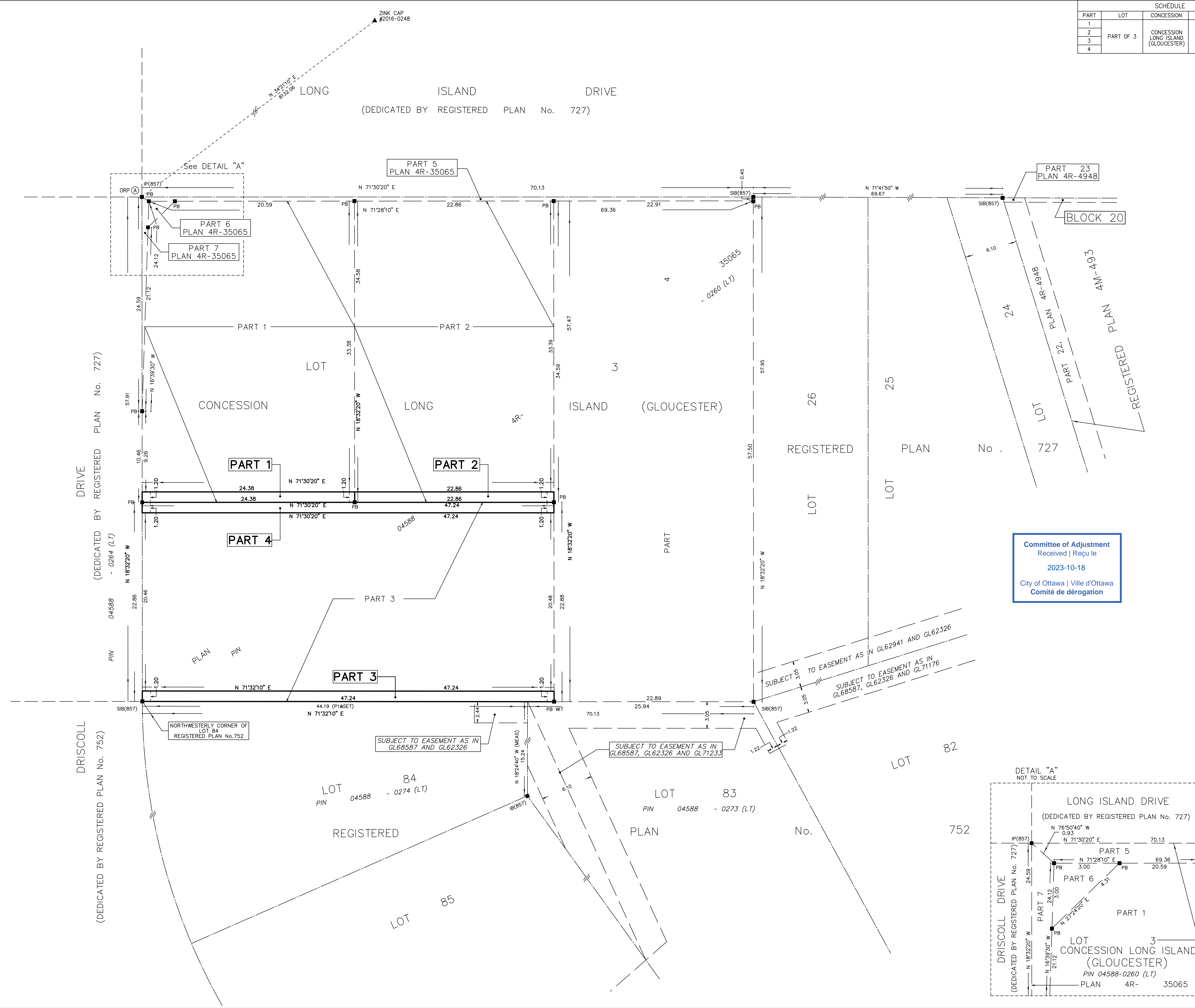


SCHEDULE				
PART	LOT	CONCESSION	PIN	AREA sq. m.
1				29.3
2				27.4
3	PART OF 3	CONCESSION LONG ISLAND (GLOUCESTER)	PART OF 04588-0260 (LT)	56.7
4				56.7

**PLAN 4R-35702**  
 Received and deposited  
**September 26<sup>th</sup>, 2023**  
**Lucy Wang**  
 Representative for the  
 Land Registrar for the  
 Land Titles Division of  
 Ottawa-carleton (No.4)



PLAN OF SURVEY OF  
**PART OF LOT 3**  
**CONCESSION LONG ISLAND**  
**(GLOUCESTER)**  
 CITY OF OTTAWA

SCALE 1 : 200

THE INTENDED PLOT SIZE OF THIS PLAN IS 939mm IN WIDTH BY 609mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:200

J.D. BARNES LIMITED  
 METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTES**  
 BEARINGS ARE MTM GRID, DERIVED FROM OBSERVED REFERENCE (ORP) POINT A AND SPECIFIED CONTROL POINT (SCP) 2016-0248, BY REAL TIME NETWORK (RTN) OBSERVATIONS, MTM ZONE 9, NAD83 (ORIGINAL).  
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999934.  
 ALL FOUND SURVEY MONUMENTS ARE 'JOB UNLESS OTHERWISE NOTED.'

