

Committee of Adjustment  
Received | Reçu le  
2023-10-05  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

APPROVED UNDER SECTION 51 OF THE PLANNING ACT  
BY THE CITY OF OTTAWA.  
THIS 25 DAY OF April, 2022

STEPHEN WILLIS, MCIIP, RPP,  
GENERAL MANAGER  
PLANNING, REAL ESTATE AND ECONOMIC  
DEVELOPMENT DEPARTMENT  
CITY OF OTTAWA

PLAN 4M-1700

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF OTTAWA-CARLETON NO. 4 AT 15:42 O'CLOCK ON THE 9th DAY OF May, 2022 AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIERS 04273-0828, 04273-1171 AND 04273-1173 AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. OC2488211

Chantale Holloway  
Representative for LAND REGISTRAR

PLAN OF SUBDIVISION OF  
PART OF LOT 24  
CONCESSION 1 ( OTTAWA FRONT )  
Geographic Township of Gloucester  
and  
PART OF RESERVE BLOCKS 116 and 117  
REGISTERED PLAN 4M-1559  
CITY OF OTTAWA  
Surveyed by Annis, O'Sullivan, Vollebek Ltd.  
Scale 1:1000

40 30 20 10 0 20 40 Metres

Metric  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

This plan comprises all of PIN's 04273-1171 and 04273-1173 and part of PIN 04273-0828.

Part of Block 1: Subject to easement Inst. OC1771382.  
Part of Block 1: Subject to easement Inst.'s OC1755037 and OC1755039.  
Part of Block 1: Subject to easement Inst. OC2465410.

Surveyor's Certificate  
I CERTIFY THAT:  
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.  
2. The survey was completed on the 23rd day of March, 2022.

April 8, 2022  
Date  
A. J. Broxham  
Andrew J. Broxham  
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-25435.

OWNER'S CERTIFICATE  
THIS IS TO CERTIFY THAT:  
1. Block 1 has been laid out in accordance with our instructions.

Dated the 20 day of April, 2022  
Tara Dinsmore, Vice President,  
Real Estate (National Capital Region,  
Atlantic and Acquisitions)  
Canada Lands Company CLC Limited  
I have authority to bind the corporation.

Dated the 20th day of April, 2022  
Mary Jarvis, Acting Senior Director  
Real Estate (National Capital Region, Atlantic)  
Canada Lands Company CLC Limited  
I have authority to bind the corporation.

NOTES AND LEGEND

- denotes Survey Monument Planted
- " Survey Monument Found
- SIB " Standard Iron Bar
- SSIB " Short Standard Iron Bar
- IB " Iron Bar
- (AOG) " Annis, O'Sullivan, Vollebek Ltd.
- (P1) " Registered Plan 4M-1559
- (P2) " Plan 4R-34368

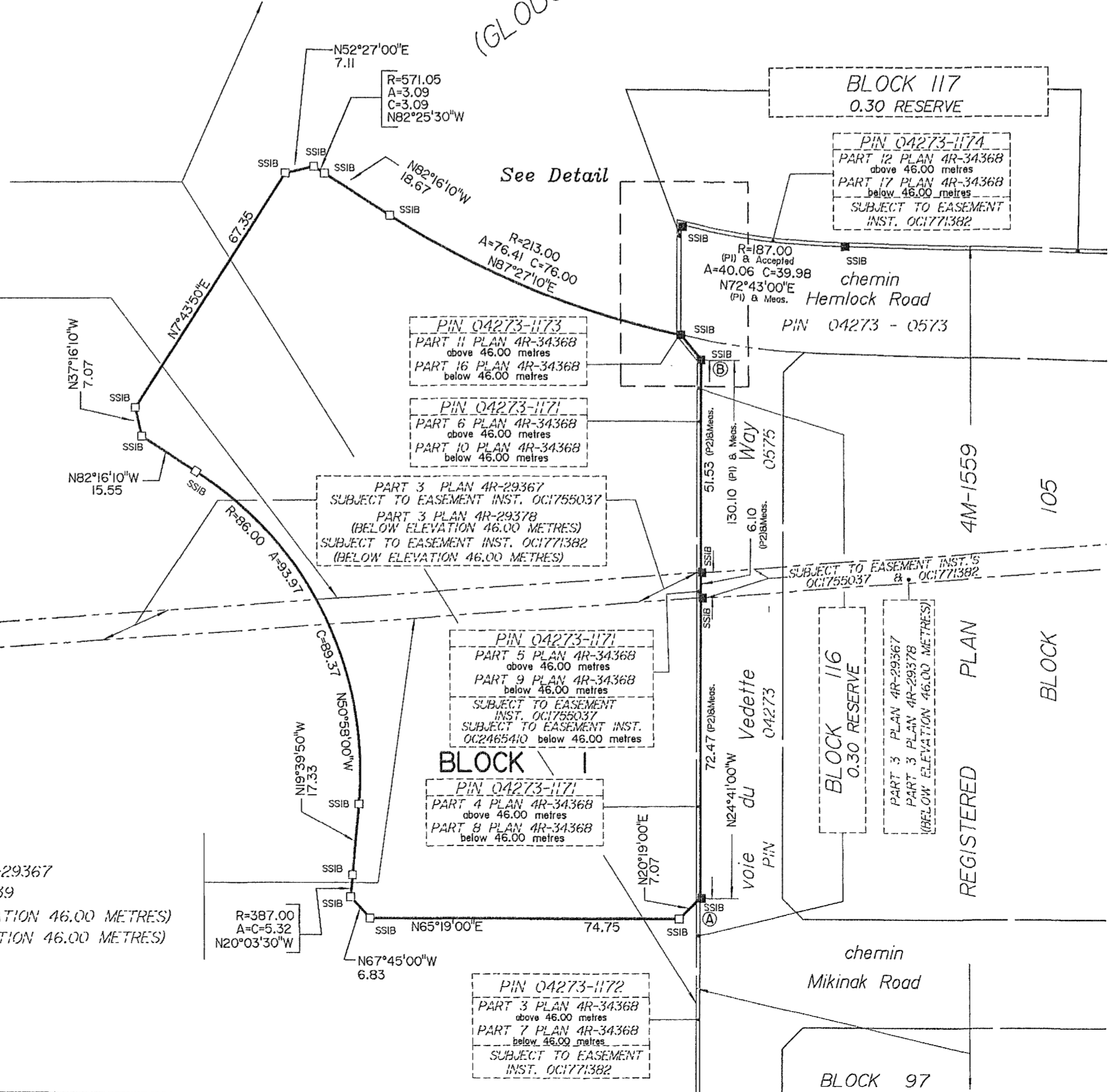
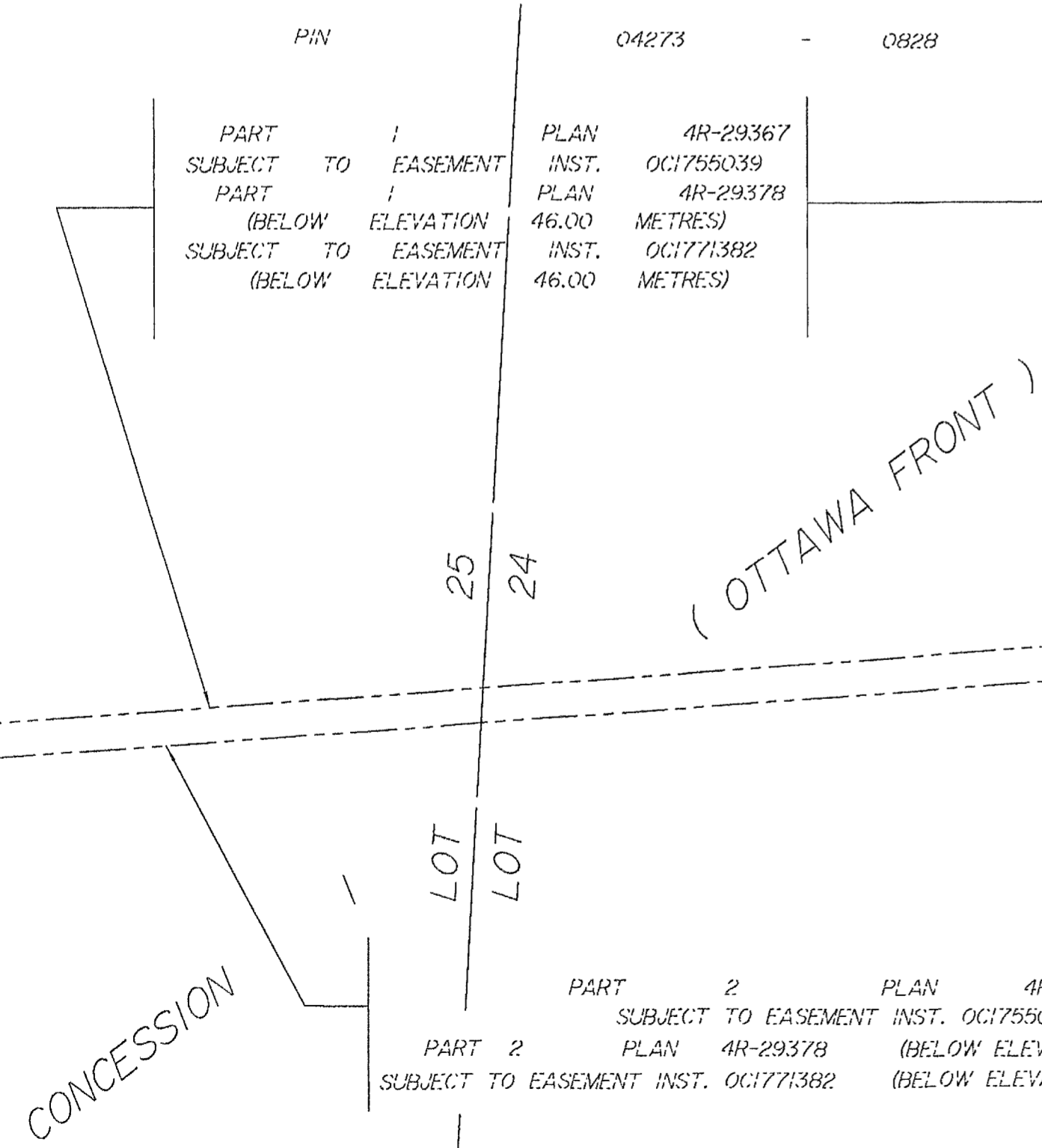
All found survey monuments are (AOG), unless otherwise noted.  
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999947.  
Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on reference points A and B, shown hereon, having a bearing of N 24°41'00" W and are referenced to Specified Control Points 01919680105 and 019198434761, MTM Zone 9 ( 76°30' West Longitude ) NAD-83 (original).  
Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680105 and 0198434761, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).  
Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

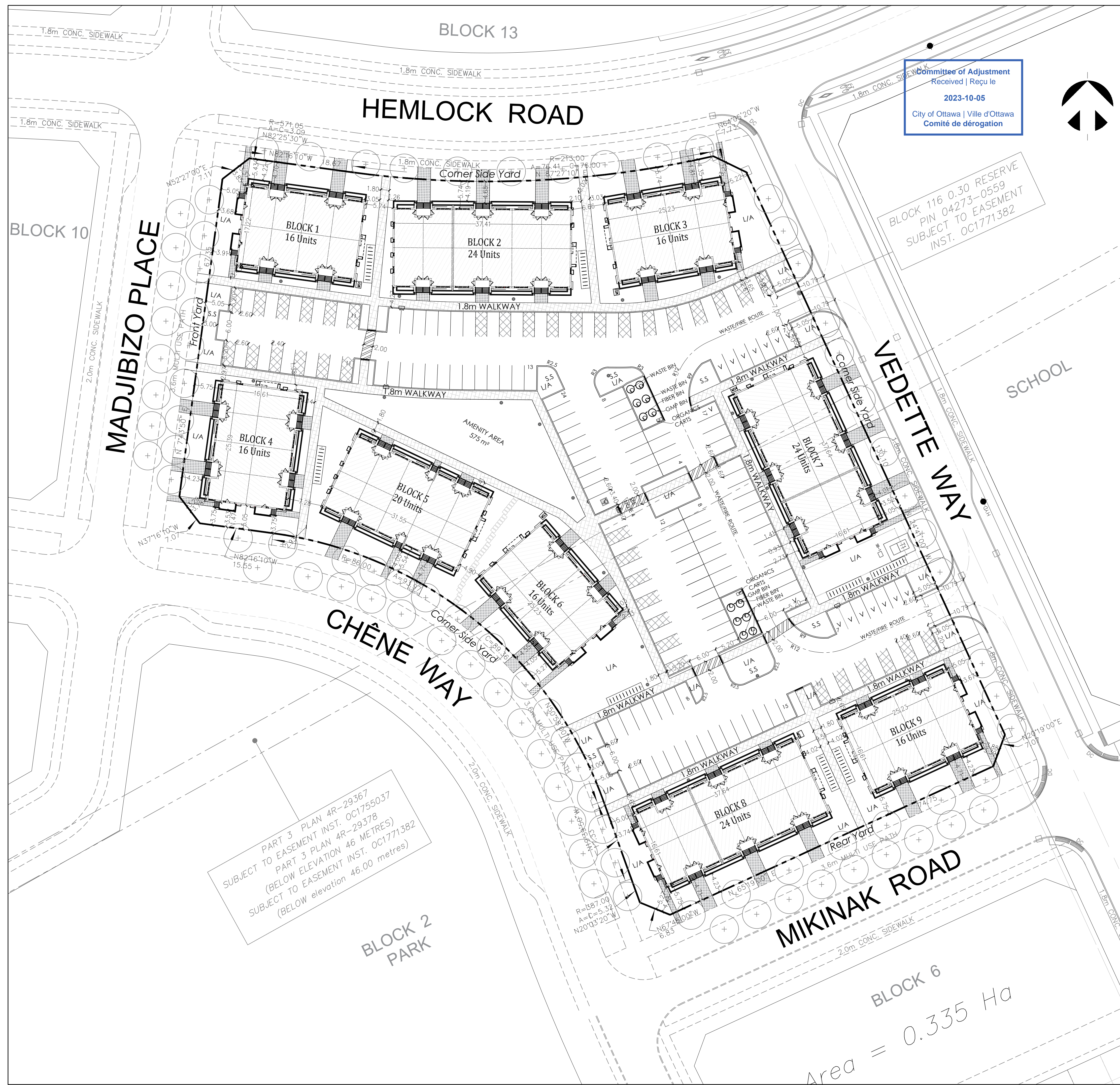
01919680105 Northing 5024915.16 Easting 373971.65  
019198434761 Northing 5036178.12 Easting 372436.11  
Point A Northing 5034931.53 Easting 372288.90  
Point B Northing 5035049.74 Easting 372234.57

Caution: Coordinates shown, in themselves, be used to re-establish corners or boundaries shown on this plan.

