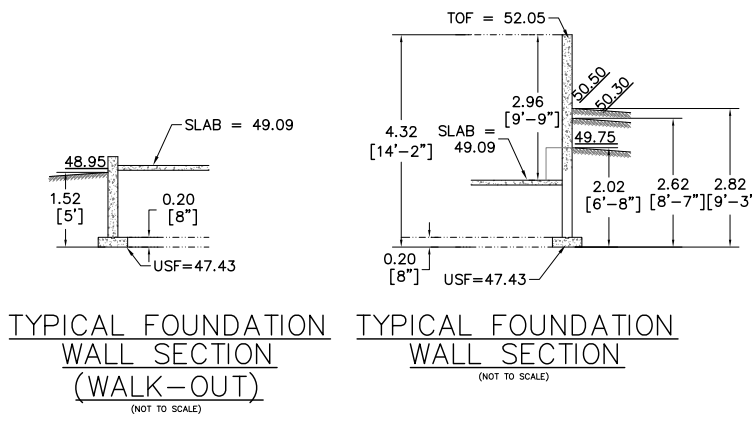


TREATMENT UNITS
(NOT TO SCALE)



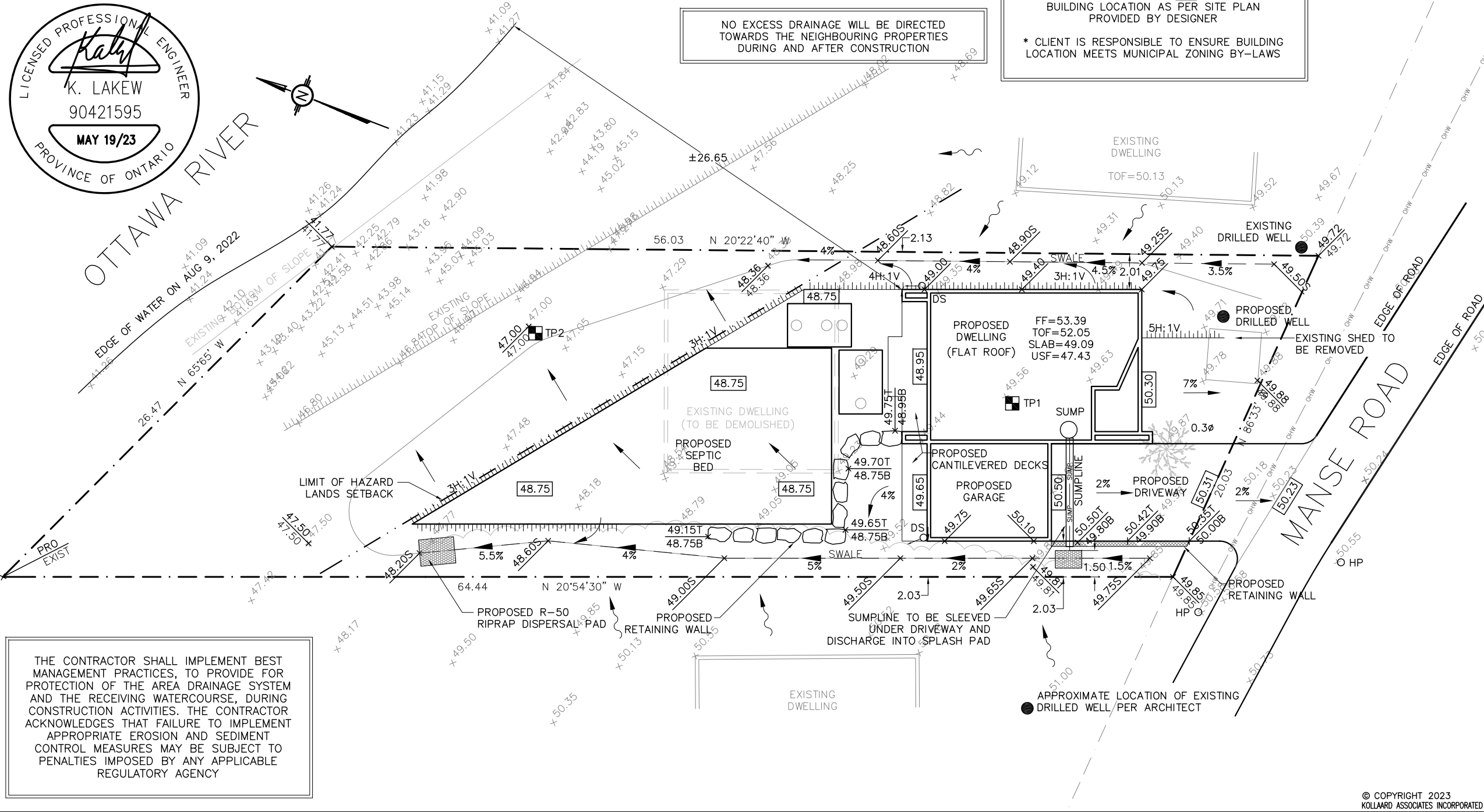
LEGEND

---XXX	EXISTING ELEVATIONS
XX.XX	PROPOSED ELEVATIONS
---	DRAINAGE SLOPE
---	EXISTING DRAINAGE
- - -	PROPERTY LINE
	TERRACING AS NOTED
FH	FIRE HYDRANT
HP	HYDRO POLE
XXXXT	TOP OF RETAINING WALL
XXXXB	BOTTOM OF RETAINING WALL
XX.XXS	PROPOSED SWALE
⊕	TEMPORARY BENCHMARK
○DS	DOWN SPOUT