INTEGRATION DATA			
(SCP) AND (ORPs): MTM ZONE 9, NAD83 (ORIGINAL).			
COORDINATES TO URBAN ACCURACY PER SECTION 14 (2) OF O.REG 216/10.			
POINT ID	EASTING	NORTHING	
ORP (A)	367 722.13	5 011 313.35	
2016-0248	372 311.09	5 018 028.91	
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.			
THE RESULTANT TIE BETWEEN ORP (A) AND SCP 2016-0248 IS 8132.06m (GROUND) N 34211° E			

Committee of Adjustment  
 Received / Reçu le  
**2023-10-18**  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation

**LEGEND**

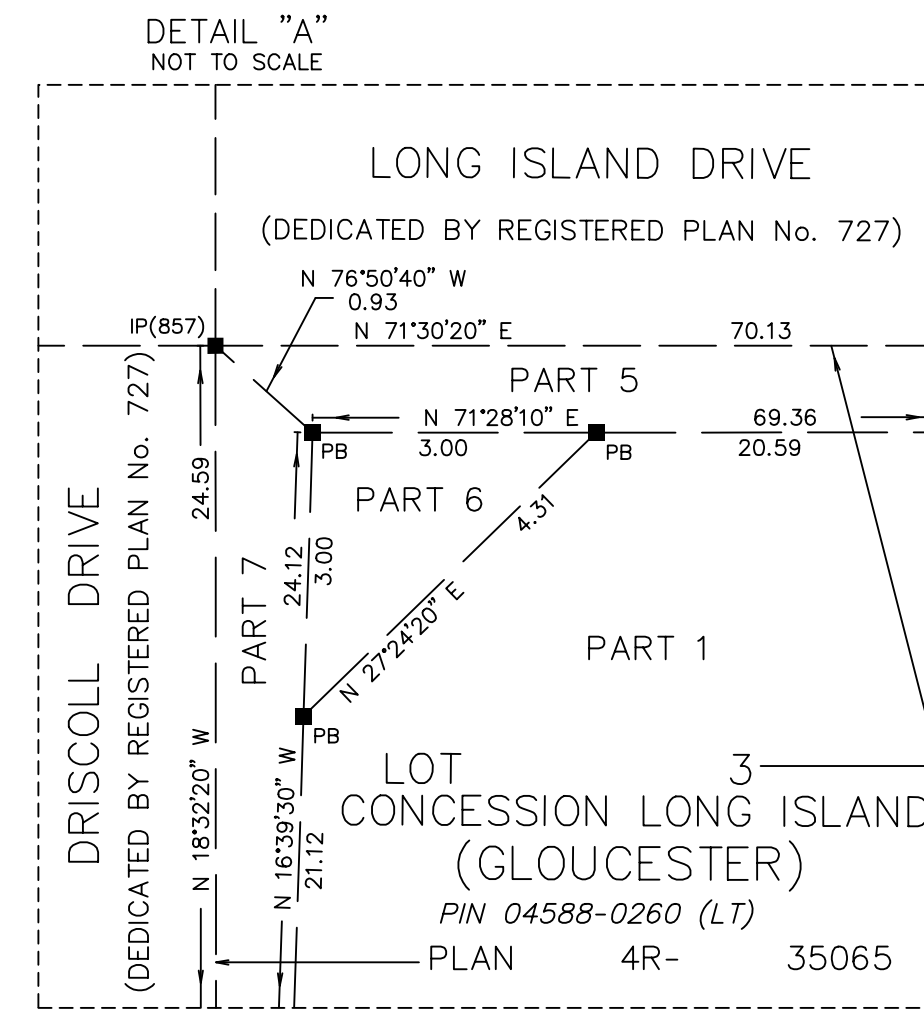
■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
▲	DENOTES	SURVEY CONTROL MONUMENT
▲	DENOTES	STANDARD IRON BAR
SIB	DENOTES	IRON BAR
IB	DENOTES	PLASTIC BAR
PB	DENOTES	IRON PIPE
IP	DENOTES	ORIGIN UNKNOWN
OU	DENOTES	C.W. FAIRHALL, O.L.S.
857	DENOTES	REGISTERED PLAN No. 752
P1	DENOTES	

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON SEPTEMBER 8, 2023.

SEPTEMBER 11, 2023  
 DATE  
  
 GEORGE ZERVOS  
 CHARTERED LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-42264

DRAWN BY: KZ CHECKED BY: GZ REFERENCE NO.: 20-10-143-00  
 PLOTTED: 9/25/2023 DATED: 9/07/2022  
 FILE: G:\20-10-143\00\Drawing\PLAN\PLAN ORIGINAL 08\_09\_2023\20-10-143\_RPLAN.dgn

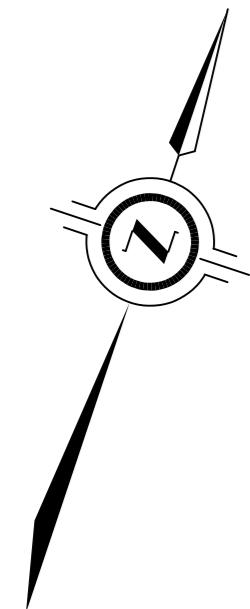


SUBJECT TO EASEMENT AS IN GL62941 AND GL62326  
 SUBJECT TO EASEMENT AS IN GL68587, GL62326 AND GL71176

SUBJECT TO EASEMENT AS IN GL68587 AND GL62326  
 SUBJECT TO EASEMENT AS IN GL68587, GL62326 AND GL71233

DRIVE (DEDICATED BY REGISTERED PLAN No. 727)

DRISCOLL DRIVE (DEDICATED BY REGISTERED PLAN No. 752)



SCHEDULE				
PART	LOT	CONCESSION	PIN	AREA sq. m.
1				828.9
2				790.6
3	PART OF 3	CONCESSION LONG ISLAND	ALL OF 04588-0260 (LT)	1080.4
4				1316.4
5				32.7
6				4.5
7				9.7

**PLAN 4R-35065**

Received and deposited

November 17<sup>th</sup>, 2022

Yvonne Willan

Representative for the  
Land Registrar for the  
Land Titles Division of  
Ottawa-carleton (No.4)

PLAN OF SURVEY OF  
**PART OF LOT 3**  
**CONCESSION LONG ISLAND**  
CITY OF OTTAWA

SCALE 1 : 200  
5 0 5 10 metres

THE INTENDED PLOT SIZE OF THIS PLAN IS 915mm IN WIDTH BY 609mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:200

J.D. BARNES LIMITED

**METRIC** DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTES**

BEARINGS ARE MTM GRID, DERIVED FROM GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS), BY REALTIME NETWORK (RTN) OBSERVATIONS, MTM ZONE 9, NAD83 (ORIGINAL).  
FOR BEARING COMPARISONS, A ROTATION OF 0°34'40" COUNTER CLOCKWISE WAS APPLIED TO P1 AND P2 TO CONVERT TO GRID BEARINGS.  
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999934.