ELEVATION NOTES  
1. Elevations are geodetic, referred to City of Ottawa Bench Mark No. 396 (01919680138), having an elevation of 95.063 metres.

ANNIS, O'SULLIVAN, VOLLEBEK LTD.  
14 Concourse Gate, Suite 500  
Nepean, Ont. K2E 7S6  
Phone: (613) 727-0850 / Fax: (613) 727-1079  
Email: Nepean@avollid.com





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BLOCK 116 0.30 RESERVE  
PIN 04273-0559  
SUBJECT TO EASEMENT  
INST. OC1771382

PART 3 PLAN 4R-29367  
SUBJECT TO EASEMENT INST. OC1755037  
PART 3 PLAN 4R-29378  
(BELOW ELEVATION 46.00 METRES)  
SUBJECT TO EASEMENT INST. OC1771382  
(BELOW elevation 46.00 metres)

BLOCK 2  
PARK

Area = 0.335 Ha

**SITE STATISTICS AND DEVELOPMENT DATA**

<b>PHASE 1</b>	
SITE AREA	16,304 m <sup>2</sup> (1.63 ha)
PAVED AREA	5,121 m <sup>2</sup> (31%)
LANDSCAPED AREA	5,826 m <sup>2</sup> (36%)
TOTAL BUILDING COVERAGE	5,357 m <sup>2</sup> (33%)
TOTAL APPROXIMATE GROSS FLOOR AREA	15,044 m <sup>2</sup>
TOTAL UNITS	172
DENSITY (UPH)	105 UPH
ZONE CATEGORY	RSY(2312)

DWELLING BLOCK	DWELLING TYPE	GROSS FLOOR AREA (m <sup>2</sup> )	UNITS
BLOCK 1	STACKED TOWNS	1,375.66	16
BLOCK 2	STACKED TOWNS	2,045.86	24
BLOCK 3	STACKED TOWNS	1,375.66	16
BLOCK 4	STACKED TOWNS	1,375.66	16
BLOCK 5	STACKED TOWNS	2,011.00	20
BLOCK 6	STACKED TOWNS	1,375.66	16
BLOCK 7	STACKED TOWNS	2,054.59	24
BLOCK 8	STACKED TOWNS	2,054.59	24
BLOCK 9	STACKED TOWNS	1,375.66	16
<b>TOTAL</b>		<b>15,044.34</b>	<b>172</b>

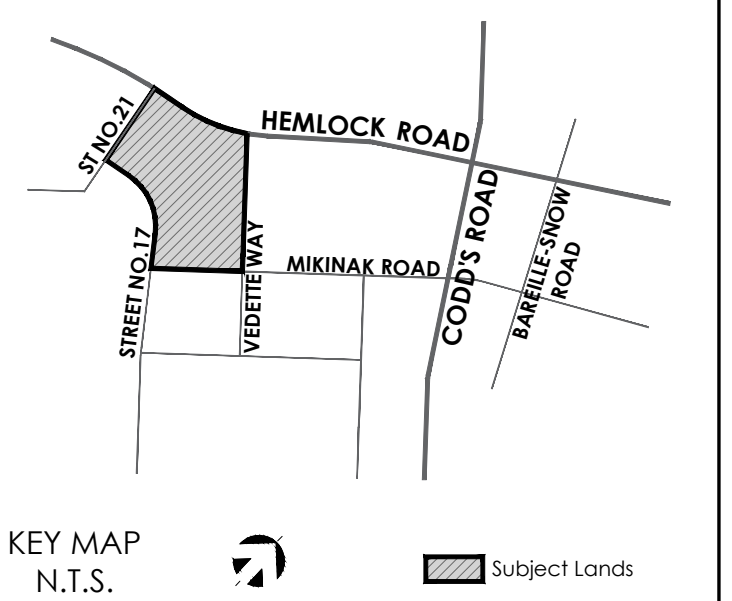
SECTION	ZONE PROVISION	REQUIRED	PROPOSED
164A(Table)(1)	MIN. LOT AREA (m <sup>2</sup> )	1,400m <sup>2</sup>	16,304.6m <sup>2</sup>
164A(Table)(1)	MIN. LOT WIDTH (m)	N/A	67.35m
164A(Table)(1)	MAX. BUILDING HEIGHT (m)	11m	10.7m
229	MIN. FRONT YARD SETBACK (m)	Min: 5.0m Max: 6m	5.05m
EXCEPTION: 2312 (By-Law 2015-369)	MIN. REAR YARD SETBACK (m)	Min: 5.0m Max: 6m	5.75m
	MIN. SIDE YARD SETBACK (m)	Min: 5.0m Max: 6m	5.0m
107(1)(a)(i)	MIN. SEPARATION DISTANCE BETWEEN BUILDINGS (m)	3.0m	4.38m
131(Table)(2)	MIN. WIDTH OF A DOUBLELANE DRIVEWAY TO A PARKING LOT (m)	6.0m	6.0m
131(7)	MIN. SETBACK FOR ANY WALL OF A RES. BUILDING TO PRIVATE WAY MAX. PERMITTED HEIGHT AND SIZE FOR A COMMUNAL ACCESSORY BUILDING USED FOR GARBAGE OR BICYCLES	1.8m Height: 4.5m Size: 200m <sup>2</sup>	2.55m
137(Table)(6)	AMENITY AREA: MIN. STACKED TOTAL AMENITY AREA (6m <sup>2</sup> /unit) MIN. STACKED COMMUNAL AMENITY AREA (min. 50% area)	1,032m <sup>2</sup> 516m <sup>2</sup>	1,496m <sup>2</sup> 575m <sup>2</sup>
101(Table)	PARKING, DRIVE AISLE, LANDSCAPING PROVISIONS:	86 (0.5/unit)	172 (1/unit)
102(Table)	RESIDENT PARKING	16 (0.1/unit after first 12 units)	16 (0.1/unit)
102(Table)	VISITOR PARKING		
106(2)	MIN. ACCESSIBLE PARKING RATE	0	1
111A(Table)	BICYCLE PARKING	86 (0.5/unit)	88 (0.51/unit)
109(3)(b)	MAX. WIDTH OF WALKWAY WITHIN A YARD (m)	1.8m	1.8m
110(1)	MIN. % OF PARKING LOT LANDSCAPED	15%	23%
110(Table)	MIN. WIDTH OF LANDSCAPED BUFFER OF A PARKING LOT ADJUTING A STREET (m)	3.0m	3.0m
110(3)(b)	MIN. WASTE COLLECTION AREAS SETBACK TO LOT LINE (m)	3.0m	37.0m
110(2)(c)	OPAQUE SCREEN MIN. HEIGHT (m)	2.0m	2.0m

SECTION	ADDITIONAL PROVISIONS	REQUIRED	PROPOSED
65(Table)(5)	PERMITTED PROJECTIONS INTO REQUIRED YARDS (m) FIRE ESCAPES, OPEN STAIRWAYS, LANDING, STEPS AND RAMPS (m): INTERIOR SIDE YARD OR REAR YARD FRONT YARD OR CORNER SIDE YARD OTHER CASES: IN ANY YARD	No limit >0.6m to lot line 1.5m but no closer than 1m to lot line	4.71m Rear yard 2.57m n/a
65(Table)(6)	COVERED OR UNCOVERED BALCONY, PORCH, DECK (m): UNCOVERED/UNENCLOSED FEATURES, WALKING SURFACE <0.6m ABOVE ADJACENT GRADE INTERIOR SIDE YARD OR REAR YARD FRONT YARD OR CORNER SIDE YARD OTHER CASES IN ANY YARD	No limit 2.5m but no closer than 1m to lot line 2m but no closer than 1m to lot line	n/a n/a 1.47m, 3.53m to lot line
106(1)(a)	MIN. PERPENDICULAR PARKING SPACE SIZE (m)	2.6m x 5.2m	2.6m x 5.2m**
106(2)	MIN. BARRIER FREE PARKING TYPE A PARKING SPACE SIZE (m) TYPE B PARKING SPACE SIZE (m) ACCESS AISLE (m)	3.4m wide 2.4m wide 1.5m	3.4m wide 2.4m wide 1.5m
111B(Table)	MIN. BICYCLE PARKING SPACE DIMENSION, HORIZONTAL (m)	Width: 0.6m Length: 1.8m	0.6m 1.8m
111(9)	MIN. BICYCLE PARKING SPACE ACCESSIBLE WIDTH (m)	1.5m	1.8m

\*Section 106 (2a) (iii) up to 50% of the required parking spaces may be reduced in size to 2.4m x 4.6m for small cars only. Proposed 38 spaces of 2.4m wide for small car parking. Length maintained at 5.2m.

*Andrew McCreight*  
**ANDREW MCCREIGHT**  
MANAGER (A), DEVELOPMENT REVIEW CENTRAL  
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT  
DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
By Andrew McCreight at 1:36 pm, Oct 04, 2022



SCALE 1:400

**LEGEND**

STACKED TOWNS	REDUCED PARKING SPACE SIZE
PAVERS	CONCRETE/ASPHALT PAD
CROSSWALK	BIKE RACKS
CURB (0.2m)	ENTRANCE
WALKWAY TO ENTRY (Pavers)	VISITOR PARKING
DEPRESSED CURB	PATIO SLABS/STEPPING STONES
WINDOW WELL	WASTE/FIBER BIN (5m3)
PORCH	GMP BIN (3m3)
PROJECTION (STAIRS)	ORGANICS CARTS (240L)
S.S SNOW STORAGE AREA	STREET TREE
L/A LANDSCAPED AREA	SWITCHBOARD
BLOCK BOUNDARY	
BARRIER FREE PARKING	
BARRIER FREE PARKING SIGNAGE	
TACTILE WALKING SURFACE INDICATOR	
NEW LED LIGHT POLE	
FLO CoRe + DUAL HEAD EV	
NEW MINI SUB TRANSFORMER 300K VA	
PAD MOUNT TRANSFORMER BY HYDRO OTTAWA 28KV-347/600V	

DATE	REVISION	BY
26/09/22	General revisions	CR
22/07/22	General revisions	CP
26/04/22	General revisions	SP
31/01/22	General revisions	SP
17/12/21	Draft site plan	SP

**GENERAL NOTES**

- DO NOT SCALE DRAWINGS FOR PRINT.
- THIS DRAWING IS THE EXCLUSIVE PROPERTY OF KORSIK URBAN PLANNING. COPYRIGHT RESERVED.
- WALKWAYS AND CURBS TO BE TIED INTO PUBLIC ROW WHERE APPLICABLE.
- REFERENCES CITY OF OTTAWA T.W.S.I. DETAIL SC7.3
- SURVEY BOUNDARY PREPARED BY ANNIS OSULIVAN VOLLEBEK LTD. 14 CONCOURSE GATE, SUITE 500, NEPEAN, ONTARIO, K2E 7S5. TEL: (613) 727-0850 FAX: (613) 727-1079

**PROJECT TEAM**

SITE PLAN DESIGN: KORSIK URBAN PLANNING	LANDSCAPE ARCHITECTURE: NAK design strategies	TRANSPORTATION: NOVATECH
PLANNING: Stantec	CIVIL ENGINEER: DEEL	NOISE: GRADIENT WIND
ARCHITECTURE: Q4A	MECHANICAL/ELECTRICAL: L.R.J.	GEOTECHNICAL & STRUCTURAL: paterson group

**mattamyHOMES**  
50 Hines Road, Suite 100, Ottawa, ON Canada K2K 2M5

Wateridge  
101 VELETTE WAY  
PART OF LOT 24 CONCESSION 1 (OTTAWA FRONT)  
AND PART OF BLOCKS 116 & 117  
REGISTERED PLAN 4M-1559  
GEOGRAPHIC TOWNSHIP OF GLOUCESTER  
CITY OF OTTAWA

**TITLE: SITE PLAN**

DATE: September 26, 2022	DRAWN BY: SP	DRAWING NO.
FILE NO.: #	CHECKED BY: CR	A
JOB NO.: WATERIDGE PHASE 3A		

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ISSUANCE

RE-ISSUED FOR

PERMIT

2023/06/09

DATE

## DRAWING LIST

PG. #	DRAWING LIST
001	COVER SHEET
002	FOUNDATION PLAN
003	BASEMENT FLOOR PLAN
004	GROUND FLOOR PLAN
005	SECOND FLOOR PLAN
006	THIRD FLOOR PLAN
007	ROOF TOP TERRACE PLAN
008	ROOF PLAN
009a	FRONT ELEVATION CNB
010a	END ELEVATION (HYDRO) CNB
011a	REAR ELEVATION CNB
012a	CORNER ELEVATION CNB
013	SECTIONS
014	SECTIONS
015	SECTIONS
016	CODE MATRIX & DIAGRAMS
017	LIMITING DISTANCES - BLOCK 1
019	PPOs
020	DOOR AND WINDOW SCHEDULES
022	GfAs
023	UNIT AREAS AS PER THE HOME CONSTRUCTION REGULATORY AUTHORITY FOR CONDOMINIUM HOMES



**NOTE:** DRAWINGS TO BE READ IN CONJUNCTION WITH ISSUED DETAIL PACKAGE.



## KEYPLAN

## TEAM

### Unit JDEs and Civic Addresses (refer to site plan)

Unit #	JDE#	Civic Address
1A	1502	318 Mishi Private
1B	1501	316 Mishi Private
2A	1503	320 Mishi Private
2B	1504	322 Mishi Private
3A	1506	326 Mishi Private
3B	1505	324 Mishi Private
4A	1507	328 Mishi Private
4B	1508	330 Mishi Private

Unit #	JDE#	Civic Address
5A	1510	302 Mishi Private
5B	1509	300 Mishi Private
6A	1511	304 Mishi Private
6B	1512	306 Mishi Private
7A	1514	310 Mishi Private
7B	1513	308 Mishi Private
8A	1515	312 Mishi Private
8B	1516	314 Mishi Private

### Structural Engineer

D+M Structural Engineering  
110-333 Preston Street  
Ottawa, ON K1S 5N4  
(613) 651-9490  
For structural design, refer to structural drawings, issued by block.

### Civil Engineer

Stantec Consulting Ltd.  
400-1331 Clyde Avenue  
Ottawa, ON K2C 3G4  
(613) 722-4420

### Site - Services

LRL Engineering  
5430 Canotek Road  
Ottawa, ON K1J 9G2  
(613) 842-3434

### Landscape Architects

NAK Design Strategies  
250 Besserrer St, Suite 100  
Ottawa, ON K1N 6B3  
(613) 237-2345

### HVAC

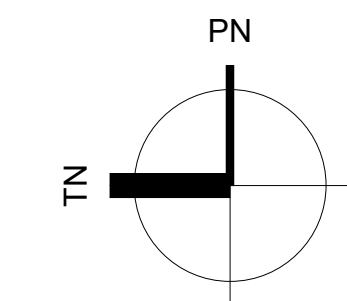
McCallum HVAC Design  
2 Dewside Drive Unit 208  
Brampton, ON L6R 3Y5  
(905) 840-8166  
For Mechanical design, refer to HVAC drawings, issued by unit.