- ALL SWALES TO HAVE MINIMUM 450mm METRE CLEARANCE FROM PROPERTY LINE
- TBM = DOUBLE NAIL IN EXISTING HYDRO POLE, ELEVATION = 50.50 METRES
- ALL RETAINING WALLS TO HAVE MINIMUM 150mm CLEARANCE FROM PROPERTY LINE
- THIS DRAWING IS NOT FOR CONSTRUCTION UNTIL APPROVED BY THE RELEVANT AUTHORITIES
- THERE IS TO BE NO ALTERATION OF EXISTING GRADE AND DRAINAGE PATTERNS ON THE PROPERTY LINES
- 100-YEAR FLOOD ELEVATION = 44.62 METRES
- NO EXCESS DRAINAGE WILL BE DIRECTED TOWARDS THE NEIGHBOURING PROPERTIES DURING AND AFTER CONSTRUCTION
- * THIS GRADING PLAN IS NOT A SITE PLAN. BUILDING LOCATION AS PER SITE PLAN PROVIDED BY DESIGNER
- * CLIENT IS RESPONSIBLE TO ENSURE BUILDING LOCATION MEETS MUNICIPAL ZONING BY-LAWS

- CONSTRUCTION NOTES:**
- All dimensions and elevations are in metres. Do not scale drawing.
 - This drawing is not a legal survey, a utility plan or a site plan and is for grading purposes only.
 - TBM = Double nail in existing hydro pole, elevation = 50.50 metres.
 - This drawing cannot be accepted as acknowledging all of the utilities, and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 - This drawing is not for construction until approved by the relevant authorities.
 - Contractor is responsible for location and protection of utilities.
 - Top of Foundation (TOF) elevation and Underside of Footing (USF) elevation for dwelling are as shown on drawing.
 - Finished grade around dwelling to be as shown.
 - Maximum allowable slope on site is 3H:1V. Finished grade to slope away from house at all sides at a minimum of 2%, and a maximum of 7%. Maximum slope away from septic system area is 4H:1V.
 - All dimensions to be verified on site by contractor prior to construction.
 - Client is responsible for acquiring all necessary permits.
 - The proposed grades have been set and verified for site grading control only. The grade raise at the house location should be verified with regard to subsurface conditions by qualified geotechnical personnel after completion of the excavation.
 - The underside of footing elevation may not have accounted for actual ground water conditions at the exact house location and should be verified by qualified geotechnical personnel upon completion of the excavation.
 - A geotechnical engineer should be retained to provide geotechnical recommendations with respect to the subgrade conditions prior to footing installation.
 - Frost protection will be required for the foundation footing where the soil cover over the underside of footing is less than 1.52 metres.
 - Any changes made to this plan must be verified and approved by Kollaard Associates Inc.



THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE, DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY

REV.	NAME	DATE	DESCRIPTION
1.	NJR	MAY 19, 2023	REVISED HOUSE PLANS

Kollaard Associates Engineers
 (613) 860-0923
 210 PRESCOTT STREET
 PO BOX 189
 KEMPTVILLE ONTARIO
 K0G 1J0
 FAX (613) 258-0475
 www.kollaard.ca
 info@kollaard.ca

CLIENT: TAM PAYMAN

PROJECT: PROPOSED LOT GRADING PLAN

LOCATION: 2523 MANSE ROAD
 LOT 15, CONC. 1,
 CUMBERLAND,
 CITY OF OTTAWA, ONTARIO

DESIGNED BY: NJR DATE: JAN 31, 2023

DRAWN BY: NJR SCALE: 1:250

KOLLAARD FILE NUMBER: 210850

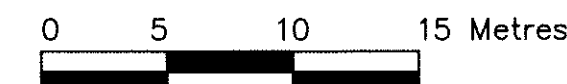
SURVEYOR'S REAL PROPERTY REPORT

PART 1: PLAN OF
PART OF LOT 15
CONCESSION 1 (OLD SURVEY)

GEOGRAPHIC TOWNSHIP OF CUMBERLAND

NOW IN THE
CITY OF OTTAWA
2016

SURVEYED BY: ARPENTAGE DUTRISAC SURVEYING INC.
SCALE 1 : 300



METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

- NOTES
- 1) THIS PLAN MUST BE READ IN CONJUNCTION WITH PART 2 OF THE SURVEYOR'S REAL PROPERTY REPORT, WRITTEN BY D. DUTRISAC, O.L.S., AND DATED 9th DECEMBER, 2016.
 - 2) BUILDING TIES SHOWN HEREON ARE PERPENDICULAR TO PROPERTY LINE UNLESS OTHERWISE NOTED.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON
THE 7th DAY OF DECEMBER, 2016
9th DECEMBER, 2016