**INTEGRATION DATA**

POINT ID	EASTING	NORTHING
ORP (A)	367 722.13	5 011 313.35
ORP (B)	367 854.80	5 011 357.49

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.  
THE RESULTANT TIE BETWEEN ORP (A) AND ORP (B) IS 139.82 N 71°35'50" E

**LEGEND**

- DENOTES SURVEY MONUMENT FOUND
  - DENOTES SURVEY MONUMENT SET
  - SIB DENOTES STANDARD IRON BAR
  - IB DENOTES IRON BAR
  - PB DENOTES PLASTIC BAR
  - IP DENOTES IRON PIPE
  - OU DENOTES ORIGIN UNKNOWN
  - MEAS DENOTES MEASURED
  - 857 DENOTES C.W. FAIRHALL, O.L.S.
  - DEED DENOTES INSTRUMENT N646371
  - P1 DENOTES REGISTERED PLAN No. 727
  - P2 DENOTES REGISTERED PLAN No. 752
  - P3 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY H.A.K. SHIPMAN, O.L.S., DATED NOVEMBER 12, 2007
- N=NORTH / S=SOUTH / E=EAST / W=WEST

ALL SET PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.R.G. 525/91.

**SURVEYOR'S CERTIFICATE**

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
  - THE SURVEY WAS COMPLETED ON SEPTEMBER 22, 2022.

OCTOBER 12, 2022  
DATE

*Georg Zervos*  
GEORG ZERVOS  
O.P.A.C. LAND SURVEYOR

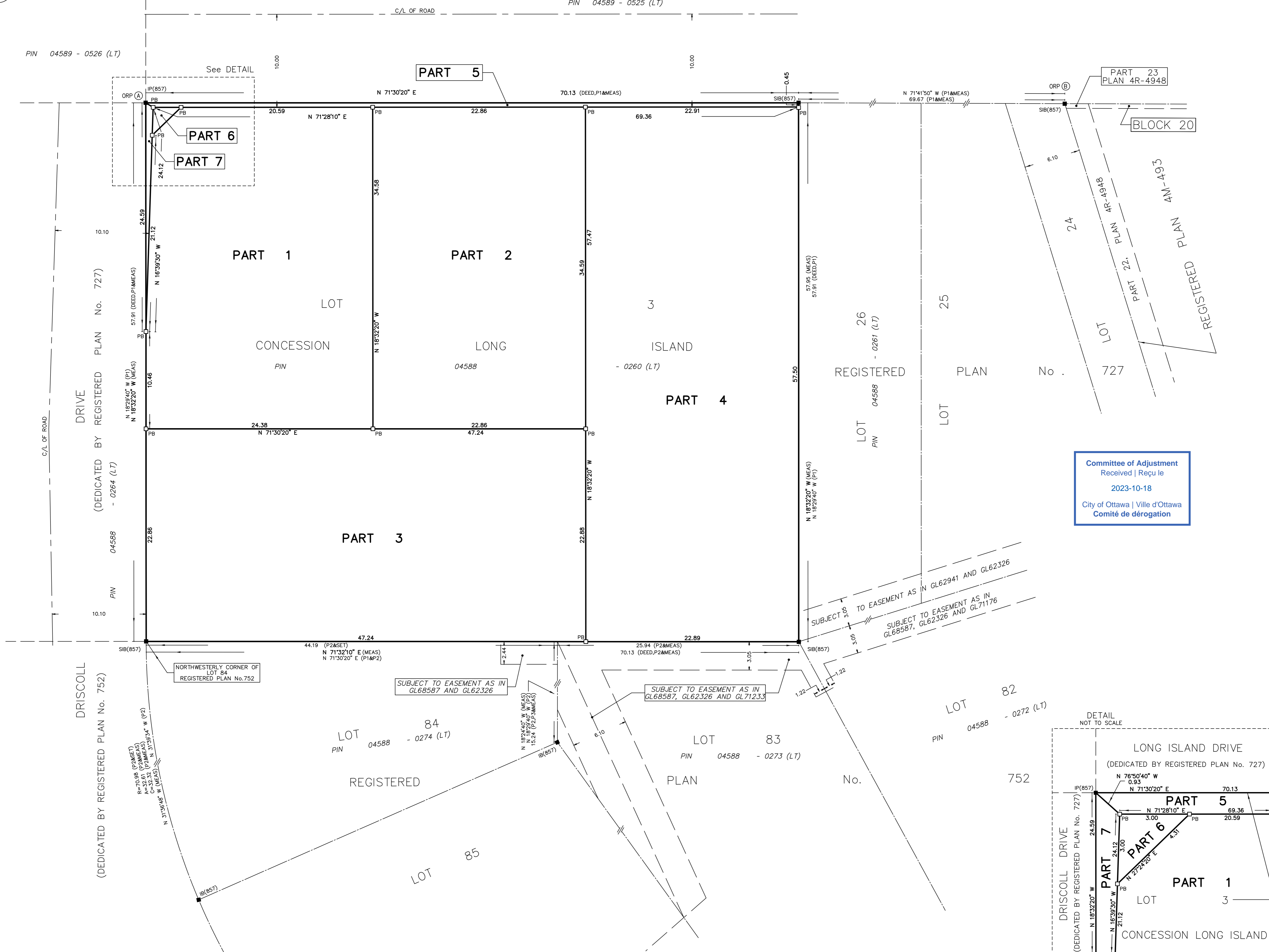
THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER 2160984