For Plumbing design, refer to Plumbing drawings, issued by unit.

# WATERIDGE 101 VEDETTE WAY - BLOCK 1 CNB

**ELEC. SYMBOL LEGEND**

- ⊙ EXHAUST VENT (REFER TO MECH.)
- ⊕ DUPLEX OUTLET
- ⊕ WEATHERPROOF DUPLEX OUTLET
- ▲ HEAVY DUTY OUTLET
- ⊕ POT LIGHT
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ STANDARD LIGHT SWITCH
- ⊕ LIGHT SWITCH, THREE-WAY
- ⊕ SMOKE ALARM/CARBON MONOXIDE ALARM (REFER TO OBC DIV. 8 PART 9.10.19)



**Q4A**  
ARCHITECTS

**Q4 ARCHITECTS INC.**

410 Yonge Street  
Suite 502, Toronto ON  
M2P 2B7  
T: 416.322.6334  
F: 416.322.7294  
E: info@q4architects.com



The contractor / builder must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. Drawings are NOT to be scaled. All drawings and specifications are instruments of service and the copyright property of the designer and must be returned upon request.

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**NOTE:** ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS.  
ONT. REG. 330/12  
**NOTE:** NO. OF STEPS AS PER GRADING PLAN.  
**NOTE:** ALL INTERIOR DIMENSIONS ARE TO FRAMING MEMBERS.  
**NOTE:** ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF EXTERIOR FINISHING.  
**NOTE:** PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO BUILDING IF REQUIRED - SEE OBC SB-8.  
**NOTE:** FLOOR JOIST ARE TO BE REVIEWED BY ENGINEER PRIOR TO CONSTRUCTION.  
**NOTE:** QUIET WALL - INSULATED INT. WALL FOR SOUND REDUCTION. SEE FLOOR PLANS FOR LOCATION.  
**NOTE:** FLOOR JOIST 12" O.C. UNDER TILED AREAS.  
**NOTE:** ALL STRUCTURAL INFORMATION AND SIZES AS PER STRUCTURAL DESIGN BY CHA STRUCTURAL ENGINEERING.  
**NOTE:** STRUCTURAL INFORMATION SHOWN HERE IS FOR CONVENIENCE ONLY. REFER TO STRUCTURAL DRAWINGS.  
**NOTE:** AS PER O.B.C. 9.10.8.8 ALL LOADEARING WALLS, COLUMNS, AND ARCHES SHALL HAVE A FRR OF NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR ABOVE. FULLY ENCLOSE WOOD POST WITH 5/8" TYPE X DRYWALL TAPE ALL JOINTS AND CORNERS WITH FIRE TAPE.  
**NOTE:** SEE THE GEOTECHNICAL REVIEW RECOMMENDATION BEFORE POURING THE FOOTINGS AND THE FOUNDATION WALL.  
**NOTE:** PROVIDE WOOD BLOCKING REINFORCEMENT TO STUD WALLS FOR FUTURE GRAB BAR INSTALLATION IN MAIN BATHROOM. 840x200mm A.F.F. BEHIND TOILET. 850mm x 1700mm A.F.F. ON THE WALL OPPOSITE THE ENTRANCE TO THE BATHTUB OR SHOWER FOR S-SHAPED GRAB BAR.  
**NOTE:** MECHANICAL AND ELECTRICAL CONSULTANTS ARE RESPONSIBLE FOR THE DESIGN AND LOCATION OF ALL VENTILATION, GAS FIRE VENTS, HVAC, ETC. BUILDER AND SUB-CONTRACTORS TO ENSURE THE INSTALLATION ADHERES TO ALL APPLICABLE CODES.  
**NOTE:** CONTRACTOR TO ENSURE ALL CONSTRUCTION SAFETY INCLUDING TEMPORARY BRACING, GUARDS, AND/OR FALL PROTECTION ADHERE TO MINIMUM REQUIREMENTS SPECIFIED BY ENGINEER AND/OR AUTHORITIES HAVING JURISDICTION AS PER O. REG. 215/91.

**CEILING LEGEND**

- 1 HR. FRR CEILING
- DROPPED CEILING

4	RE-ISSUED FOR PERMIT	2023/06/09	SG
3	RE-ISSUED FOR PERMIT	2023/04/04	SG
2	RE-ISSUED FOR PERMIT	2023/04/03	SG
1	ISSUED FOR MASTER PERMIT	2023/03/29	SG

Issued / Revision Chart

**WATERIDGE 101 VEDETTA WAY - BLOCK 1 CNB**

OTTAWA

MATTAMY HOMES

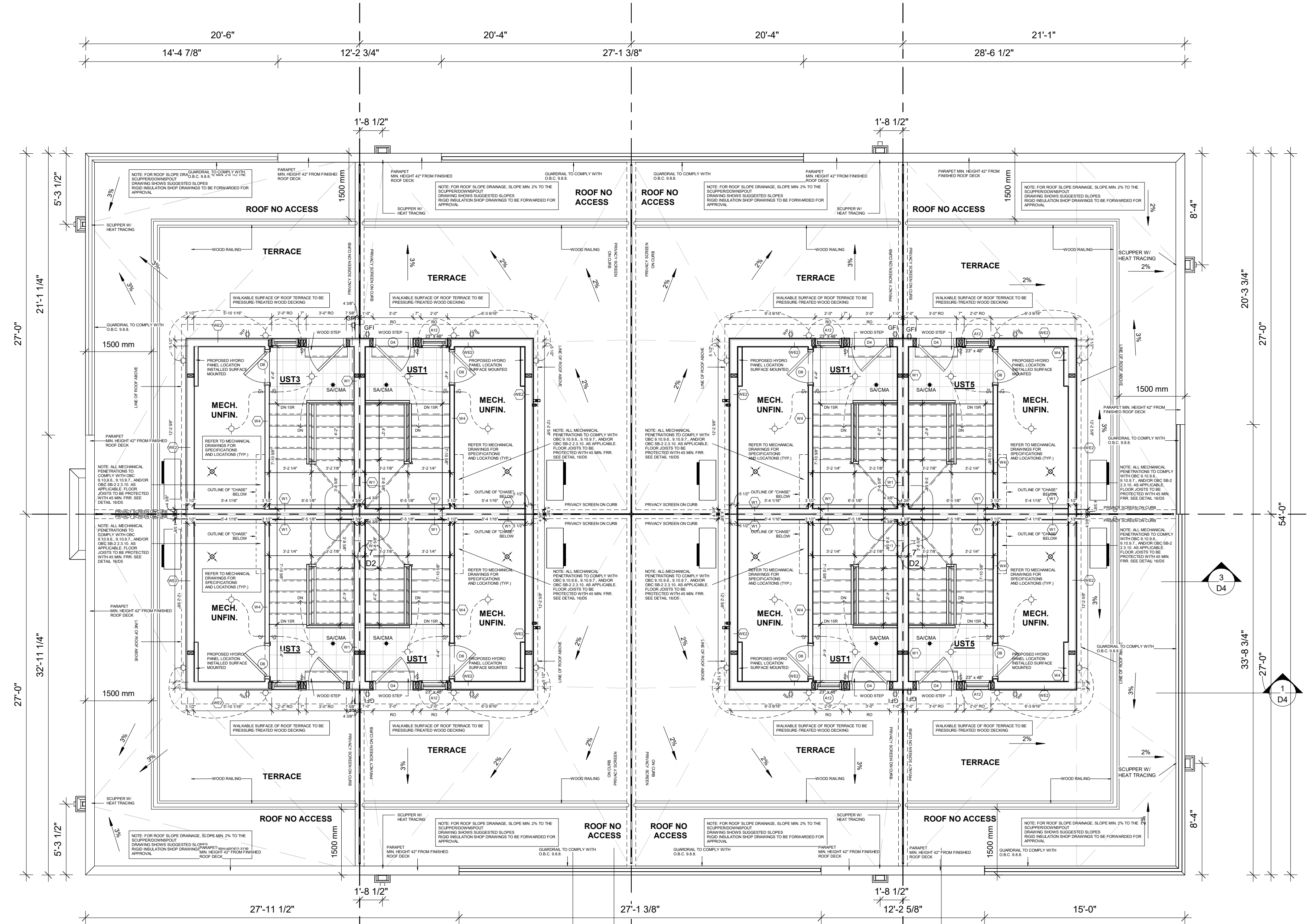
Project No. 21014  
Scale As indicated  
Drawn By SG  
Checked By CT

**ROOF TOP TERRACE PLAN**

- 4A - UST3 - 1507-U THE HAYDON (END)
- 3A - UST1 REV. - 1506-U THE HAYDON
- 2A - UST1 - 1503-U THE HAYDON
- 1A - UST5 REV. - 1502-U THE HILL II
- 4B - UST4 - 1508-L THE BRITANNIA (END)
- 3B - UST2 REV. - 1505-L THE BRITANNIA
- 2B - UST2 - 1504-L THE BRITANNIA
- 1B - UST6 REV. - 1501-L THE HAWTHORNE II

011a  
1

012a  
1



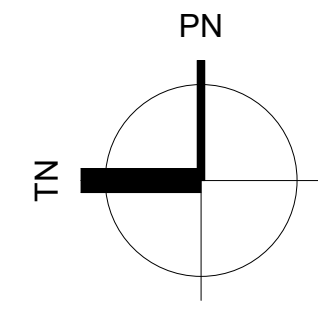
- 5A - UST3 REV. - 1510-U THE HAYDON (END)
- 6A - UST1 - 1511-U THE HAYDON
- 7A - UST1 REV. - 1514-U THE HAYDON
- 8A - UST5 - 1515-U THE HILL II
- 5B - UST4 REV. - 1509-L THE BRITANNIA (END)
- 6B - UST2 - 1512-L THE BRITANNIA
- 7B - UST2 REV. - 1513-L THE BRITANNIA
- 8B - UST6 - 1516-L THE HAWTHORNE II

009a  
1

FOR PARTY WALL DETAILS, SEE PAGE D2  
FOR FIREWALL DETAILS, SEE PAGE D10

GUARDRAIL DESIGN TO COMPLY WITH OBC 9.8.8.  
WOOD RAILING INSTALLATION AS PER OBC SB-7

**1 FIN. ROOF TOP TERRACE PLAN**  
3/16" = 1'-0"



**Q4 ARCHITECTS INC.**

410 Yonge Street  
Suite 602, Toronto ON  
M2P 2B7

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F: 416.322.7294  
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**NOTE:** ALL INTERIOR DIMENSIONS ARE TO FRAMING MEMBERS.  
**NOTE:** ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF EXTERIOR FINISHING.  
**NOTE:** PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO BUILDING IF REQUIRED - SEE OBC S8.9.  
**NOTE:** FLOOR JOIST ARE TO BE REVIEWED BY ENGINEER PRIOR TO CONSTRUCTION.  
**NOTE:** QUIET WALL - INSULATED INT. WALL FOR SOUND REDUCTION. SEE FLOOR PLANS FOR LOCATION.  
**NOTE:** FLOOR JOIST 1" OC UNDER TILED AREAS.  
**NOTE:** \* ALL STRUCTURAL INFORMATION AND SIZES AS PER STRUCTURAL DESIGN BY CHA STRUCTURAL ENGINEERING.  
**NOTE:** \* STRUCTURAL INFORMATION SHOWN HERE IS FOR CONVENIENCE ONLY. REFER TO STRUCTURAL DRAWINGS.  
**NOTE:** AS PER O.B.C. 9.10.8.8 ALL LOADBEARING WALLS, COLUMNS AND ARCHES SHALL HAVE A FRR OF NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR ABOVE. FULLY ENCLOSE WOOD POST WITH 5/8" TYPE X DRYWALL. TAPE ALL JOINTS AND CORNERS WITH FIRE TAPE.  
**NOTE:** SEE THE GEOTECHNICAL REVIEW RECOMMENDATION BEFORE POURING THE FOOTINGS AND THE FOUNDATION WALL.  
**NOTE:** PROVIDE WOOD BLOCKING REINFORCEMENT TO STUD WALLS FOR FUTURE GRAB BAR INSTALLATION IN MAIN BATHROOM.  
 840x200mm A.F.F. BEHIND TOILET. 850mm x 1700mm A.F.F. ON THE WALL OPPOSITE THE ENTRANCE TO THE BATHTUB OR SHOWER FOR L-SHAPED GRAB BAR.  
**NOTE:** MECHANICAL AND ELECTRICAL CONSULTANTS ARE RESPONSIBLE FOR THE DESIGN AND LOCATION OF ALL VENTILATION, GAS FIRE VENTS, HVAC, ETC. BUILDER AND SUB-CONTRACTORS TO ENSURE THE INSTALLATION ADHERES TO ALL APPLICABLE CODES.  
**NOTE:** CONTRACTOR TO ENSURE ALL CONSTRUCTION SAFETY INCLUDING TEMPORARY BRACING, GUARDS, AND/OR FALL PROTECTION ADHERE TO MINIMUM REQUIREMENTS SPECIFIED BY ENGINEER AND/OR AUTHORITIES HAVING JURISDICTION AS PER O. REG. 215/91.