DATE DENIS DUTRISAC
ONTARIO LAND SURVEYOR
ROCKLAND, ONTARIO

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	STANDARD IRON BAR (25mm X 120cm)
ISB	DENOTES	IRON BAR (16mm X 60cm)
SSB	DENOTES	SHORT STANDARD IRON BAR (25mm X 60cm)
PB	DENOTES	PLASTIC BAR
CC	DENOTES	CUT CROSS
CM	DENOTES	CONCRETE MONUMENT
CP	DENOTES	CONCRETE PIN
IP	DENOTES	IRON PIPE
Ø	DENOTES	ROUND
SU	DENOTES	SOURCE UNKNOWN
WT.	DENOTES	WITNESS
Meas.	DENOTES	MEASURED
O.S.	DENOTES	OLD SURVEY
P.I.N.	DENOTES	PARCEL IDENTIFICATION NUMBER
P1	DENOTES	PLAN BY HEPCO, DATED NOVEMBER 7, 1963
P2	DENOTES	PLAN BY AOV, DATED DECEMBER 13, 2004
D1	DENOTES	REGISTRATION N° RR46662
D2	DENOTES	REGISTRATION N° N739879
D3	DENOTES	PLAN ATTACHED TO REGISTRATION N° RR106538
O.L.S.	DENOTES	ONTARIO LAND SURVEYOR
N° 671	DENOTES	F.H. GOOCH, O.L.S.
N° 1491	DENOTES	DENIS DUTRISAC, O.L.S.
AOV	DENOTES	ANNIS, O'SULLIVAN & VOLLEBEKK ONTARIO LAND SURVEYORS
RMOC	DENOTES	REGIONAL MUNICIPALITY OF OTTAWA-CARLETON
HEPCO	DENOTES	HYDRO-ELECTRIC POWER COMMISSION OF ONTARIO
H.O.	DENOTES	ONTARIO HYDRO

BEARING REFERENCE:
BEARINGS SHOWN HEREON ARE NAD83 (CSRS) (1997) BEARINGS AND ARE FROM THE COMPUTED BEARING OF N66°50'05"E BETWEEN ICMS 00119883074 (N. 5021172.558 E. 354418.740) AND ICMS 0011967530 (N. 5047665.641 E. 416635.079) AND ARE REFERRED TO THE CENTRAL MERIDIAN OF LONGITUDE 76°30'W OF ZONE 9 N.T.M.

CAUTION

- 1) ADDITIONAL PRINTS OF THIS REPORT WILL NOT BE ISSUED WITHOUT UPDATING THE LAND TITLES OFFICE SEARCH, INSPECTING THE SITE, AND REVISING THE PLAN AND REPORT ACCORDINGLY.
- 2) THIS SURVEY AND PLAN IS NOT VALID AND SHOULD BE CONSIDERED FALSIFIED IN SOME MANNER UNLESS EMBOSSED BY THE SEAL OF THE SIGNING LAND SURVEYOR.
- 3) THE SURVEYED PARCEL IS NOT SUBJECT TO EASEMENTS, UNLESS OTHERWISE NOTED, AS PER CURRENT TITLE AND AS SHOWN ON THE CURRENT PIN. THIS SURVEY AND PLAN HAS NOT SEARCHED FOR EASEMENTS AND FURTHER RESTRICTIONS ON ANY OR ALL OF THE PARCEL THAT MAY BE FOUND IN THE ORIGINAL CROWN PATENT, ZONING BY-LAWS, OFFICIAL PLANS, SUBDIVISION AGREEMENTS, DEVELOPMENT AGREEMENTS, BUILDING CODE ETC. NOR IS ANY LIABILITY WITH RESPECT TO ANY RESTRICTIONS BEYOND WHAT IS SPECIFICALLY RECORDED ON THE LAND TITLES PIN ACCEPTED.

NOTE: NOT FOR REGISTRATION PURPOSES

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ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
1996314
THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR
In accordance with Regulation 1529, Section 28(3).

GRANTS TO TAMIN PAYMAN (THE CLIENT), HIS SOLICITORS, MORTGAGEES, AND OTHER RELATED PARTIES, PERMISSION TO USE THE ORIGINAL SIGNED AND SEALED COPIES OF THIS SURVEYOR'S REAL PROPERTY REPORT IN A TRANSACTION INVOLVING THE CLIENT.
THE COPYING, REPRODUCTION, ALTERATION, DISTRIBUTION OR USE OF THIS REPORT, IN WHOLE OR IN PART, WITHOUT THE EXPRESS WRITTEN PERMISSION OF **ARPENTAGE DUTRISAC SURVEYING INC.** IS PROHIBITED.
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Arpentage Dutrisc Surveying Inc.
ROCKLAND
PHONE: (613) 446-7101 FAX: (613) 446-7102