**J.D. BARNES** SURVEYING MAPPING GIS  
LIMITED  
LAND INFORMATION SPECIALISTS  
62 STEACIE DRIVE, SUITE 103, OTTAWA, ON K2K 2A9  
T: (613) 731-7244 F: (613) 731-8955 www.jdbarnes.com

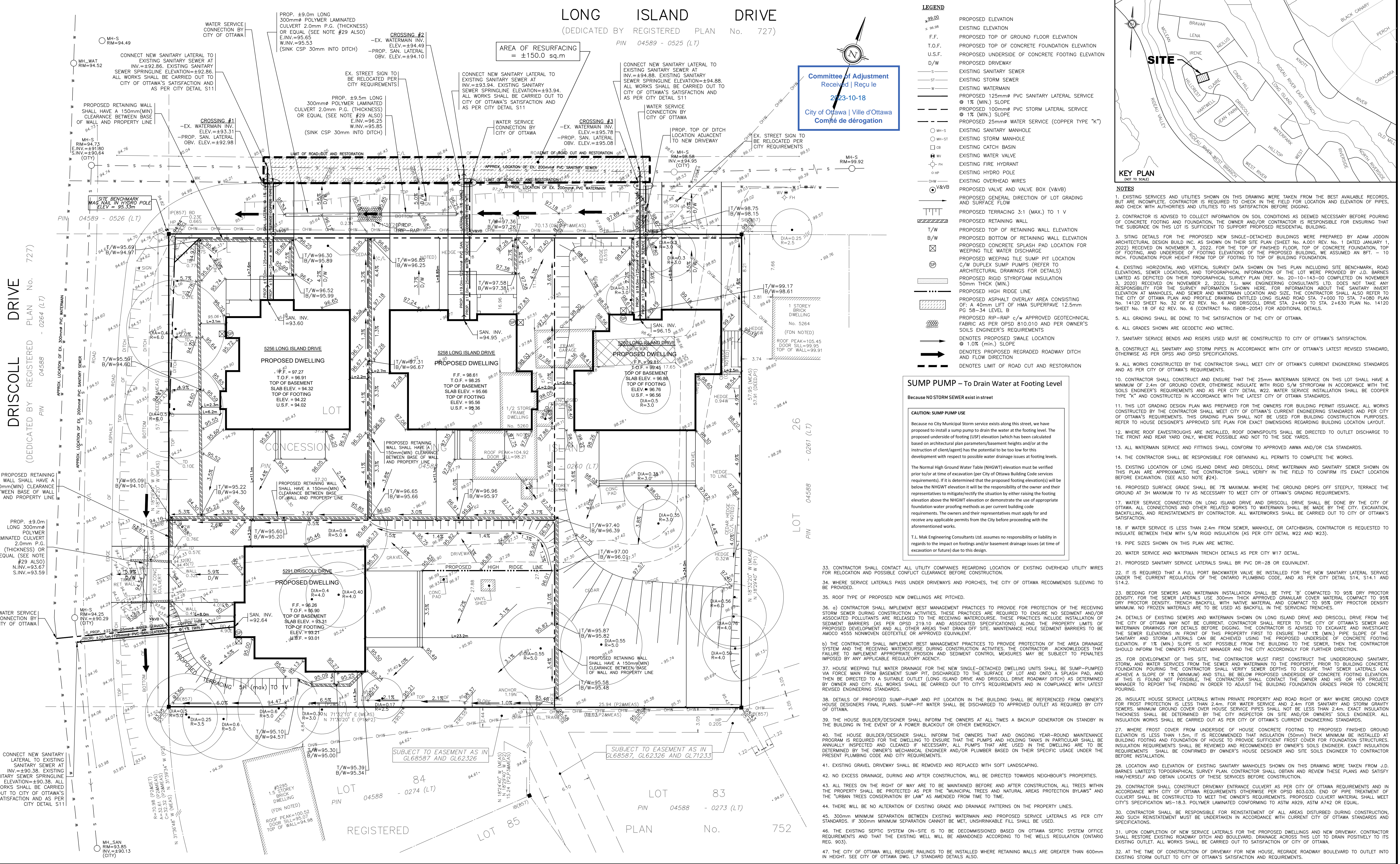
DRAWN BY:	RP/SM	CHECKED BY:	GZ	REFERENCE NO.:	20-10-143-00
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FILE: G:\20-10-143\00\Drawing\PLAN\2010143\_RPLAN.dgn DATED: 10/12/2022

PLOTTED: 11/16/2022



Committee of Adjustment  
Received | Reçu le  
2023-10-18  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