4	RE-ISSUED FOR PERMIT	2023/06/09	SG
3	RE-ISSUED FOR PERMIT	2023/04/04	SG
2	RE-ISSUED FOR PERMIT	2023/04/03	SG
1	ISSUED FOR MASTER PERMIT	2023/03/28	SG

Issued / Revision Chart

**WATERIDGE 101  
VELETTE WAY -  
BLOCK 1 CNB**

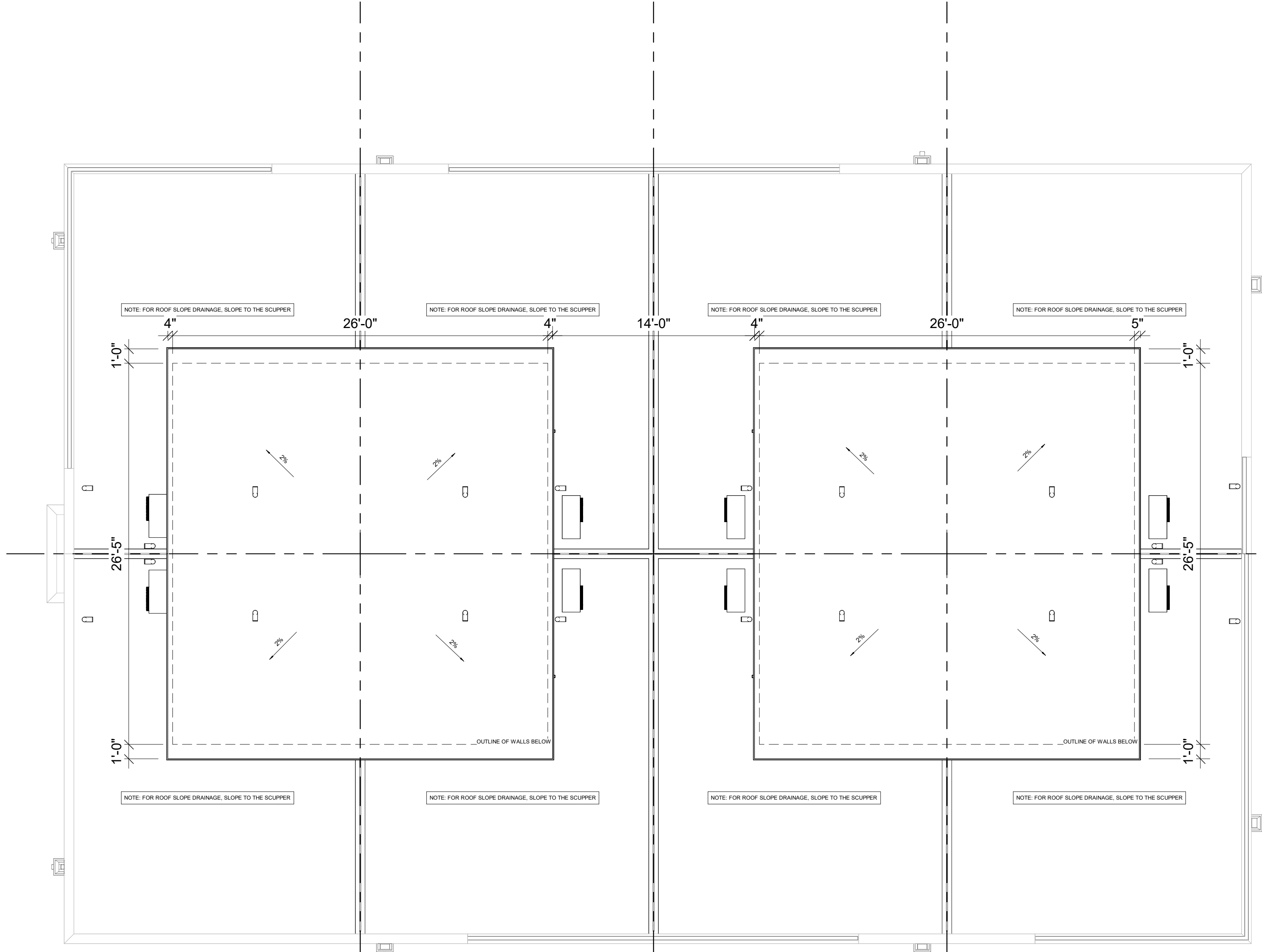
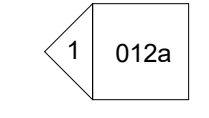
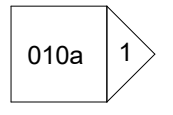
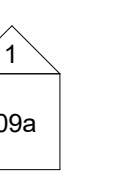
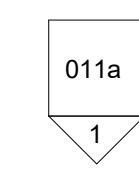
OTTAWA

MATTAMY HOMES

Project No. **21014**  
 Scale **As indicated**  
 Drawn By **SG**  
 Checked By **CT**

**ROOF PLAN**

4A - UST3 - 1507-U THE HAYDON (END)  
 4B - UST4 - 1508-L THE BRITANNIA (END)  
 3A - UST1 REV. - 1506-U THE HAYDON  
 3B - UST2 REV. - 1505-L THE BRITANNIA  
 2A - UST1 - 1503-U THE HAYDON  
 2B - UST2 - 1504-L THE BRITANNIA  
 1A - UST5 REV. - 1502-U THE HILL II  
 1B - UST6 REV. - 1501-L THE HAWTHORNE II



5A - UST3 REV. - 1510-U THE HAYDON (END)  
 5B - UST4 REV. - 1509-L THE BRITANNIA (END)  
 6A - UST1 - 1511-U THE HAYDON  
 6B - UST2 - 1512-L THE BRITANNIA  
 7A - UST1 REV. - 1514-U THE HAYDON  
 7B - UST2 REV. - 1513-L THE BRITANNIA  
 8A - UST5 - 1515-U THE HILL II  
 8B - UST6 - 1516-L THE HAWTHORNE II

**1** ROOF PLAN  
3/16" = 1'-0"

**Q4 ARCHITECTS INC.**

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1 FRONT ELEVATION CNB - STREET SIDE  
3/16" = 1'-0"

4	RE-ISSUED FOR PERMIT	2023/06/09	SG
3	RE-ISSUED FOR PERMIT	2023/04/04	SG
2	RE-ISSUED FOR PERMIT	2023/04/03	SG
1	ISSUED FOR MASTER PERMIT	2023/03/28	SG

Issued / Revision Chart

**WATERIDGE 101  
VELETTE WAY -  
BLOCK 1 CNB**

OTTAWA

**MATTAMY HOMES**

Project No. 21014

Scale 3/16" = 1'-0"

Drawn By SG

Checked By CT

**FRONT ELEVATION CNB**

Elevation Materials	
Key Value	Keynote Text
E100	HORIZ. SIDING (NON-COMB. WHERE REQUIRED BY SITE PLAN)
E103	HORIZ. SIDING (ACCENT) (NON-COMB. WHERE REQUIRED BY SITE PLAN)
E300	FACE BRICK
M101	ALUMINUM RAILING INSTALLED TO COMPLY W/ O.B.C. 9.8.7 & 9.8.8 & 9.8.7
M103	PT WOOD WINDOW WELL
M105	PRIVACY FENCE
R103	PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS
T321	PRECAST CONCRETE SILL

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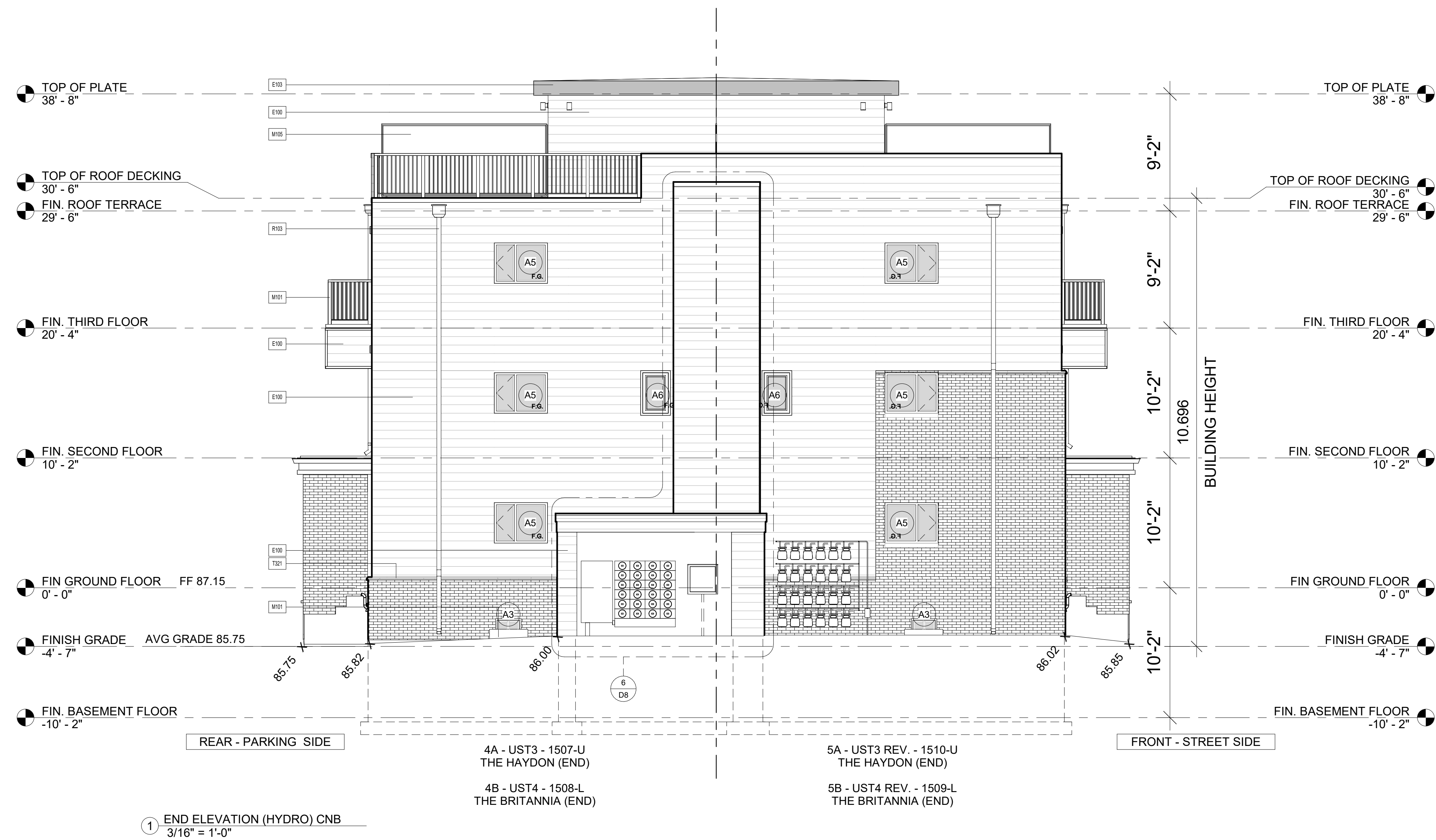
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## NON-COMUSTIBLE CLADDING REQUIRED - SEE PAGE A-017



4	RE-ISSUED FOR PERMIT	2023/06/09	SG
3	RE-ISSUED FOR PERMIT	2023/04/04	SG
2	RE-ISSUED FOR PERMIT	2023/04/03	SG
1	ISSUED FOR MASTER PERMIT	2023/03/28	SG

Issued / Revision Chart

### WATERIDGE 101 VELETTE WAY - BLOCK 1 CNB

OTTAWA

### MATTAMY HOMES

Project No. 21014

Scale 3/16" = 1'-0"

Drawn By SG

Checked By CT

### END ELEVATION (HYDRO) CNB

Elevation Materials	
Key Value	Keynote Text
E100	HORIZ. SIDING (NON-COMB. WHERE REQUIRED BY SITE PLAN)
E103	HORIZ. SIDING (ACCENT) (NON-COMB. WHERE REQUIRED BY SITE PLAN)
E300	FACE BRICK
M101	ALUMINUM RAILING INSTALLED TO COMPLY W/ O.B.C. 9.8.7 & 9.8.8 & SB-7
M103	PT WOOD WINDOW WELL
M105	PRIVACY FENCE
R103	PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS
T321	PRECAST CONCRETE SILL

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1 REAR ELEVATION CNB - PARKING SIDE  
3/16" = 1'-0"

Elevation Materials	
Key Value	Keynote Text
C103	PRECAST CONC. STEP
E100	HORIZ. SIDING (NON-COMB. WHERE REQUIRED BY SITE PLAN)
E103	HORIZ. SIDING (ACCENT) (NON-COMB. WHERE REQUIRED BY SITE PLAN)
E300	FACE BRICK
M101	ALUMINUM RAILING INSTALLED TO COMPLY W/ O.B.C. 9.8.7 & 9.8.8 & 9.8-7
M103	PT WOOD WINDOW WELL
R103	PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS
T321	PRECAST CONCRETE SILL

Issue / Revision	Description	Date	By
4	RE-ISSUED FOR PERMIT	2023/06/09	SG
3	RE-ISSUED FOR PERMIT	2023/04/04	SG
2	RE-ISSUED FOR PERMIT	2023/04/03	SG
1	ISSUED FOR MASTER PERMIT	2023/03/29	SG

Issued / Revision Chart

**WATERIDGE 101  
VELETTE WAY -  
BLOCK 1 CNB**

OTTAWA

**MATTAMY HOMES**

Project No. 21014

Scale 3/16" = 1'-0"

Drawn By SG

Checked By CT

**REAR ELEVATION CNB**



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3	RE-ISSUED FOR PERMIT	2023/04/04	SG
2	RE-ISSUED FOR PERMIT	2023/04/03	SG
1	ISSUED FOR MASTER PERMIT	2023/03/28	SG

Issued / Revision Chart

**WATERIDGE 101  
VELETTE WAY -  
BLOCK 1 CNB**

OTTAWA

**MATTAMY HOMES**

Project No. 21014

Scale 3/16" = 1'-0"

Drawn By SG

Checked By CT

**CORNER ELEVATION CNB**

Elevation Materials	
Key Value	Keynote Text
C103	PRECAST CONC. STEP
E100	HORIZ. SIDING (NON-COMB. WHERE REQUIRED BY SITE PLAN)
E103	HORIZ. SIDING (ACCENT) (NON-COMB. WHERE REQUIRED BY SITE PLAN)
E300	FACE BRICK
M101	ALUMINUM RAILING INSTALLED TO COMPLY W/O.B.C. 9.8.7 & 9.8.8 & 9B-7
M103	PT WOOD WINDOW WELL
R103	PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS
T321	PRECAST CONCRETE SILL

Committee of Adjustment  
Received | Reçu le  
2023-10-05  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