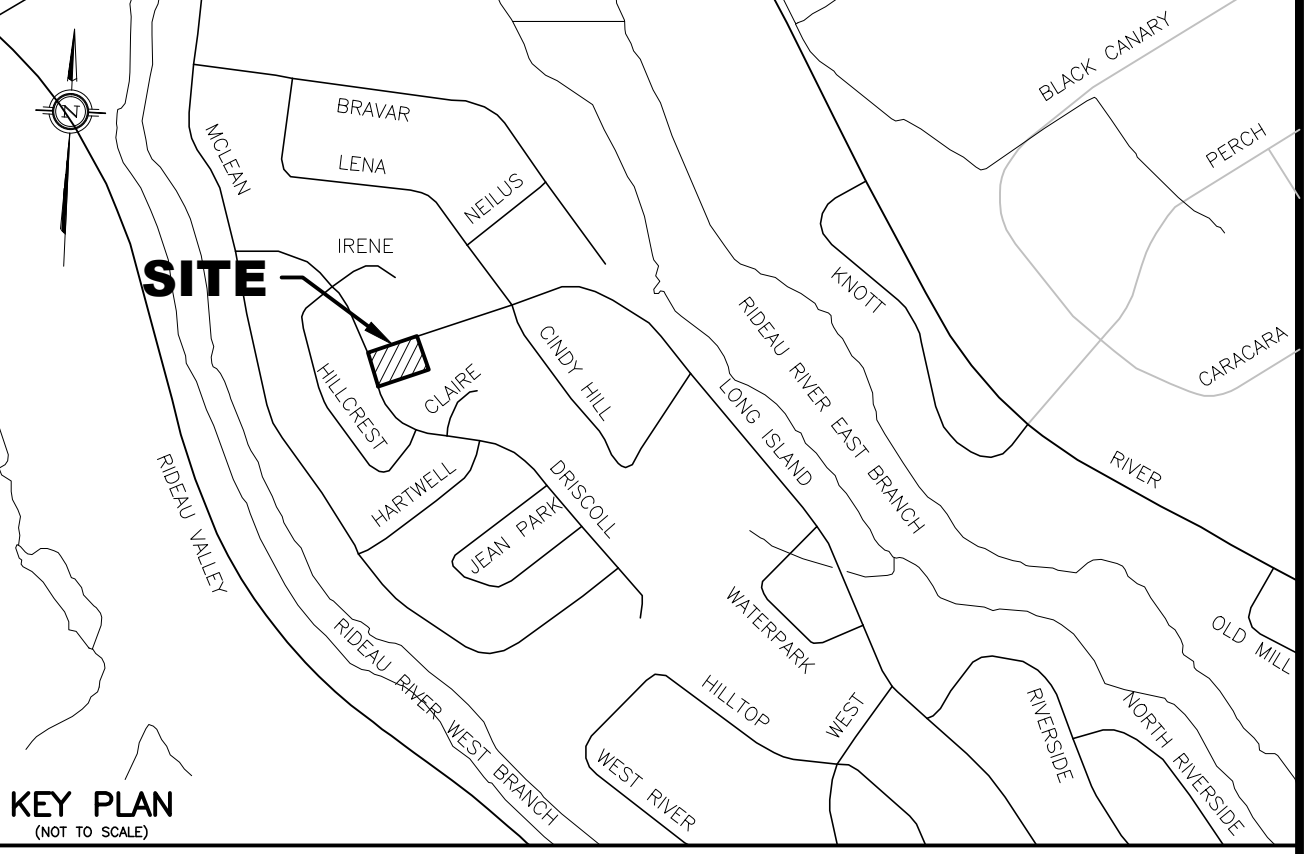


DRISCOLL DRIVE  
(DEDICATED BY REGISTERED PLAN No. 727)  
PIN 04588 - 0264 (LT)

LONG ISLAND DRIVE  
(DEDICATED BY REGISTERED PLAN No. 727)  
PIN 04589 - 0525 (LT)

Committee of Adjustment  
Received / Reçu  
2023-10-18  
City of Ottawa / Ville d'Ottawa  
Comité de dérogation

- LEGEND**
- PROPOSED ELEVATION
  - EXISTING ELEVATION
  - PROPOSED TOP OF GROUND FLOOR ELEVATION
  - PROPOSED TOP OF CONCRETE FOUNDATION ELEVATION
  - PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION
  - PROPOSED DRIVEWAY
  - EXISTING SANITARY SEWER
  - EXISTING STORM SEWER
  - EXISTING WATERMAIN
  - PROPOSED 125mm PVC SANITARY LATERAL SERVICE @ 1% (MIN) SLOPE
  - PROPOSED 100mm PVC STORM LATERAL SERVICE @ 1% (MIN) SLOPE
  - PROPOSED 25mm WATER SERVICE (COPPER TYPE "K")
  - EXISTING SANITARY MANHOLE
  - EXISTING STORM MANHOLE
  - EXISTING CATCH BASIN
  - EXISTING WATER VALVE
  - EXISTING FIRE HYDRANT
  - EXISTING HYDRO POLE
  - EXISTING OVERHEAD WIRES
  - PROPOSED VALVE AND VALVE BOX (V&VB)
  - PROPOSED GENERAL DIRECTION OF LOT GRADING AND SURFACE FLOW
  - PROPOSED TERRACING 3:1 (MAX.) TO 1 V
  - PROPOSED RETAINING WALL
  - PROPOSED TOP OF RETAINING WALL ELEVATION
  - PROPOSED BOTTOM OF RETAINING WALL ELEVATION
  - PROPOSED CONCRETE SPLASH PAD LOCATION FOR WEEPING TILE WATER DISCHARGE
  - PROPOSED WEEPING TILE SUMP PIT LOCATION
  - C/W DUPLEX SUMP PUMPS (REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS)
  - PROPOSED RIGID STYROFOAM INSULATION 50mm THICK (MIN.)
  - PROPOSED HIGH RIDGE LINE
  - PROPOSED ASPHALT OVERLAY AREA CONSISTING OF A 40mm LIFT OF HMA SUPERPAVE 12.5mm PG 58-34 LEVEL B
  - PROPOSED RIP-RAP C/W APPROVED GEOTECHNICAL FABRIC AS PER OPSD 810.010 AND PERT OWNERS'S SOILS ENGINEER'S REQUIREMENTS
  - DENOTES PROPOSED SWALE LOCATION @ 1.0% (min.) SLOPE
  - DENOTES PROPOSED REGRADED ROADWAY DITCH AND FLOW DIRECTION
  - DENOTES LIMIT OF ROAD CUT AND RESTORATION