ISSUANCE

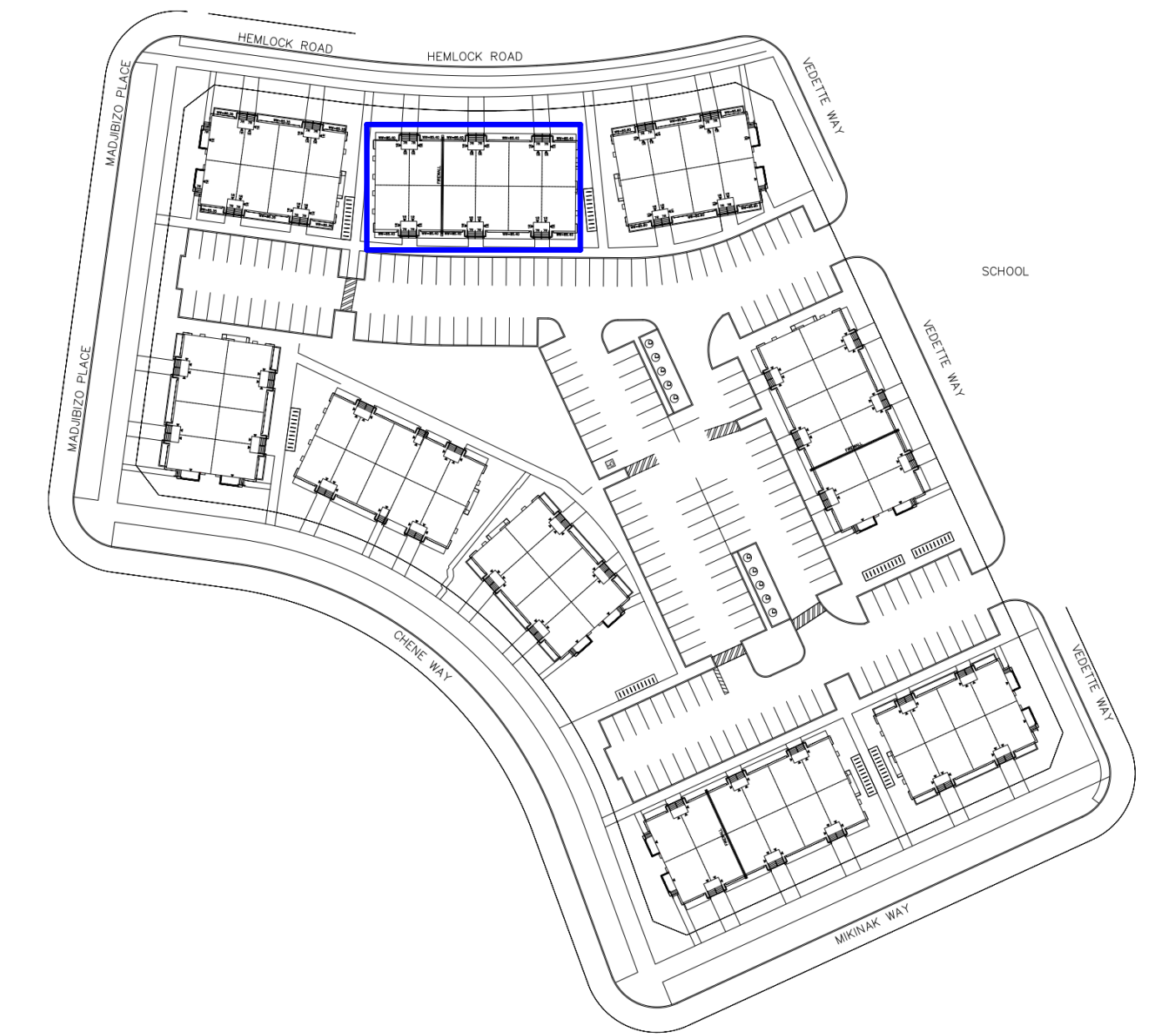
**ISSUED FOR  
PERMIT**  
2023/06/09

DATE

## DRAWING LIST

PG. #	DRAWING LIST
001	COVER SHEET
002	FOUNDATION PLAN
003	BASEMENT FLOOR PLAN
004	GROUND FLOOR PLAN
005	SECOND FLOOR PLAN
006	THIRD FLOOR PLAN
007	ROOF TOP TERRACE PLAN
008	ROOF PLAN
009	FRONT ELEVATION CNA
010	END ELEVATION (HYDRO) CNA
011	REAR ELEVATION CNA
012	END ELEVATION CNA
013	SECTIONS
014	SECTIONS
015	SECTIONS
016	CODE MATRIX & DIAGRAMS
017	LIMITING DISTANCES - BLOCK 2
019	PPOs
020	DOOR & WINDOW SCHEDULES
021	STAIRS - NOT INCLUDED
022	GFAs
023	UNIT AREAS AS PER THE HOME CONSTRUCTION REGULATORY AUTHORITY FOR CONDOMINIUM HOMES

**NOTE:** DRAWINGS TO BE READ IN CONJUNCTION WITH ISSUED DETAIL PACKAGE.



## KEYPLAN

## TEAM

**Structural Engineer**  
D+M Structural Engineering  
110-333 Preston Street  
Ottawa, ON K1S 5N4  
(613) 651-9490  
For structural design, refer to structural drawings, issued by block.

**Civil Engineer**  
Stantec Consulting Ltd.  
400-1331 Clyde Avenue  
Ottawa, ON K2C 3G4  
(613) 722-4420

**Site - Services**  
LRL Engineering  
5430 Canotek Road  
Ottawa, ON K1J 9G2  
(613) 842-3434

**Landscape Architects**  
NAK Design Strategies  
250 Besserrer St, Suite 100  
Ottawa, ON K1N 6B3  
(613) 237-2345

**HVAC**  
McCallum HVAC Design  
2 Dewside Drive Unit 208  
Brampton, ON L6R 3Y5  
(905) 840-8166  
For Mechanical design, refer to HVAC drawings, issued by unit.

For Plumbing design, refer to Plumbing drawings, issued by unit.

### Unit JDEs and Civic Addresses (refer to site plan)

Unit #	JDE#	Civic Address
1A	1518	226 Mishi Private
1B	1517	224 Mishi Private
2A	1519	228 Mishi Private
2B	1520	230 Mishi Private
3A	1522	234 Mishi Private
3B	1521	232 Mishi Private
4A	1523	236 Mishi Private
4B	1524	238 Mishi Private

Unit #	JDE#	Civic Address
5A	1526	242 Mishi Private
5B	1525	240 Mishi Private
6A	1527	244 Mishi Private
6B	1528	246 Mishi Private
7A	1530	202 Mishi Private
7B	1529	200 Mishi Private
8A	1531	204 Mishi Private
8B	1532	206 Mishi Private

Unit #	JDE#	Civic Address
9A	1534	210 Mishi Private
9B	1533	208 Mishi Private
10A	1535	212 Mishi Private
10B	1536	214 Mishi Private
11A	1538	218 Mishi Private
11B	1537	216 Mishi Private
12A	1539	220 Mishi Private
12B	1540	222 Mishi Private

# WATERIDGE 101 VEDETTE WAY - BLOCK 2

**CNA**

MATTAMY HOMES - OTTAWA

**Q4A**  
ARCHITECTS

Proj. No.  
21014

C:\Users\lgilmore\Documents\2014-Wateridge Village - Block 2 CNA - Lgillmore\YS27.rvt  
2023-06-09 9:21:48

**ELEC. SYMBOL LEGEND**

- ⊙ EXHAUST VENT (REFER TO MECH.)
  - ⊕ DUPLEX OUTLET
  - ⊕ WEATHERPROOF DUPLEX OUTLET
  - ⊕ HEAVY DUTY OUTLET
  - ⊕ POT LIGHT
  - ⊕ CEILING MOUNTED LIGHT FIXTURE
  - ⊕ WALL MOUNTED LIGHT FIXTURE
  - ⊕ STANDARD LIGHT SWITCH
  - ⊕ LIGHT SWITCH, THREE-WAY
  - ⊕ SMOKE ALARM/CARBON MONOXIDE ALARM (REFER TO OBC DIV. 8 PART 9.10.19)
- INSTALL ONE ON EACH STOREY, INCLUDING BASEMENTS FOR STOREYS WITH SLEEPING ROOMS. INSTALL ONE PER SLEEPING ROOM AND ONE IN HALLWAY OR REMAINDER OF STOREY. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. SMOKE ALARMS TO HAVE A VISUAL SIGNALLING COMPONENT.



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**NOTE:** ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS.

**ONT. REG. 330/12**

**NOTE:** NO OF STEPS AS PER GRADING PLAN.

**NOTE:** ALL INTERIOR DIMENSIONS ARE TO FRAMING MEMBERS. ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF EXTERIOR FINISHES.

**NOTE:** PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO BUILDING IF REQUIRED - SEE OBC SB-9.

**NOTE:** FLOOR JOIST ARE TO BE REVIEWED BY ENGINEER PRIOR TO CONSTRUCTION.

**NOTE:** QUIET WALL - INSULATED INT. WALL FOR SOUND REDUCTION. SEE FLOOR PLANS FOR LOCATION.

**NOTE:** FLOOR JOIST 12" O.C. UNDER TILED AREAS.

**NOTE:** ALL STRUCTURAL INFORMATION AND SIZES AS PER STRUCTURAL DESIGN BY O-4 STRUCTURAL ENGINEERING.

**NOTE:** STRUCTURAL INFORMATION SHOWN HERE IS FOR CONVENIENCE ONLY. REFER TO STRUCTURAL DRAWINGS.

**NOTE:** AS PER O.B.C. 9.10.8.9 ALL LOADBEARING WALLS, COLUMNS, AND ARCHES SHALL HAVE A FRR OF NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR ABOVE. FULLY ENCLOSE WOOD POST WITH 5/8" TYPE X DRYWALL. TAPE ALL JOINTS AND CORNERS WITH FIRE TAPE.

**NOTE:** SEE THE GEOTECHNICAL REVIEW RECOMMENDATION BEFORE POURING THE FOOTINGS AND THE FOUNDATION WALL.

**NOTE:** PROVIDE WOOD BLOCKING REINFORCEMENT TO STUD WALLS FOR FUTURE GRAB BAR INSTALLATION IN MAIN BATHROOM. 640x90mm x 4 F.F. BEHIND TOILET. 850mm x 1700mm x 4 F.F. ON THE WALL OPPOSITE THE ENTRANCE TO THE BATHUB OR SHOWER FOR 1-SHARPED GRAB BAR.

**NOTE:** MECHANICAL AND ELECTRICAL CONSULTANTS ARE RESPONSIBLE FOR THE DESIGN AND LOCATION OF ALL VENTILATION, GAS FIRE VENTS, HVAC, ETC. BUILDER AND SUB-CONTRACTORS TO ENSURE THE INSTALLATION ADHERES TO ALL APPLICABLE CODES. CONTRACTOR TO ENSURE ALL CONSTRUCTION SAFETY INCLUDING TEMPORARY BRACING, GUARDS, AND/OR FALL PROTECTION ADHERE TO MINIMUM REQUIREMENTS SPECIFIED BY ENGINEER AND/OR AUTHORITIES HAVING JURISDICTION AS PER O. REG. 218/91.

**CEILING LEGEND**

- 1 HR. FRR CEILING
- DROPPED CEILING

ISSUED FOR PERMIT 2023/06/09 | SG  
Issue / Revision Chart

**WATERIDGE 101 VEDETTE WAY - BLOCK 2 CNA**

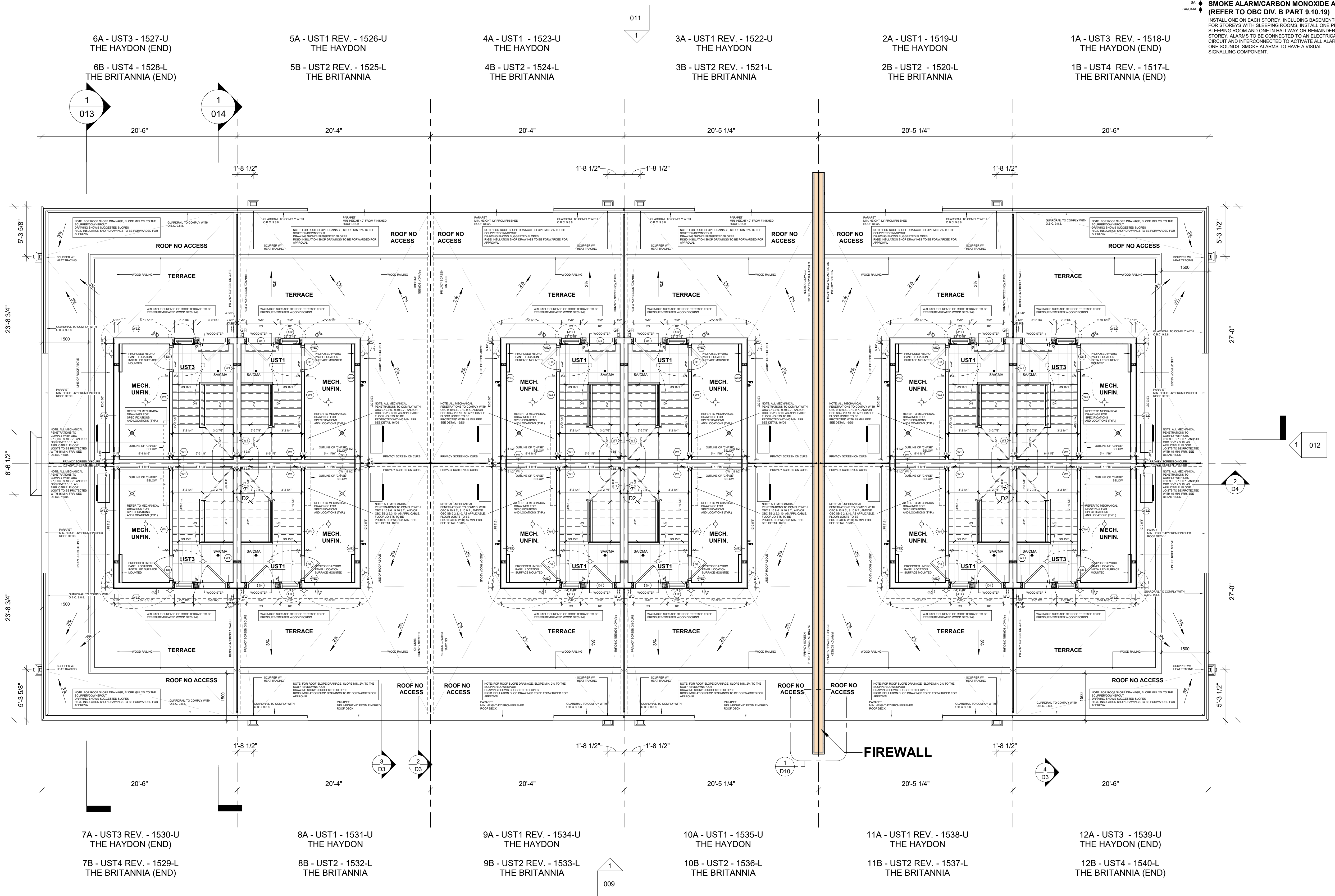
OTTAWA

MATTAMY HOMES

Project No. 21014  
Scale As indicated  
Drawn By SG  
Checked By CT

**ROOF TOP TERRACE PLAN**

FOR PARTY WALL DETAILS, SEE PAGE D2  
FOR FIREWALL DETAILS, SEE PAGE D10  
GUARDRAIL DESIGN TO COMPLY WITH OBC 9.8.8.  
WOOD RAILING INSTALLATION AS PER OBC SB-7