- NOTES**
- EXISTING SERVICES AND UTILITIES SHOWN ON THIS DRAWING WERE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT ARE INCOMPLETE. CONTRACTOR IS REQUIRED TO CHECK IN THE FIELD FOR LOCATION AND ELEVATION OF PIPES, AND CHECK WITH UTILITIES AND UTILITIES TO HIS SATISFACTION BEFORE DIGGING.
  - CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS AS DEEMED NECESSARY BEFORE POURING OF CONCRETE FOOTING AND FOUNDATION, THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE SUBGRADE ON THIS LOT IS SUFFICIENT TO SUPPORT PROPOSED BUILDING.
  - SITING DETAILS FOR THE PROPOSED NEW SINGLE-DETACHED RESIDUALS WERE PREPARED BY ADAM JODIN ARCHITECTURAL DESIGN BUILD INC. AS SHOWN ON THEIR SITE PLAN (SHEET No. A.001 REV. No. 1 DATED JANUARY 1, 2022) RECEIVED ON NOVEMBER 13, 2022. FOR THE TOP OF FINISHED FLOOR, TOP OF CONCRETE FOUNDATION, TOP OF FOOTING, AND WATER MAIN LOCATION AND SIZE, THE CONTRACTOR SHALL ALSO REFER TO THE CITY OF OTTAWA PLAN AND PROFILE DRAWING ENTITLED LONG ISLAND ROAD STA. 7+000 TO STA. 7+080 PLAN No. 14120 SHEET No. 32 OF 62 REV. No. 6 AND DRISCOLL DRIVE STA. 2+490 TO STA. 2+630 PLAN No. 14120 SHEET No. 18 OF 62 REV. No. 6 (CONTRACT No. 15808-2054) FOR ADDITIONAL DETAILS.
  - EXISTING HORIZONTAL AND VERTICAL SURVEY DATA SHOWN ON THIS PLAN INCLUDING SITE BENCHMARK, ROAD ELEVATIONS, SEWER LOCATIONS, AND TOPOGRAPHICAL INFORMATION OF THE LOT WERE PROVIDED BY J.D. BARNES LIMITED AS DEPICTED ON THEIR TOPOGRAPHICAL SURVEY PLAN (REF. No. 20-10-143-30 COMPLETED ON NOVEMBER 3, 2020) RECEIVED ON NOVEMBER 2, 2022. T.L. MAK ENGINEERING CONSULTANTS LTD. DOES NOT TAKE ANY RESPONSIBILITY FOR THE SURVEY INFORMATION SHOWN HERE. FOR INFORMATION ABOUT THE SANITARY INVERT ELEVATION AT MANHOLES, AND SEWER AND WATER MAIN LOCATION AND SIZE, THE CONTRACTOR SHALL ALSO REFER TO THE CITY OF OTTAWA PLAN AND PROFILE DRAWING ENTITLED LONG ISLAND ROAD STA. 7+000 TO STA. 7+080 PLAN No. 14120 SHEET No. 18 OF 62 REV. No. 6 (CONTRACT No. 15808-2054) FOR ADDITIONAL DETAILS.
  - ALL GRADING SHALL BE DONE TO THE SATISFACTION OF THE CITY OF OTTAWA.
  - ALL GRADES SHOWN ARE GEODETIC AND METRIC.
  - SANITARY SERVICE BENDS AND RISERS USED MUST BE CONSTRUCTED TO CITY OF OTTAWA'S SATISFACTION.
  - CONSTRUCT ALL SANITARY AND STORM PIPES IN ACCORDANCE WITH CITY OF OTTAWA'S LATEST REVISED STANDARD, OTHERWISE AS PER OPSD AND OPSD SPECIFICATIONS.
  - ALL WORKS CONSTRUCTED BY THE CONTRACTOR SHALL MEET CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND AS PER CITY OF OTTAWA'S REQUIREMENTS.
  - CONTRACTOR SHALL CONSTRUCT AND ENSURE THAT THE 25mm WATERMAIN SERVICE ON THIS LOT SHALL HAVE A MINIMUM OF 2.4m OF GROUND COVER, OTHERWISE INSULATE WITH RIGID 5/8" STYROFOAM IN ACCORDANCE WITH THE SOILS ENGINEER'S REQUIREMENTS AND AS PER CITY DETAIL W22. WATER SERVICE INSTALLATION SHALL BE COPPER TYPE "K" AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF OTTAWA STANDARDS.
  - THIS LOT GRADING DESIGN PLAN WAS PREPARED FOR THE OWNERS FOR BUILDING PERMIT ISSUANCE. ALL WORKS CONSTRUCTED BY THE CONTRACTOR SHALL MEET CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND PER CITY OF OTTAWA'S REQUIREMENTS. THIS GRADING PLAN SHALL NOT BE USED FOR BUILDING CONSTRUCTION PURPOSES. REFER TO HOUSE DESIGNER'S APPROVED SITE PLAN FOR EXACT DIMENSIONS REGARDING BUILDING LOCATION LAYOUT.
  - WHERE ROOF EAVESDROUGHS ARE INSTALLED, ROOF DOWNSPOUTS SHALL BE DIRECTED TO OUTLET DISCHARGE TO THE FRONT AND REAR YARD ONLY, WHERE POSSIBLE AND NOT TO THE SIDE YARDS.
  - ALL WATERMAIN SERVICE AND FITTINGS SHALL CONFORM TO APPROVED AWWA AND/OR CSA STANDARDS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS TO COMPLETE THE WORKS.
  - EXISTING LOCATION OF LONG ISLAND DRIVE AND DRISCOLL DRIVE WATERMAIN AND SANITARY SEWER SHOWN ON THIS PLAN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY IN THE FIELD TO CONFIRM ITS EXACT LOCATION BEFORE EXCAVATION. (SEE ALSO NOTE #24).
  - PROPOSED SURFACE GRADE SHALL BE 7% MAXIMUM, WHERE THE GROUND DROPS OFF STEEPLY, TERRACE THE GROUND AT 3H MAXIMUM TO 1V AS NECESSARY TO MEET CITY OF OTTAWA'S GRADING REQUIREMENTS.
  - WATER SERVICE CONNECTION ON LONG ISLAND DRIVE AND DRISCOLL DRIVE SHALL BE DONE BY THE CITY OF OTTAWA. ALL CONNECTIONS AND OTHER RELATED WORKS TO WATERMAIN SHALL BE MADE BY THE CITY. EXCAVATION, BACKFILLING, AND REINSTATEMENTS BY CONTRACTOR. ALL WATERWORKS SHALL BE CARRIED OUT TO CITY OF OTTAWA'S SATISFACTION.