1 FIN. ROOF TOP TERRACE PLAN  
3/16" = 1'-0"

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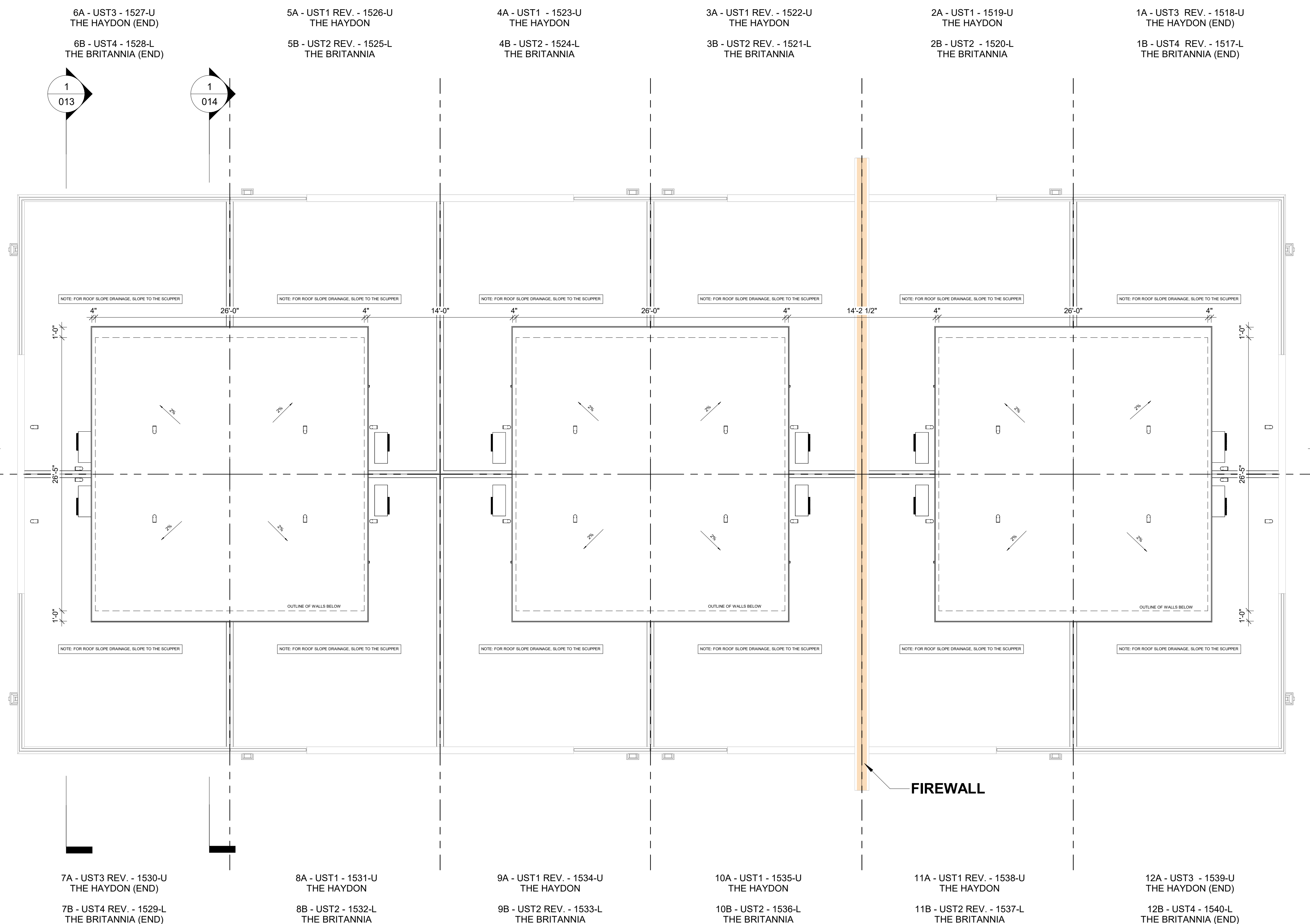
## WATERIDGE 101 VELETTE WAY - BLOCK 2 CNA

OTTAWA

MATTAMY HOMES

Project No. **21014**  
Scale **3/16" = 1'-0"**  
Drawn By **SG**  
Checked By **CT**

**ROOF PLAN**



1 ROOF PLAN  
3/16" = 1'-0"

**Q4 ARCHITECTS INC.**

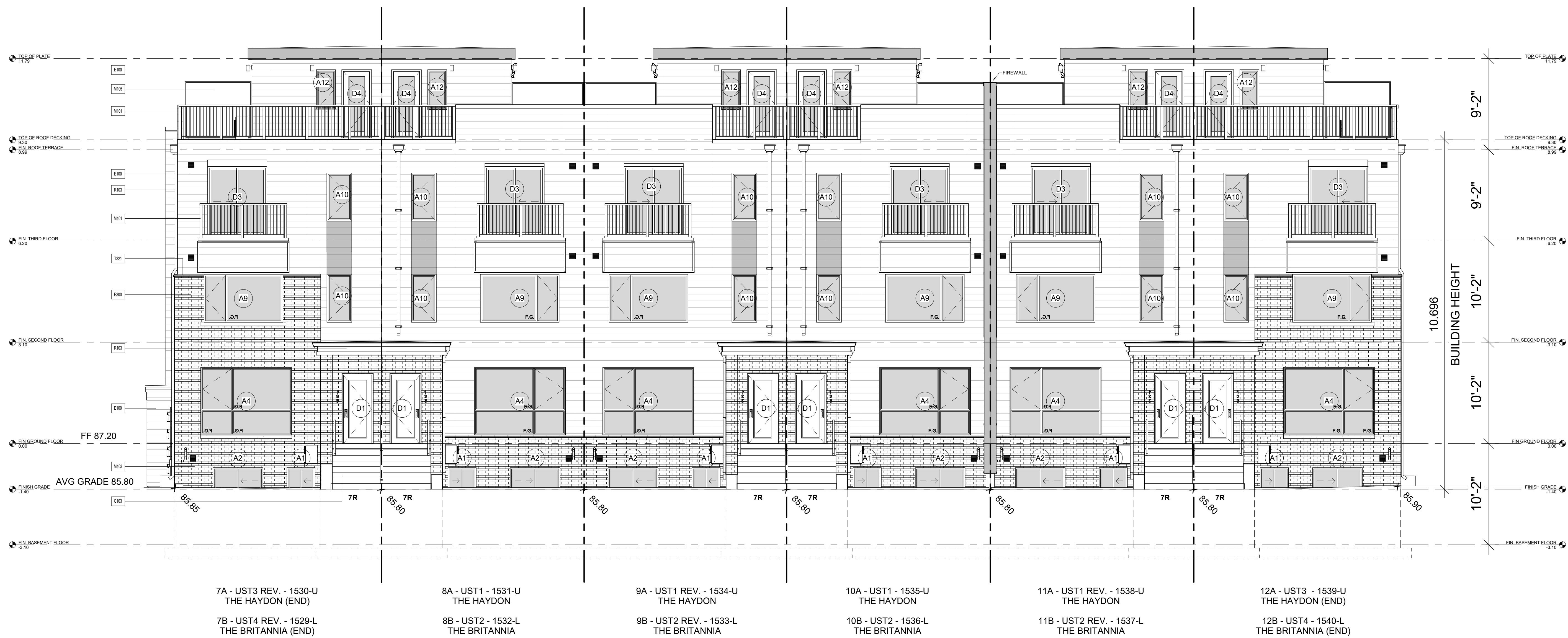
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7A - UST3 REV. - 1530-U  
THE HAYDON (END)  
7B - UST4 REV. - 1529-L  
THE BRITANNIA (END)

8A - UST1 - 1531-U  
THE HAYDON  
8B - UST2 - 1532-L  
THE BRITANNIA

9A - UST1 REV. - 1534-U  
THE HAYDON  
9B - UST2 REV. - 1533-L  
THE BRITANNIA

10A - UST1 - 1535-U  
THE HAYDON  
10B - UST2 - 1536-L  
THE BRITANNIA

11A - UST1 REV. - 1538-U  
THE HAYDON  
11B - UST2 REV. - 1537-L  
THE BRITANNIA

12A - UST3 - 1539-U  
THE HAYDON (END)  
12B - UST4 - 1540-L  
THE BRITANNIA (END)

1 FRONT ELEVATION CNA - STREET SIDE  
3/16" = 1'-0"

Elevation Materials	
Key Value	Keystone Text
C103	PRECAST CONC. STEP
E100	HORIZ. SIDING (NON-COMB. WHERE REQUIRED BY SITE PLAN)
E300	FACE BRICK
M101	ALUMINUM RAILING INSTALLED TO COMPLY W/ O.B.C. 9.8.7 & 9.8.8 & SB-7
M103	PT WOOD WINDOW WELL
M105	PRIVACY FENCE
R103	PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS
T321	PRECAST CONCRETE SILL

1 ISSUED FOR PERMIT 2023/06/09 | SG  
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**WATERIDGE 101  
VELETTE WAY -  
BLOCK 2 CNA**

OTTAWA

**MATTAMY HOMES**

Project No. 21014  
Scale 3/16" = 1'-0"  
Drawn By SG  
Checked By CT

**FRONT ELEVATION CNA**

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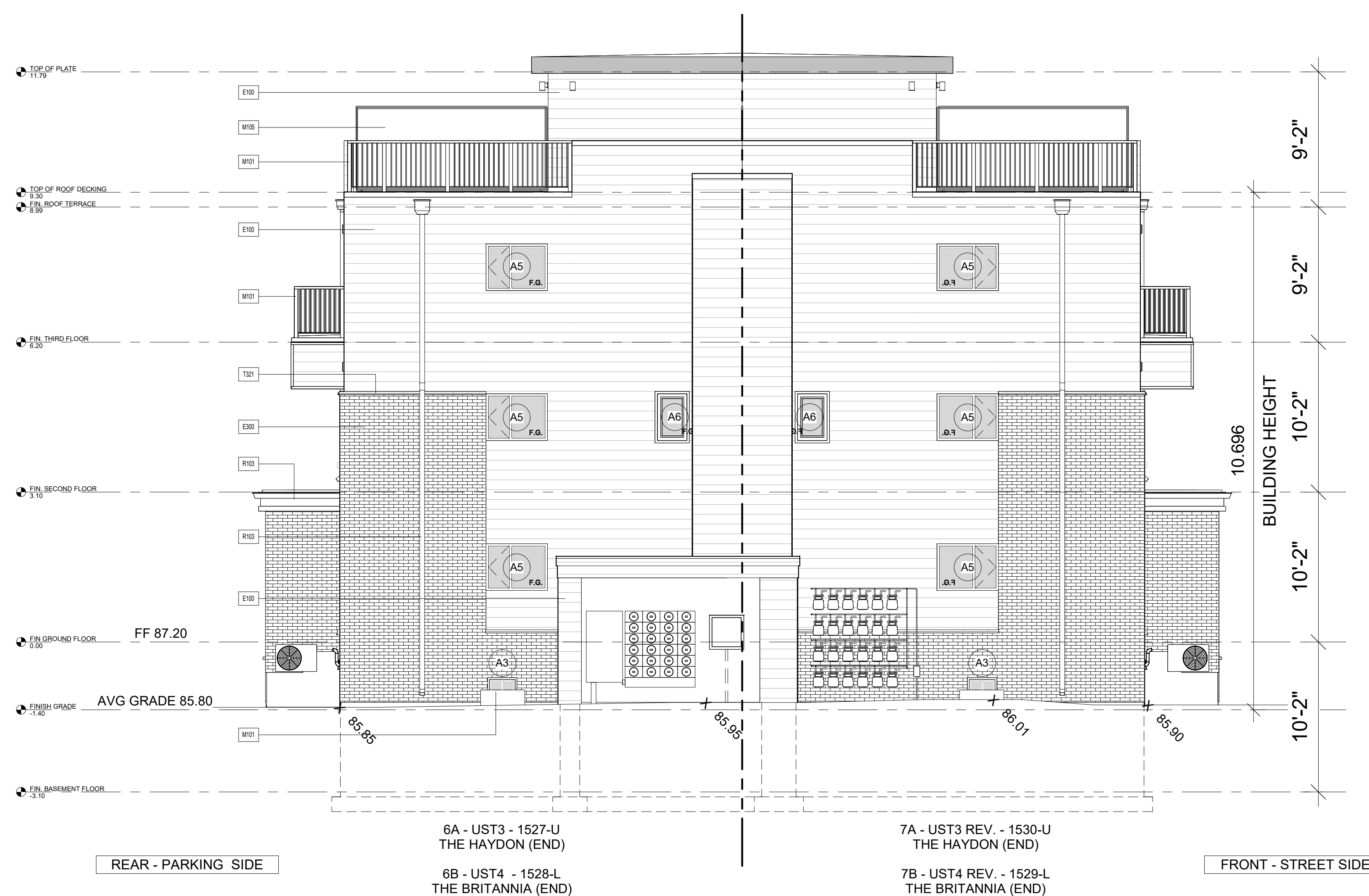
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## NON-COMUSTIBLE CLADDING REQUIRED - SEE PAGE A-017



Elevation Materials	
Key Value	Keynote Text
E100	HORIZ SIDING (NON-COMB. WHERE REQUIRED BY SITE PLAN)
E300	FACE BRICK
M101	ALUMINUM RAILING INSTALLED TO COMPLY W/ O.B.C. 9.8.7 & 9.8.8 & SB-7
M102	TEMPERED HEAT-SOAKED SEMI-OPAQUE GLASS RAILING INSTALLED TO COMPLY W/ O.B.C. 2.1.1.1 & SB-13
M103	PT WOOD WINDOW WELL
M105	PRIVACY FENCE
R103	PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS
T321	PRECAST CONCRETE SILL

1 END ELEVATION (HYDRO) CNA  
3/16" = 1'-0"

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Issued / Revision Chart

### WATERIDGE 101 VEDETTE WAY - BLOCK 2 CNA

OTTAWA

MATTAMY HOMES

Project No. 21014  
Scale 3/16" = 1'-0"  
Drawn By SG  
Checked By CT

END ELEVATION (HYDRO)  
CNA

**Q4 ARCHITECTS INC.**

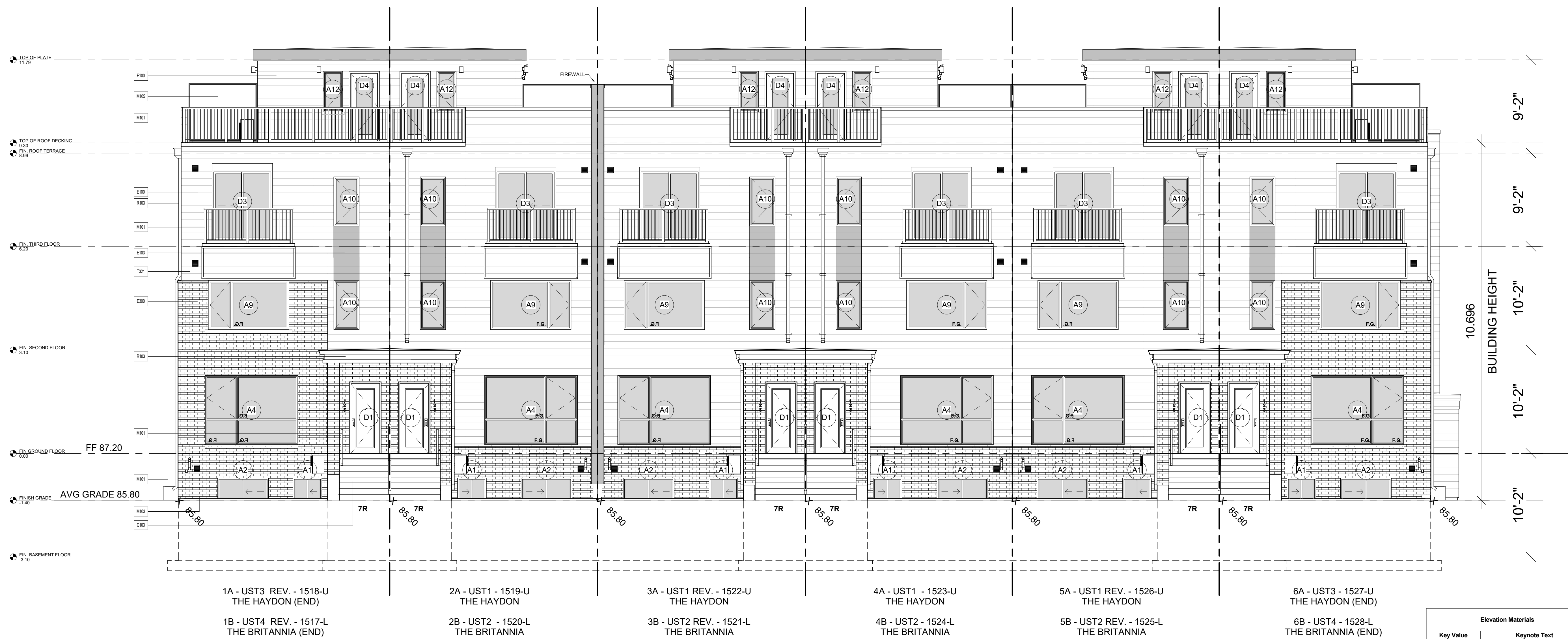
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1 REAR ELEVATION CNA - PARKING SIDE  
3/16" = 1'-0"

Elevation Materials	
Key Value	Keynote Text
C103	PRECAST CONC. STEP
E100	HORIZ. SIDING (NON-COMB. WHERE REQUIRED BY SITE PLAN)
E103	HORIZ. SIDING (ACCENT) (NON-COMB. WHERE REQUIRED BY SITE PLAN)
E300	FACE BRICK
M101	ALUMINUM RAILING INSTALLED TO COMPLY W/ O.B.C. 9.8.7 & 9.8.8 & SB-7
M103	PT WOOD WINDOW WELL
M105	PRIVACY FENCE
R103	PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS
T321	PRECAST CONCRETE SILL

1	ISSUED FOR PERMIT	2023/06/09	SG
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Issued / Revision Chart

**WATERIDGE 101  
VELETTE WAY -  
BLOCK 2 CNA**

OTTAWA

**MATTAMY HOMES**

Project No. 21014  
Scale 3/16" = 1'-0"  
Drawn By SG  
Checked By CT

**REAR ELEVATION CNA**

**Q4 ARCHITECTS INC.**

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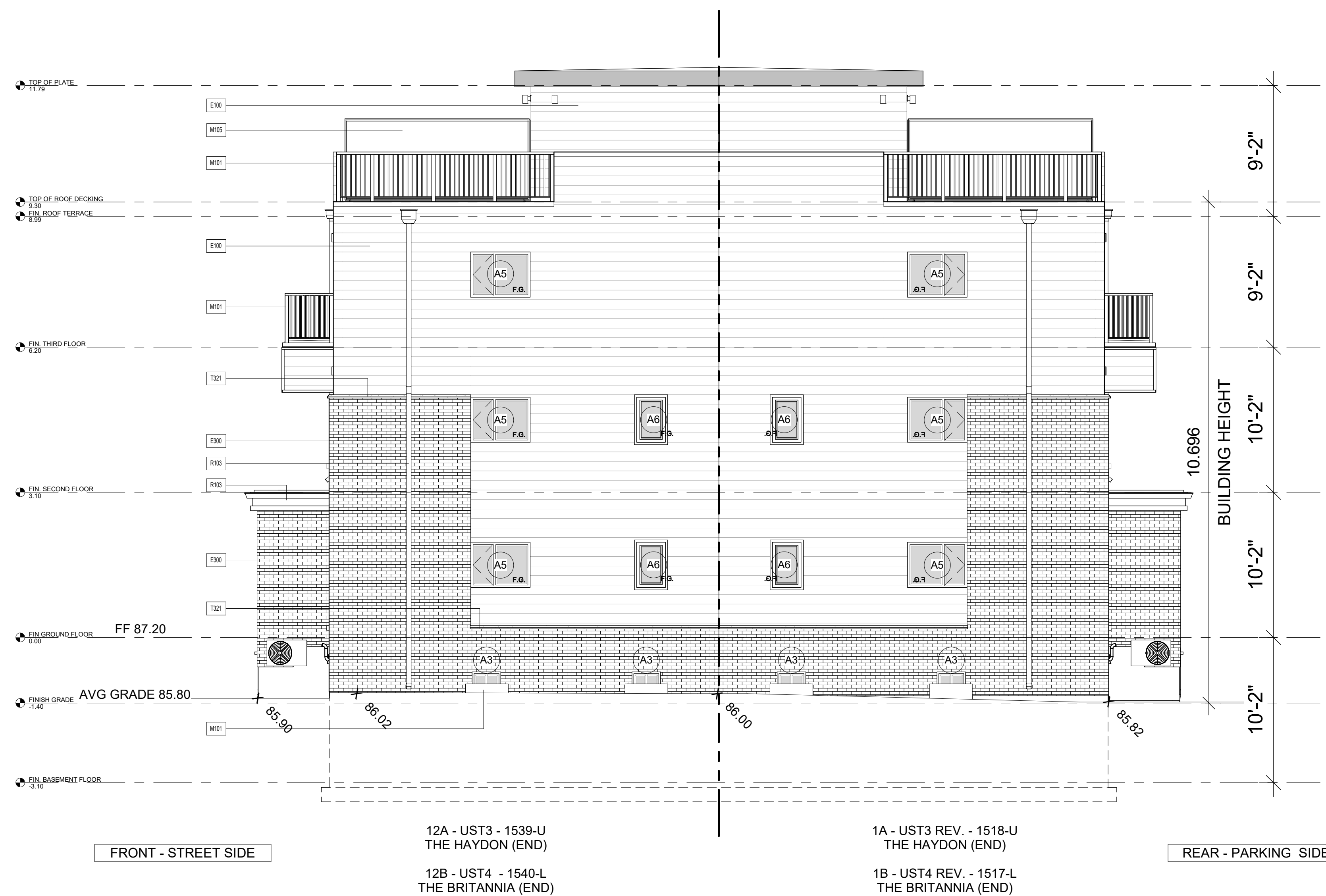
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## NON-COMUSTIBLE CLADDING REQUIRED - SEE PAGE A-017



Elevation Materials	
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E300	FACE BRICK
M101	ALUMINUM RAILING INSTALLED TO COMPLY W/ O.B.C. 9.8.7 & 9.8.8 & SB-7
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T321	PRECAST CONCRETE SILL

1	ISSUED FOR PERMIT	2023/06/09	SG
Issued / Revision Chart			

### WATERIDGE 101 VELETTE WAY - BLOCK 2 CNA

OTTAWA

MATTAMY HOMES

Project No. 21014

Scale 3/16" = 1'-0"

Drawn By SG

Checked By CT

END ELEVATION CNA

1 END ELEVATION CNA  
3/16" = 1'-0"



Committee of Adjustment  
 Received | Reçu le  
 2023-10-05  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation

ISSUANCE

**ISSUED FOR  
 PERMIT**  
 2023/06/05

DATE



**DRAWING LIST**

PG. #	DRAWING LIST
001	COVER SHEET
002	FOUNDATION PLAN
003	BASEMENT FLOOR PLAN
004	GROUND FLOOR PLAN
005	SECOND FLOOR PLAN
006	THIRD FLOOR PLAN
007	ROOF TOP TERRACE PLAN
008	ROOF PLAN
009	FRONT ELEVATION CNB
010	END ELEVATION (HYDRO) CNB
011	REAR ELEVATION CNB
012	END ELEVATION CNB
013	SECTIONS
014	SECTIONS
015	SECTIONS
016	CODE MATRIX & DIAGRAMS
017	LIMITING DISTANCES - BLOCK 5
019	PPOs
020	DOOR AND WINDOW SCHEDULES
022	GfAs
023	UNIT AREAS AS PER THE HOME CONSTRUCTION REGULATORY AUTHORITY FOR CONDOMINIUM HOMES

**NOTE: DRAWINGS TO BE READ IN CONJUNCTION WITH ISSUED DETAIL PACKAGE.**



**KEYPLAN**

**TEAM**

Unit JDEs and Civic Addresses (refer to site plan)

Unit #	JDE#	Civic Address
1A	1574	502 Mishi Private
1B	1573	500 Mishi Private
2A	1575	504 Mishi Private
2B	1576	506 Mishi Private
3A	1578	510 Mishi Private
3B	1577	508 Mishi Private
4A	1580	514 Mishi Private
4B	1579	512 Mishi Private

Unit #	JDE#	Civic Address
5A	1581	516 Mishi Private
5B	1582	518 Mishi Private
6A	1584	522 Mishi Private
6B	1583	520 Mishi Private
7A	1585	524 Mishi Private
7B	1586	526 Mishi Private
8A	1587	528 Mishi Private
8B	1588	530 Mishi Private

Unit #	JDE#	Civic Address
9A	1590	534 Mishi Private
9B	1589	532 Mishi Private
10A	1591	536 Mishi Private
10B	1592	538 Mishi Private

**Structural Engineer**  
 D+M Structural Engineering  
 110-333 Preston Street  
 Ottawa, ON K1S 5N4  
 (613) 651-9490  
 For structural design, refer to structural drawings, issued by block.

**Civil Engineer**  
 Stantec Consulting Ltd.  
 400-1331 Clyde Avenue  
 Ottawa, ON K2C 3G4  
 (613) 722-4420

**Site - Services**  
 LRL Engineering  
 5430 Canotek Road  
 Ottawa, ON K1J 9G2  
 (613) 842-3434

**Landscape Architects**  
 NAK Design Strategies  
 250 Besserrer St, Suite 100  
 Ottawa, ON K1N 6B3  
 (613) 237-2345

**HVAC**  
 McCallum HVAC Design  
 2 Dewside Drive Unit 208  
 Brampton, ON L6R 3Y5  
 (905) 840-8166  
 For Mechanical design, refer to HVAC drawings, issued by unit.

For Plumbing design, refer to Plumbing drawings, issued by unit.

**WATERIDGE 101 VEDETTE WAY - BLOCK 5 CNB**

**ELEC. SYMBOL LEGEND**

- ⊠ EXHAUST VENT (REFER TO MECH.)
- ⊠ DUPLEX OUTLET
- ⊠ WEATHERPROOF DUPLEX OUTLET
- ⊠ HEAVY DUTY OUTLET
- ⊠ POT LIGHT
- ⊠ CEILING MOUNTED LIGHT FIXTURE
- ⊠ WALL MOUNTED LIGHT FIXTURE
- ⊠ STANDARD LIGHT SWITCH
- ⊠ LIGHT SWITCH, THREE-WAY
- ⊠ SMOKE ALARM/CARBON MONOXIDE ALARM

(REFER TO OBC DIV. B PART 9.10.19)

INSTALL ONE ON EACH STOREY, INCLUDING BASEMENTS, FOR STOREYS WITH SLEEPING ROOMS. INSTALL ONE PER SLEEPING ROOM AND ONE IN HALLWAY OR REMAINDER OF STOREY. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. SMOKE ALARMS TO HAVE A VISUAL SIGNALING COMPONENT.

**Q4 ARCHITECTS INC.**

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**NOTE:** ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. O.N.T. REG. 33012

**NOTE:** NO. OF STEPS AS PER GRADING PLAN.

**NOTE:** ALL INTERIOR DIMENSIONS ARE TO FRAMING MEMBERS.

**NOTE:** ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF EXTERIOR FINISHING.

**NOTE:** PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOL. GAS INTO BUILDING IF REQUIRED - SEE OBC SB-8.

**NOTE:** FLOOR JOIST ARE TO BE REVIEWED BY ENGINEER PRIOR TO CONSTRUCTION.

**NOTE:** QUIET WALL - INSULATED INT. WALL FOR SOUND REDUCTION. SEE FLOOR PLANS FOR LOCATION.

**NOTE:** FLOOR JOIST 12" O.C. UNDER TILED AREAS.

**NOTE:** ALL STRUCTURAL INFORMATION AND SIZES AS PER STRUCTURAL DESIGN BY D+M STRUCTURAL ENGINEERING.

**NOTE:** STRUCTURAL INFORMATION SHOWN HERE IS FOR CONVENIENCE ONLY. REFER TO STRUCTURAL DRAWINGS.

**NOTE:** AS PER O.C. 9.10.19.8. ALL LOADING WALLS, COLUMNS AND ARCHES SHALL HAVE A FRR OF NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR ABOVE. FULLY ENCLOSE WOOD POST WITH 5/8" TYPE X DRYWALL. TAPE ALL JOINTS AND CORNERS WITH FRR TAPE.

**NOTE:** SEE THE GEOTECHNICAL REVIEW RECOMMENDATION BEFORE POURING THE FOOTINGS AND THE FOUNDATION WALL.

**NOTE:** PROVIDE WOOD BLOCKING REINFORCEMENT TO STEEL WALLS FOR FUTURE GRAB BAR INSTALLATION IN MAIN BATHROOM.

**NOTE:** 360-900mm A.F.F. BEHIND TOILET, SHOWER & TUBS A.F.F. ON THE WALL OPPOSITE THE ENTRANCE TO THE BATHUB OR SHOWER FOR L-SHAPED GRAB BAR.

**NOTE:** MECHANICAL AND ELECTRICAL CONSULTANTS ARE RESPONSIBLE FOR THE DESIGN AND LOCATION OF ALL VENTILATION, GAS FIRE VENTS, HVAC, ETC. BUILDERS AND SUB-CONTRACTORS TO ENSURE THE INSTALLATION ADHERES TO ALL APPLICABLE CODES.