  - IF WATER SERVICE IS LESS THAN 2.4m FROM SEWER, MANHOLE, OR CATCH-BASIN, CONTRACTOR IS REQUESTED TO INSULATE BETWEEN THEM WITH 5/8" RIGID INSULATION (AS PER CITY DETAIL W22 AND W23).
  - PIPE SIZES SHOWN ON THIS PLAN ARE METRIC.
  - WATER SERVICE AND WATERMAIN TRENCH DETAILS AS PER CITY W17 DETAIL.
  - PROPOSED SANITARY SERVICE LATERALS SHALL BE PVC DR-28 OR EQUIVALENT.
  - IT IS REQUIRED THAT A FULL PORT BACKWATER VALVE BE INSTALLED FOR THE NEW SANITARY LATERAL SERVICE UNDER THE CURRENT REGULATION OF THE ONTARIO PLUMBING CODE, AND AS PER CITY DETAIL S14, S14.1, AND S14.2.
  - BEDDING FOR SEWERS AND WATERMAIN INSTALLATION SHALL BE TYPE "B" COMPACTED TO 95% DRY PROCTOR DENSITY. FOR THE SEWER LATERALS USE 300mm THICK APPROVED GRANULAR COVER MATERIAL COMPACT TO 95% DRY PROCTOR DENSITY. TRENCH BACKFILL WITH NATIVE MATERIAL AND COMPACT TO 95% DRY PROCTOR DENSITY MINIMUM. NO FROZEN MATERIALS ARE TO BE USED AS BACKFILL IN THE SERVICING TRENCHES.
  - DETAILS OF EXISTING SEWERS AND WATERMAIN SHOWN ON LONG ISLAND DRIVE AND DRISCOLL DRIVE FROM THE CITY OF OTTAWA MAY NOT BE CURRENT. CONTRACTOR SHALL REFER TO THE CITY OF OTTAWA'S SEWER AND WATERMAIN DRAWINGS FOR DETAILS BEFORE DIGGING. THE CONTRACTOR IS ADVISED TO EXCAVATE AND INVESTIGATE THE SEWER LOCATIONS IN FRONT OF THIS PROPERTY FIRST TO ENSURE THAT 1% (MIN) PIPE SLOPE OF THE SANITARY AND STORM LATERALS CAN BE ACHIEVED USING THE PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION. IF 1% (MIN.) SLOPE IS NOT POSSIBLE FROM THE BUILDING TO THE SEWER, THEN THE CONTRACTOR SHALL CONSULT WITH THE OWNER'S PROJECT MANAGER AND THE CITY ENGINEER FOR FURTHER DIRECTION.
  - FOR DEVELOPMENT OF THIS SITE, THE CONTRACTOR MUST FIRST CONSTRUCT THE UNDERGROUND SANITARY, STORM, AND WATER SERVICES FROM THE SEWER AND WATERMAIN TO THE PROPERTY. PRIOR TO BUILDING CONCRETE FOUNDATION POURING THE CONTRACTOR SHALL VERIFY SEWER DEPTHS TO ENSURE THAT SEWER LATERALS CAN ACHIEVE A SLOPE OF 1% (MINIMUM) AND STILL BE BELOW PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION. IF THIS IS FOUND NOT POSSIBLE, THE CONTRACTOR SHALL CONTACT THE OWNER AND HIS OR HER PROJECT MANAGER TO REPORT THE FINDINGS IN ORDER TO ADOPT THE BUILDING FOUNDATION GRADES PRIOR TO CONCRETE POURING.
  - INSULATE HOUSE SERVICE LATERALS WITHIN PRIVATE PROPERTY AND ROAD RIGHT OF WAY WHERE GROUND COVER FOR FROST PROTECTION IS LESS THAN 2.4m FOR WATER SERVICE AND 4m FOR SANITARY AND STORM GRAVITY SEWERS. MINIMUM GROUND COVER OVER HOUSE SERVICE PIPES SHALL NOT BE LESS THAN 2.4m. EXACT INSULATION THICKNESS SHALL BE DETERMINED BY THE CITY INSPECTOR ON SITE AND/OR OWNERS' SOILS ENGINEER. ALL INSULATION WORKS SHALL BE CARRIED OUT AS PER CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS.
  - WHERE FROST COVER FROM UNDERSIDE OF HOUSE CONCRETE FOOTING TO PROPOSED FINISHED GROUND IS LESS THAN 1.5m, IT IS RECOMMENDED THAT INSULATION (50mm) THICK MINIMUM BE INSTALLED AT BUILDING FOOTING AND FOUNDATION OF HOUSE TO PROVIDE SUFFICIENT FROST COVER FOR FOUNDATION STRUCTURES. INSULATION REQUIREMENTS SHALL BE REVIEWED AND RECOMMENDED BY OWNER'S SOILS ENGINEER. EXACT INSULATION THICKNESS SHALL BE CONFIRMED BY OWNER'S HOUSE DESIGNER AND SITE SOILS ENGINEER TO CONTRACTOR BEFORE INSTALLATION.
  - LOCATION AND ELEVATION OF EXISTING SANITARY MANHOLES SHOWN ON THIS DRAWING WERE TAKEN FROM J.D. BARNES LIMITED'S TOPOGRAPHICAL SURVEY PLAN. CONTRACTOR SHALL OBTAIN AND REVIEW THESE PLANS AND SATISFY HIM/HERSELF AND OBTAIN LOCATES OF THESE SERVICES BEFORE CONSTRUCTION.
  - CONTRACTOR SHALL CONSTRUCT DRIVEWAY ENTRANCE CURB AS PER CITY OF OTTAWA REQUIREMENTS AND IN ACCORDANCE WITH CITY OF OTTAWA REQUIREMENTS OTHERWISE PER OPSD 803.030. END OF PIPE TREATMENT OF CURB SHALL BE CONSTRUCTED TO MEET THE OWNER'S REQUIREMENTS. PROPOSED CURB MATERIAL SHALL MEET CITY SPECIFICATION MS-18.3. POLYMER LAMINATED CONFORMING TO ASTM A929, ASTM A742 OR EQUAL.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR REINSTATEMENT OF ALL AREAS DISTURBED DURING CONSTRUCTION, AND SUCH REINSTATEMENT MUST BE UNDERTAKEN IN ACCORDANCE WITH CURRENT CITY OF OTTAWA STANDARDS AND SPECIFICATIONS.
  - UPON COMPLETION OF NEW SERVICE LATERALS FOR THE PROPOSED DWELLINGS AND NEW DRIVEWAY, CONTRACTOR SHALL RESTORE EXISTING ROADWAY DITCH AND BOULEVARD DRAINAGE ACROSS THIS LOT TO DRAIN POSITIVELY TO ITS EXISTING OUTLET. ALL WORKS SHALL BE CARRIED OUT TO SATISFACTION OF CITY OF OTTAWA.
  - AT THE TIME OF CONSTRUCTION OF DRIVEWAY FOR NEW HOUSE, REGRADE ROADWAY BOULEVARD TO OUTLET INTO EXISTING STORM OUTLET TO CITY OF OTTAWA'S SATISFACTION AND REQUIREMENTS.