**NOTE:** CONTRACTOR TO ENSURE ALL CONSTRUCTION SAFETY INCLUDING TEMPORARY BRACING, GUARDS, AND/OR FALL PROTECTION ADHERE TO MINIMUM REQUIREMENTS SPECIFIED BY ENGINEER AND/OR AUTHORITIES HAVING JURISDICTION AS PER O. REG. 21391

**CEILING LEGEND**

- 1 HR. FRR CEILING
- DROPPED CEILING

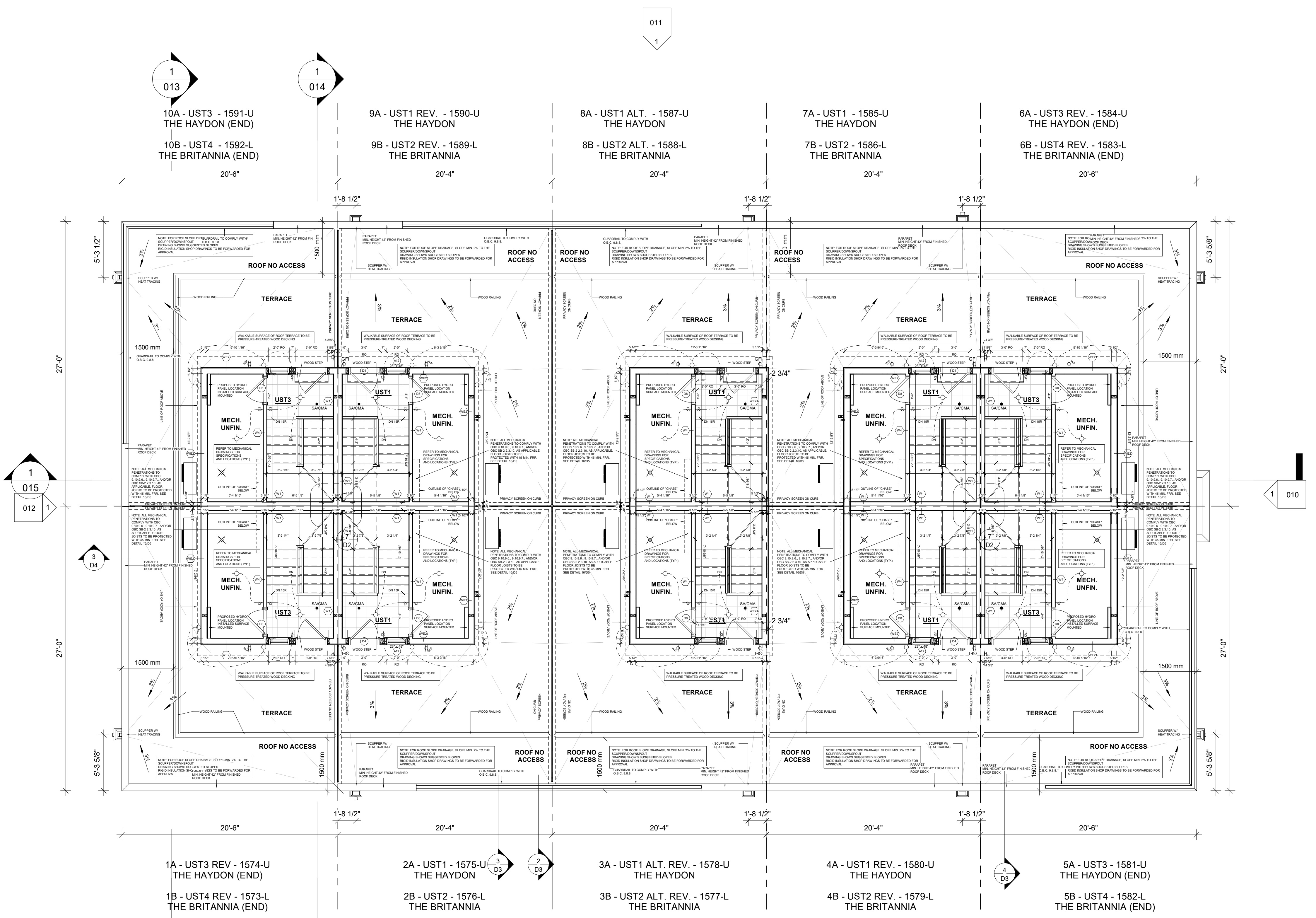
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## WATERIDGE 101 VELETTE WAY - BLOCK 5 CNB

OTTAWA  
**MATTAMY HOMES**

Project No. 21014  
Scale As indicated  
Drawn By SG  
Checked By CT

### ROOF TOP TERRACE PLAN



FOR PARTY WALL DETAILS, SEE PAGE D2  
FOR FIREWALL DETAILS, SEE PAGE D10

GUARDRAILS TO COMPLY WITH OBC 9.8.8.  
WOOD RAILING INSTALLATION AS PER OBC SB-7

1 FIN. ROOF TOP TERRACE PLAN  
3/16" = 1'-0"

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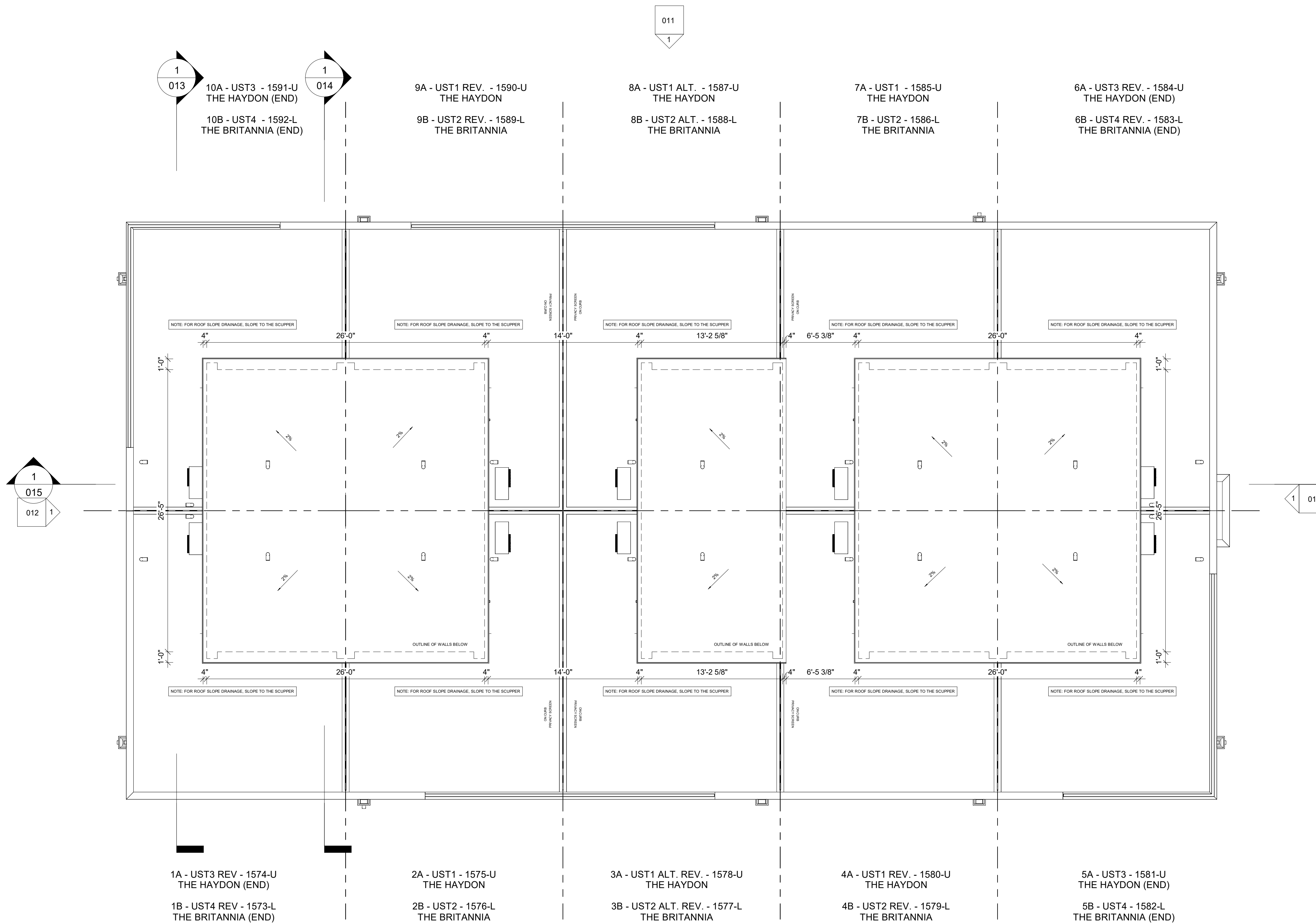
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**WATERIDGE 101  
VELETTE WAY -  
BLOCK 5 CNB**

OTTAWA

MATTAMY HOMES

Project No. **21014**  
Scale **3/16" = 1'-0"**  
Drawn By **SG**  
Checked By **CT**

**ROOF PLAN**

**Q4 ARCHITECTS INC.**

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1 FRONT ELEVATION CNB (STREET SIDE)  
3/16" = 1'-0"

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**WATERIDGE 101  
VELETTE WAY -  
BLOCK 5 CNB**

OTTAWA

**MATTAMY HOMES**

Project No. 21014  
Scale 3/16" = 1'-0"  
Drawn By SG  
Checked By CT

**FRONT ELEVATION CNB**

Elevation Materials	
Key Value	Keynote Text
C103	PRECAST CONC. STEP
E100	HORIZ. SIDING (NON-COMB. WHERE REQUIRED BY SITE PLAN)
E103	HORIZ. SIDING (ACCENT) (NON-COMB. WHERE REQUIRED BY SITE PLAN)
E300	FACE BRICK
M101	ALUMINUM RAILING INSTALLED TO COMPLY W/ O.B.C. 9.8.7 & 9.8.8 & SB-7
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M103	PT WOOD WINDOW WELL
M105	PRIVACY FENCE
R103	PREFIN. ALUM. FASCIA, VENTED SOFFIT, GUTTER & DOWNSPOUTS
T321	PRECAST CONCRETE SILL

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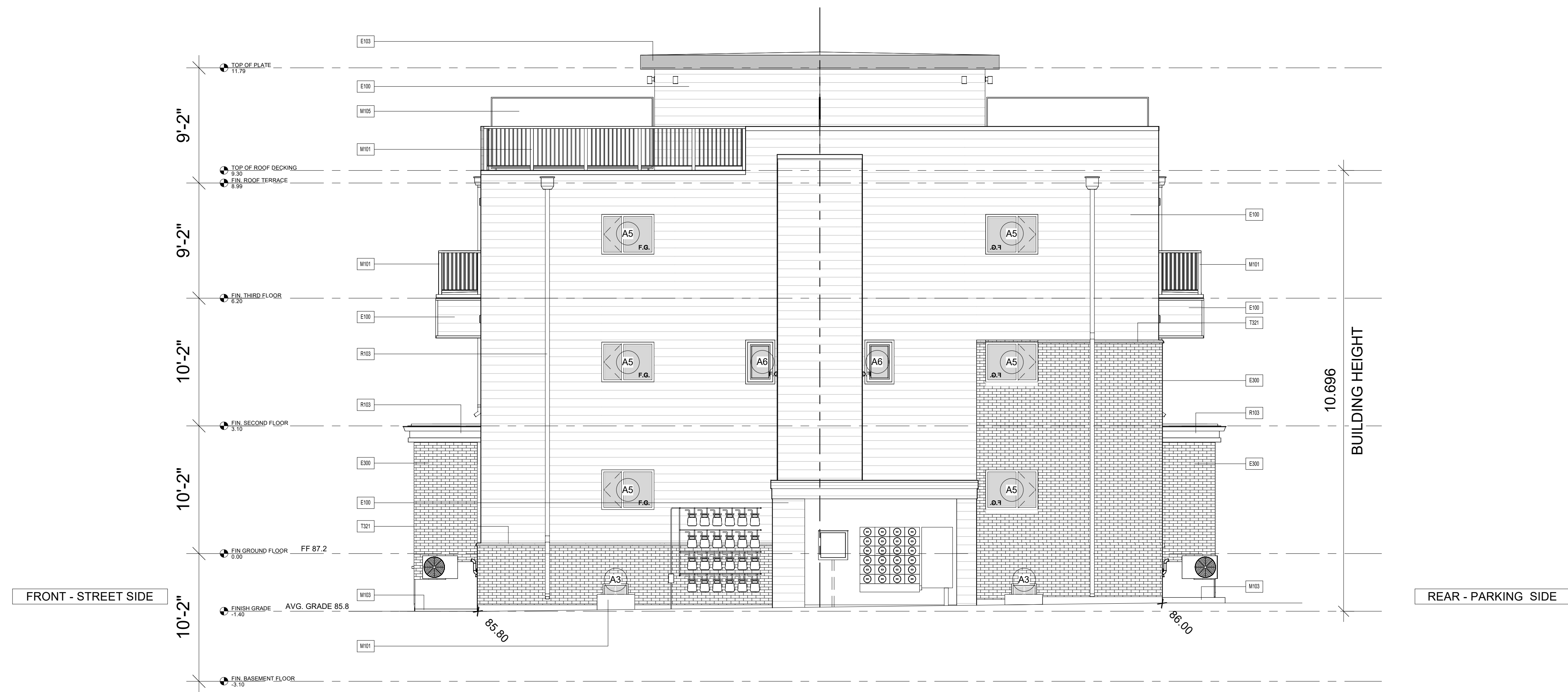
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## NON-COMUSTIBLE CLADDING REQUIRED - SEE PAGE A-017



1 END ELEVATION (HYDRO) CNB  
3/16" = 1'-0"

5A - UST3 - 1581-U  
THE HAYDON (END)

5B - UST4 - 1582-L  
THE BRITANNIA (END)

6A - UST3 REV. - 1584-U  
THE HAYDON (END)

6B - UST4 REV. - 1583-L  
THE BRITANNIA (END)

Elevation Materials	
Key Value	Keynote Text
E100	HORIZ. SIDING (NON-COMB. WHERE REQUIRED BY SITE PLAN)
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### WATERIDGE 101 VELETTE WAY - BLOCK 5 CNB

OTTAWA

### MATTAMY HOMES

Project No. 21014  
Scale 3/16" = 1'-0"  
Drawn By SG  
Checked By CT

### END ELEVATION (HYDRO) CNB

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1 REAR ELEVATION CNB (PARKING SIDE)  
3/16" = 1'-0"

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**WATERIDGE 101  
VELETTE WAY -  
BLOCK 5 CNB**

OTTAWA

MATTAMY HOMES

Project No. 21014  
Scale 3/16" = 1'-0"  
Drawn By SG  
Checked By CT

**REAR ELEVATION CNB**

Elevation Materials	
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### WATERIDGE 101 VEDETTE WAY - BLOCK 5 CNB

OTTAWA

### MATTAMY HOMES

Project No. 21014  
Scale 3/16" = 1'-0"  
Drawn By SG  
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### END ELEVATION CNB