**SUMP PUMP - To Drain Water at Footing Level**

Because NO STORM SEWER exist in street

**CAUTION: SUMP PUMP USE**

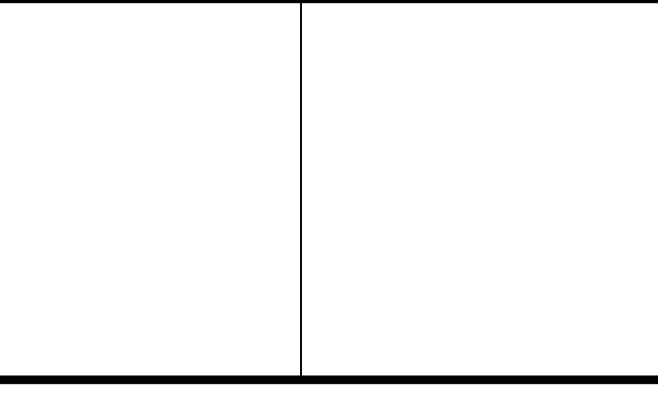
Because no City Municipal Storm service exists along this street, we have proposed to install a sump pump to drain the water at the footing level. The proposed underside of footing (USF) elevation (which has been calculated based on architectural plan parameters/basement heights and/or at the instruction of client/agent) has the potential to be too low for this development with respect to possible water drainage issues at footing levels.

The Normal High Ground Water Table (NHGW) elevation must be verified prior to or at time of excavation (per City of Ottawa Building Code services requirements). If it is determined that the proposed footing elevation(s) will be below the NHGW elevation, it will be the responsibility of the owner and their representatives to mitigate/rectify the situation by either raising the footing elevation above the NHGW elevation or demonstrate the use of appropriate foundation water proofing methods as per current building code requirements. The owners and their representatives must apply for and receive any applicable permits from the City before proceeding with the aforementioned works.

T.L. Mak Engineering Consultants Ltd. assumes no responsibility or liability in regards to the impact on footings and/or basement drainage issues (at time of excavation or future) due to this design.

NO.	REVISION	DATE	BY
5	REVISIONS AS PER FORESTER'S COMMENTS OF JUNE 8, 2023 AND MEETING OF JUNE 26, 2023	06/27/23	TLM
4	REVISIONS AS PER FORESTER'S COMMENTS OF APRIL 17, 2023	04/17/23	TLM
3	REVISIONS TO DEPICT EXISTING TREES ON-SITE PER OWNER'S SURVEY PLAN RECEIVED ON MARCH 22, 2023	03/31/23	TLM
2	REVISIONS AS PER CITY REVIEW COMMENTS RECEIVED ON MARCH 2, 2023	03/20/23	TLM
1	REVISIONS AS PER OWNER'S COMMENTS OF NOVEMBER 28, 2022	11/29/22	TLM

DESIGN	T.L.M.
CHECKED	T.L.M.
DRAWN BY	P.M.
CHECKED	T.L.M.
APPROVED	T.L.M.



PROJECT	752 LONG ISLAND DRIVE PART OF LOT 3 CONCESSION LONG ISLAND CITY OF OTTAWA
DRAWING TITLE	PROPOSED LOT GRADING AND SERVICING PLAN
PROJECT No.	822-130
DATE	NOVEMBER 2022
DRAWING No.	G-1

**T.L. MAK ENGINEERING CONSULTANTS LTD.**  
CONSULTING ENGINEERS